

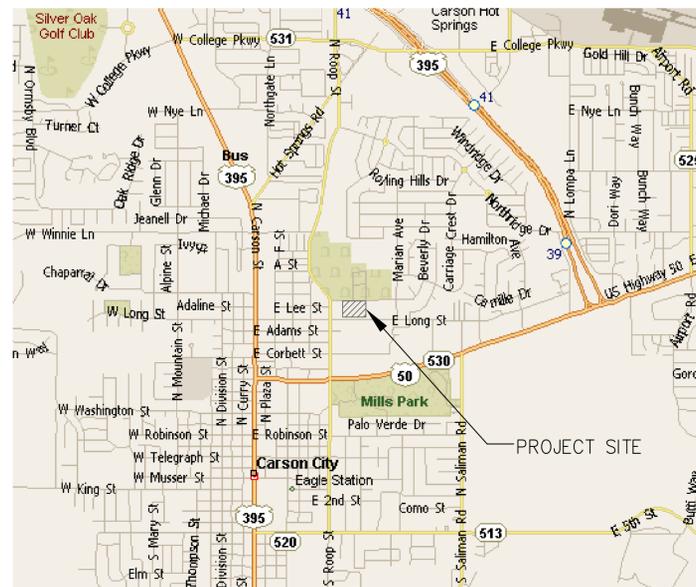


CARSON CITY SENIOR CITIZENS CENTER DINING ROOM FLOOR REPLACEMENT

NOTES:

1. THE CONTRACTOR SHALL OBTAIN A PERMIT PRIOR TO COMMENCEMENT OF ANY WORK WITHIN THE LIMITS OF THE RIGHT-OF-WAY.
2. THE CONTRACTOR SHALL INFORM HIMSELF OF THE EXACT LOCATION OF ALL EXISTING UTILITIES ENCOUNTERED DURING EXCAVATION. ANY DAMAGE TO EXISTING UTILITIES CAUSED BY THE OPERATION OF THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT HIS OWN EXPENSE.
3. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (ORANGE BOOK), STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION, CARSON CITY DEPARTMENT OF PUBLIC WORKS REQUIREMENTS, STATE OF NEVADA HEALTH DIVISION AND DIVISION OF ENVIRONMENTAL PROTECTION REQUIREMENTS, THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION STANDARDS, THE INTERNATIONAL BUILDING CODE, THE INTERNATIONAL PLUMBING CODE AND THE INTERNATIONAL FIRE CODE.
4. ALL CONSTRUCTION SHALL BE PERFORMED IN COMPLIANCE WITH THE STATE OF NEVADA AIR POLLUTION CONTROL REGULATIONS. THE CONTRACTOR SHALL MAINTAIN AN ONGOING DUST CONTROL PROGRAM USING THE APPLICATION OF WATER AND/OR DUST PALLIATIVE.
5. CONSTRUCTION SIGNS AND BARRICADES SHALL CONFORM TO THE REQUIREMENTS OF THE M.U.T.C.D. MANUAL, LATEST EDITION, AND THE NEVADA SUPPLEMENT THERETO.
6. THE CONTRACTOR SHALL CALL UNDERGROUND SERVICE ALERT "CALL BEFORE YOU DIG" (1-800-227-2600) FORTY-EIGHT (48) HOURS PRIOR TO THE START OF CONSTRUCTION.
7. LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN ON THE PLANS ARE APPROXIMATE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT THE UTILITY COMPANY FOR THE EXACT DEPTH AND LOCATION OF THE UTILITY, OR TO POT-HOLE AND VERIFY THE LOCATION AND ELEVATION OF THE UTILITY. IF THERE ARE DISCREPANCIES BETWEEN ACTUAL AND WHAT IS SHOWN ON THE PLANS, NOTIFY THE ENGINEER OF SUCH DISCREPANCIES PRIOR TO CONSTRUCTION.
8. THE APPROVED PLAN, PERMIT AND INSPECTION RECORD MUST BE ON THE JOB SITE AT ALL TIMES.
9. ALL CLEARING, GRADING OR FILLING OF LAND IS SUBJECT TO SECTION 1803 OF THE INTERNATIONAL BUILDING CODE, AND NDOT SPECIFICATIONS. ANY CLEARING, GRADING OR FILLING OF LAND OF FIVE ACRES OR MORE WILL ALSO REQUIRE A PERMIT FROM THE NEVADA DEPARTMENT OF ENVIRONMENTAL PROTECTION FOR AIR QUALITY AND STORM DISCHARGE PURPOSES.
10. THE PROJECT SHALL BE BUILT PER PLAN. ALL FIELD CHANGES MUST BE PRE-APPROVED BY THE DESIGN ENGINEER.
11. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND IS NOT LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF PROPER SHORING OF TRENCHES IN ACCORDANCE WITH OCCUPATIONAL SAFETY LAWS.
12. SHOULD IT APPEAR THAT THE WORK TO BE DONE, OR ANY MATTER RELATIVE THERETO, IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY PRIOR TO CONSTRUCTION.
13. THE DUTIES OF THE PROJECT CIVIL ENGINEER DO NOT INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY IN, ON OR NEAR THE CONSTRUCTION SITE.

