

**STAFF REPORT FOR PLANNING COMMISSION MEETING OF NOVEMBER 28,**

**FILE NO:** SUP-12-130

**AGENDA ITEM:** G-2

**STAFF AUTHOR:** Kathe Green, Assistant Planner

**REQUEST:** Special Use Permit to allow permanent outdoor display and sales of merchandise in a General Commercial (GC) zoning district.