911 BEVERLY DRIVE CARSON CITY, NV



VICINITY MAP
NOT TO SCALE



ABBREVIATIONS

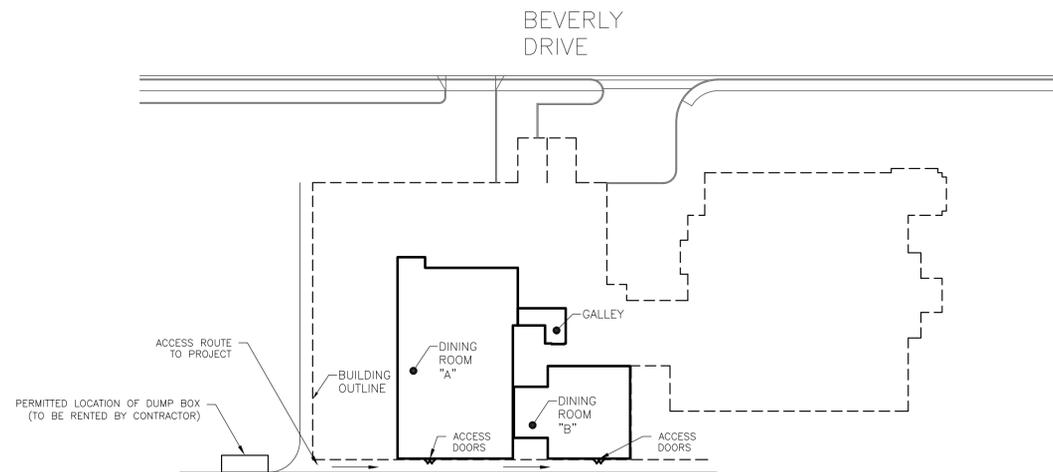
| | | | |
|------|-------------------|-----|--------------------|
| AC | ASPHALT CONCRETE | LP | LOW POINT |
| AB | AGGREGATE BASE | LT | LEFT |
| BFC | BACK FACE OF CURB | L/S | LANDSCAPING |
| BLDG | BUILDING | MAX | MAXIMUM |
| C/L | CENTERLINE | MIN | MINIMUM |
| CONC | CONCRETE | N | NORTH |
| DIP | DUCTILE IRON PIPE | OC | ON CENTER |
| E | EAST | OHG | OVERHANG |
| EC | EDGE OF CONCRETE | PIP | PROTECT IN PLACE |
| EG | EXISTING GRADE | P/L | PROPERTY LINE |
| ELEV | ELEVATION | R | RADIUS |
| EP | EDGE OF PAVEMENT | RT | RIGHT |
| EX | EXISTING | R/W | RIGHT-OF-WAY |
| FG | FINISH GRADE | SS | SANITARY SEWER |
| F | FIRE | SW | SIDEMALK |
| FH | FIRE HYDRANT | S | SOUTH |
| FL | FLOWLINE | TC | TOP OF CURB |
| GB | GRADE BREAK | TYP | TYPICAL |
| GV | GATE VALVE | W | WEST/WATER |
| HP | HIGH POINT | WW | WATER VALVE (GATE) |
| IE | INVERT ELEVATION | | |
| LF | LINEAL FEET | | |

BASIS OF ELEVATION:

N/A

BASIS OF BEARING:

N/A



KEY PLAN

SCALE: 1" = 40'

PROJECT ADMINISTRATOR:

CARSON CITY PUBLIC WORKS
3505 BUTTI WAY
CARSON CITY, NV 89701
PHONE: (775) 887-2355
CONTACT: DARREN ANDERSON, E.I.

OWNER:

CARSON CITY
911 BEVERLY DRIVE
CARSON CITY, NV 89706
PHONE: (775) 883-0703

CIVIL ENGINEER:

RL ENGINEERING
675 FAIRVIEW DRIVE #223
CARSON CITY, NEVADA 89701
PHONE: (775) 884-3205
FAX: (775) 884-3265

SITE INFORMATION:

ADDRESS: 911 BEVERLY DRIVE
CARSON CITY, NEVADA 89706
A.P.N. 002-121-16
LOT SIZE: 3.228 ACRES
FLOOD ZONE: C (AREAS OF MINIMAL FLOODING)

SHEET INDEX:

T1 TITLE SHEET
A1 ARCHITECTURAL FLOOR PLAN
S1 FOUNDATION PLAN

DESIGN CRITERIA:

2006 IBC 2007 N. NEVADA AMENDMENTS
2005 NEC 2006 IECC
2006 UPC ICC/ANSI A117.1 - 2003
2006 UMC 2006 IFC
p = 30 PSF GROUND SNOW LOAD 100 PSF FLOOR LIVE LOAD
g
24" FROST DEPTH
100 MPH WIND 3-SEC. GUST EXP. C
SEISMIC DESIGN CATEGORY D

SPECIAL INSPECTION REQUIREMENTS:

NONE.

DEFERRED SUBMITTALS:

1. NONE.

PROJECT SUMMARY:

1. REMOVE EXISTING FLOORING, UNDERLAYMENT, PLYWOOD FLOOR SHEATHING AND BASE MOLDING. SALVAGE EXISTING THRESHOLDS.
2. INSTALL NEW FLOOR SHEATHING AND 3/8" PLYWOOD UNDERLAYMENT.
3. INSTALL NEW FLOORING, MOLDING AND THRESHOLDS. RE-INSTALL EXISTING THRESHOLDS.
4. INSTALL VISQUEEN VAPOR BARRIER ON SUBGRADE IN CRAWL SPACE UNDER ALL NEW FLOOR AREAS.

APPROVALS:

CARSON CITY BUILDING & SAFETY

CARSON CITY ENGINEERING

CARSON CITY UTILITIES

CARSON CITY FIRE DEPARTMENT

CARSON CITY BUILDING DEPARTMENT PERMIT NUMBER:
13-_____

| Rev. No. | Date |
|----------|------|
| 1 | |
| 2 | |
| 3 | |
| 4 | |
| 5 | |
| 6 | |

This drawing has been prepared by RL Engineering, for use by the title block for construction, operation, facility named in the title block. This drawing may not be used for any other facility or purpose without written consent of the engineer.

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CARSON CITY SENIOR CITIZENS CENTER

TITLE SHEET

911 BEVERLY DRIVE, CARSON CITY, NV 89701

JOB # 120310

DESIGN BY: RFL

DRAWN BY: PDB

CHECKED BY: RFL

DATE: 4-29-13

FILE:

SHEET: T1

CONSTRUCTION NOTES:

1. CONTRACTOR SHALL COORDINATE ALL WORK WITH THE DIRECTOR, JANICE MCINTOSH OR HER DESIGNATED AGENT.
2. REMOVE EXISTING BASE MOLDING, VINYL COMPOSITION TILE FLOORING AND UNDERLAYMENT.
3. SEE NOTES ON SHEET S1 REGARDING REMOVAL OF FLOOR SHEATHING AND FASTENING OF EXISTING AND NEW FLOOR SHEATHING.
4. CONTRACTOR SHALL REMOVE AND RE-INSTALL EXISTING COUNTERS SHOWN AS NEEDED TO ACCOMPLISH THE WORK. SHUT OFF, DISCONNECT AND RE-CONNECT ALL WATER, VENT AND DRAIN LINES TO GALLEY FIXTURES. SHUT OFF, DISCONNECT AND RE-CONNECT EX. ELECTRICAL FIXTURES SHOWN. OWNER WILL REMOVE LOOSE TABLES, CHAIRS, SHELVING, AND EQUIPMENT ON CASTERS.
5. CONTRACTOR SHALL TOUCH UP ALL WALL FINISHES TO MATCH EXISTING WHERE DAMAGED BY THE WORK.
6. CONTRACTOR SHALL DISPOSE OF ALL WASTE AND DEMOLISHED MATERIAL OFFSITE IN A LAWFUL MANNER.

FLOORING NOTES:

1. FLOORING SHALL BE SIKA COMFORTFLOOR URETHANE FLOORING SYSTEM OR APPROVED EQUAL (SEE WRITTEN SPECIFICATIONS). FLOORING CONTRACTOR SHALL SUBMIT FLOORING MATERIAL SUBMITTALS FOR APPROVAL BY THE PROJECT ENGINEER PRIOR TO PROCUREMENT. COLOR SHALL BE AS SELECTED BY OWNER FROM MANUFACTURER'S STANDARD OR MIXED COLORS.
2. FLOORING CONTRACTOR SHALL SEAL ALL INTERIOR DOORS AND RETURN AIR GRILLS WITH PVC TAPE AND PLASTIC SHEETING TO PREVENT AIR IN THE WORK AREA FROM MOVING TO OTHER AREAS OF THE BUILDING. CONTRACTOR SHALL PROVIDE AND USE FANS TO CONTINUOUSLY EXHAUST AIR TO THE OUTSIDE WHILE FLOORING APPLICATION AND CURING ARE ONGOING.
3. EXISTING BASE MOLDING SHALL BE REMOVED AND REPLACED WITH 4" HIGH INTEGRAL BASE MOLDING WHICH IS THE SAME MATERIAL AS THE FLOORING. PRIOR TO INSTALLING FLOORING, A 1" RADIUS EPOXY CORNER SHALL BE INSTALLED AT ALL WALL LOCATIONS ADJACENT TO NEW FLOORING.
4. FLOOR CONTRACTOR SHALL REMOVE AND REPLACE THRESHOLDS AND DOORSTOPS IN KIND - SALVAGE AND RE-USE OR REPLACE EXISTING AS APPROVED BY OWNER. PROVIDE NEW THRESHOLDS WHERE INDICATED.

BUILDING NOTES:

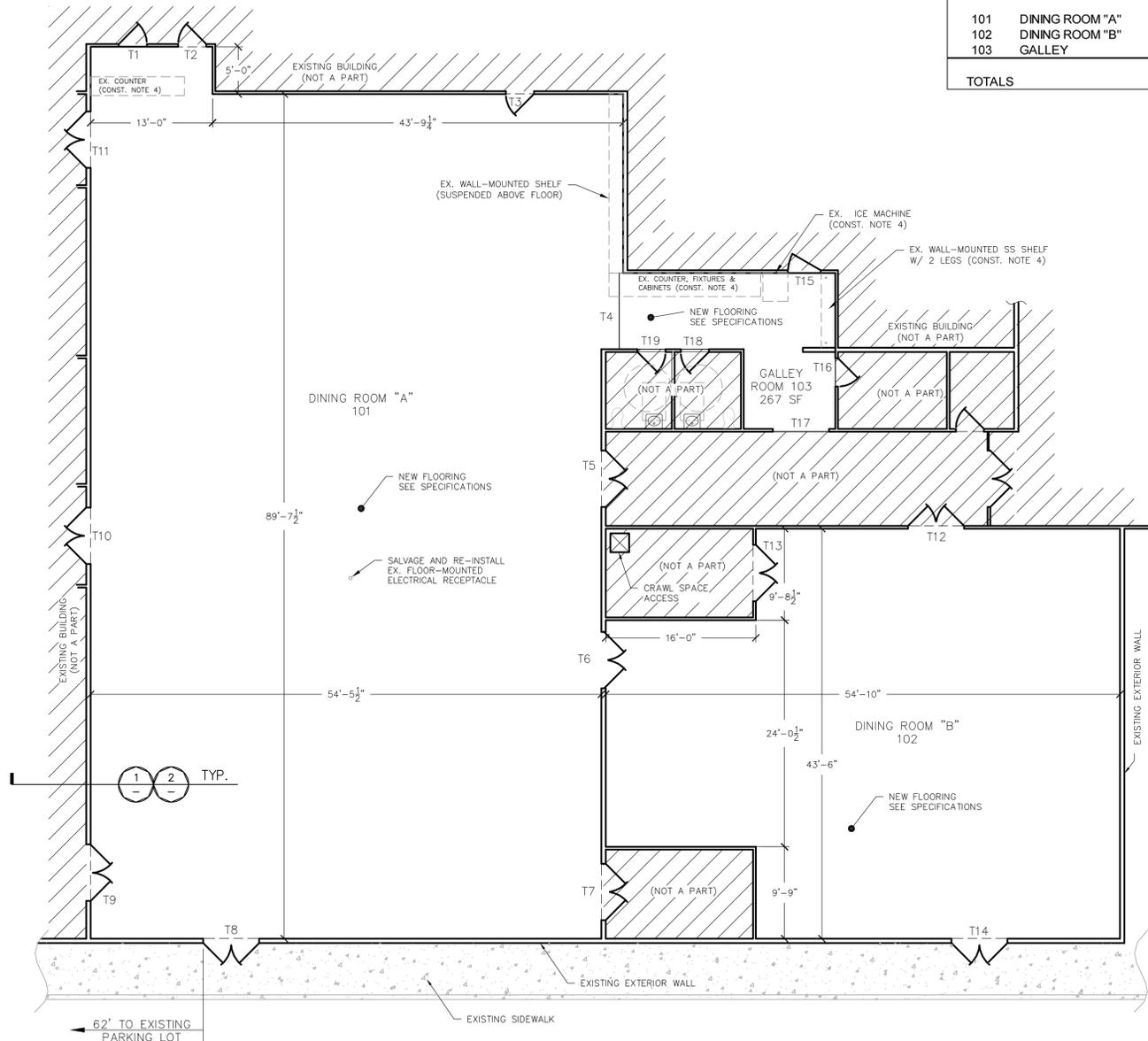
1. DIMENSIONS AND AREAS ARE TO ROUGH FRAMING. DIMENSIONS ARE BASED ON DESIGN DRAWINGS. FIELD-VERIFY ALL DIMENSIONS.
2. REMAINDER OF BUILDING NOT SHOWN.

FLOOR QUANTITY SUMMARY TABLE:

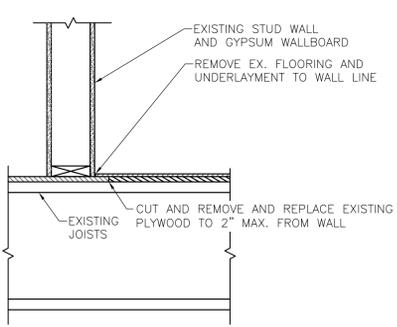
| ROOM NO. | NAME | AREA (SF) | BASE MOLDING (LF) | THRESHOLDS (LF) |
|---------------|-----------------|--------------|-------------------|-----------------|
| 101 | DINING ROOM "A" | 4,991 | 241.4 | 55.33 |
| 102 | DINING ROOM "B" | 2,074 | 180.2 | 18 |
| 103 | GALLEY | 284 | 61.5 | 18.5 |
| TOTALS | | 7,349 | 483.1 | 91.83 |

DOOR THRESHOLD TABLE

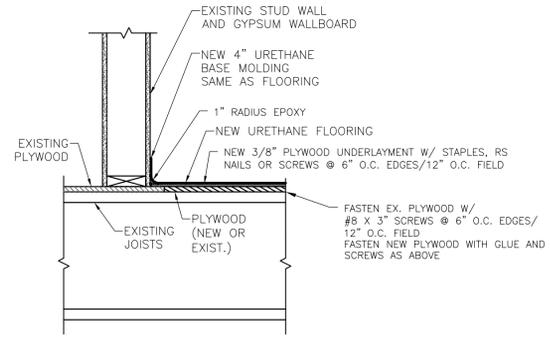
| Room | No. | L (ft) | Type | Subtotal |
|--------------|------------------------|--------|------|--------------|
| A | T1 | 3 | 1 | |
| | T2 | 3 | 1 | |
| | T3 | 3 | 1 | |
| | T4 | 10.33 | 2 | |
| | T5 | 6 | 1 | |
| | T6 | 0 | 3 | |
| | T7 | 6 | 4 | |
| | T8 | 6 | 1 | |
| | T9 | 6 | 4 | |
| | T10 | 6 | 1 | |
| | T11 | 6 | 1 | |
| | | | | 56.33 |
| B | T12 | 6 | 4 | |
| | T13 | 6 | 4 | |
| | T14 | 6 | 1 | |
| | | | | 18 |
| Galley | T15 | 3.5 | 1 | |
| | T16 | 3 | 1 | |
| | T17 | 6 | 1 | |
| | T18 | 3 | 1 | |
| | T19 | 3 | 1 | |
| Total | | | | 91.83 |
| Type | Scope | | | |
| 1 | SALVAGE AND RE-INSTALL | | | |
| 2 | REMOVE | | | |
| 3 | NO WORK | | | |
| 4 | INSTALL NEW | | | |



FLOOR PLAN
SCALE: 1/8" = 1'-0"



1 DEMOLITION DETAIL @ WALL
SCALE: 1" = 1'-0"
(TYPICAL AT ALL WALLS ADJACENT TO FLOORING)



2 FLOORING DETAIL @ WALL
SCALE: 1" = 1'-0"
(TYPICAL AT ALL WALLS ADJACENT TO FLOORING)

Date: _____

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| Rev. No. | 1 | 2 | 3 | 4 | 5 | 6 |
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CARSON CITY SENIOR CITIZENS CENTER
FLOOR PLAN
911 BEVERLY DRIVE, CARSON CITY, NV 89701

| | |
|-------------|---------|
| JOB # | 120310 |
| DESIGN BY: | RFL |
| DRAWN BY: | PDB |
| CHECKED BY: | RFL |
| DATE: | 4-29-13 |
| FILE: | |
| SHEET: | A1 |

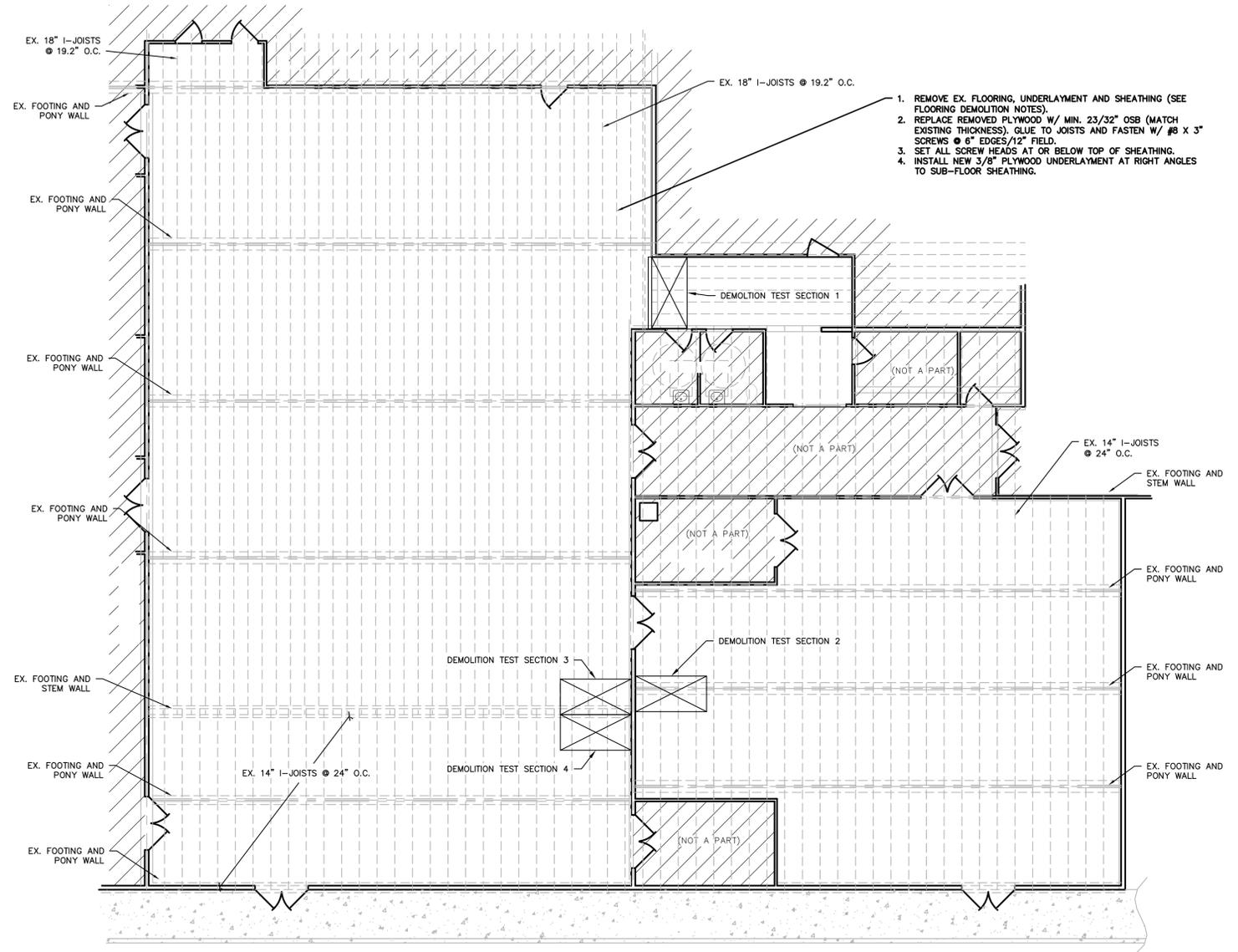
STRUCTURAL SPECIFICATIONS

1. GENERAL:

- A. ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE 2006 INT'L. BUILDING CODE (IBC), LOCAL ORDINANCES AND REFERENCED STANDARDS OF ASTM, AISC, CRSI AND AITC.
- B. ALL WORK SHALL CONFORM TO THE PLANS AND GENERAL NOTES, AND SHALL BE SUBJECT TO APPROVAL OF THE ENGINEER. APPROVAL TO DEVIATE FROM THE PLANS MUST BE OBTAINED IN WRITING.

2. ROUGH CARPENTRY:

- A. ALL DIMENSIONAL FRAMING LUMBER SHALL BE DOUGLAS FIR-LARCH UNLESS NOTED OTHERWISE. ALL LUMBER SHALL BE AIR SEASONED WITH A MOISTURE CONTENT NOT EXCEEDING 19% AT THE TIME OF INSTALLATION. ALL JOISTS, RAFTERS, AND PLATES SHALL BE NO. 2 OR BETTER, AND BEAMS AND POSTS NO. 1 OR BETTER. ALL OTHER MEMBERS CONSTRUCTION GRADE UNLESS NOTED OTHERWISE.
- B. STRUCTURAL STEEL HARDWARE SHALL BE FABRICATED TO DETAIL IN ACCORDANCE WITH AISC STANDARDS.
- C. NAILING SHALL BE IN ACCORDANCE WITH IBC TABLE 2304.9.1, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- D. PROVIDE SIMPSON OR EQUAL CONNECTORS WHERE SHOWN ON DRAWINGS. INSTALL IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS USING MANUFACTURER'S RECOMMENDED NAILS.
- E. BOLTS SHALL BE ASTM A 307 WITH STANDARD CUT WASHERS WHERE HEAD OR NUT BEARS ON WOOD.
- F. CUT FRAMING MEMBERS SQUARE AND TO ACCURATE LENGTH TO OBTAIN FULL BEARING AT JOINTS. ERECT PLUMB AND LEVEL AND TO ACCURATE LINE.
- G. FLOOR SHEATHING SHALL HAVE TONGUE-AND-GROOVE EDGES AND SHALL HAVE A FLOOR SPAN RATING EQUAL TO OR GREATER THAN THE EXISTING JOIST SPACING O.C.



1. REMOVE EX. FLOORING, UNDERLAYMENT AND SHEATHING (SEE FLOORING DEMOLITION NOTES).
2. REPLACE REMOVED PLYWOOD W/ MIN. 23/32" OSB (MATCH EXISTING THICKNESS). GLUE TO JOISTS AND FASTEN W/ #8 X 3" SCREWS @ 6" EDGES/12" FIELD.
3. SET ALL SCREW HEADS AT OR BELOW TOP OF SHEATHING.
4. INSTALL NEW 3/8" PLYWOOD UNDERLAYMENT AT RIGHT ANGLES TO SUB-FLOOR SHEATHING.

FLOOR FRAMING PLAN
SCALE: 1/8" = 1'-0"



- FLOORING DEMOLITION NOTES:**
1. CONTRACTOR SHALL BEGIN DEMOLITION AT LOCATIONS NOTED ON PLAN "DEMOLITION TEST SECTION". CONTRACTOR SHALL GIVE OWNER 48 HOURS NOTICE SO THE WORK CAN BE OBSERVED BY THE OWNER'S REPRESENTATIVE AND BY THE ENGINEER.
 2. CONTRACTOR SHALL DETERMINE IF THE UNDERLAYMENT IS REMOVABLE DOWN TO THE TOP OF THE UNDERLYING SUB-FLOOR AT A RATE CONSISTENT WITH STAPLED UNDERLAYMENT, AND WITHOUT SIGNIFICANTLY DAMAGING THE SUB-FLOOR PLYWOOD. THIS SHOULD BE DONE BY MAKING 1/2" DEEP SAWCUTS (OR DEEPER IF IT PROVES THE DEPTH TO TOP OF SUB-FLOOR IS MORE THAN THAT) AND PRYING UP THE CUT FLOORING AND UNDERLAYMENT.
 3. IF IT PROVES THAT THE UNDERLAYMENT CAN BE THUS REMOVED, THE CONTRACTOR WILL BE DIRECTED TO PROCEED WITH REMOVAL OF UNDERLAYMENT BUT NOT SUB-FLOOR PLYWOOD.
 4. IF IT PROVES THAT THE UNDERLAYMENT CANNOT BE REMOVED AT A RATE CONSISTENT WITH STAPLED UNDERLAYMENT AND WITHOUT SIGNIFICANTLY DAMAGING THE SUB-FLOOR, THEN THE CONTRACTOR WILL BE DIRECTED TO PROCEED WITH DEMOLITION DOWN TO THE TOP OF THE JOISTS.

(Y/SX) DETAIL/SECTION CALLOUT. REFERS TO DETAIL "Y" ON SHEET "SX"

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| Date | |
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FLOOR FRAMING PLAN
911 BEVERLY DRIVE, CARSON CITY, NV 89701

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| JOB # | 120310 |
| DESIGN BY: | RFL |
| DRAWN BY: | PDB |
| CHECKED BY: | RFL |
| DATE: | 5-2-13 |
| FILE: | |
| SHEET: | S1 |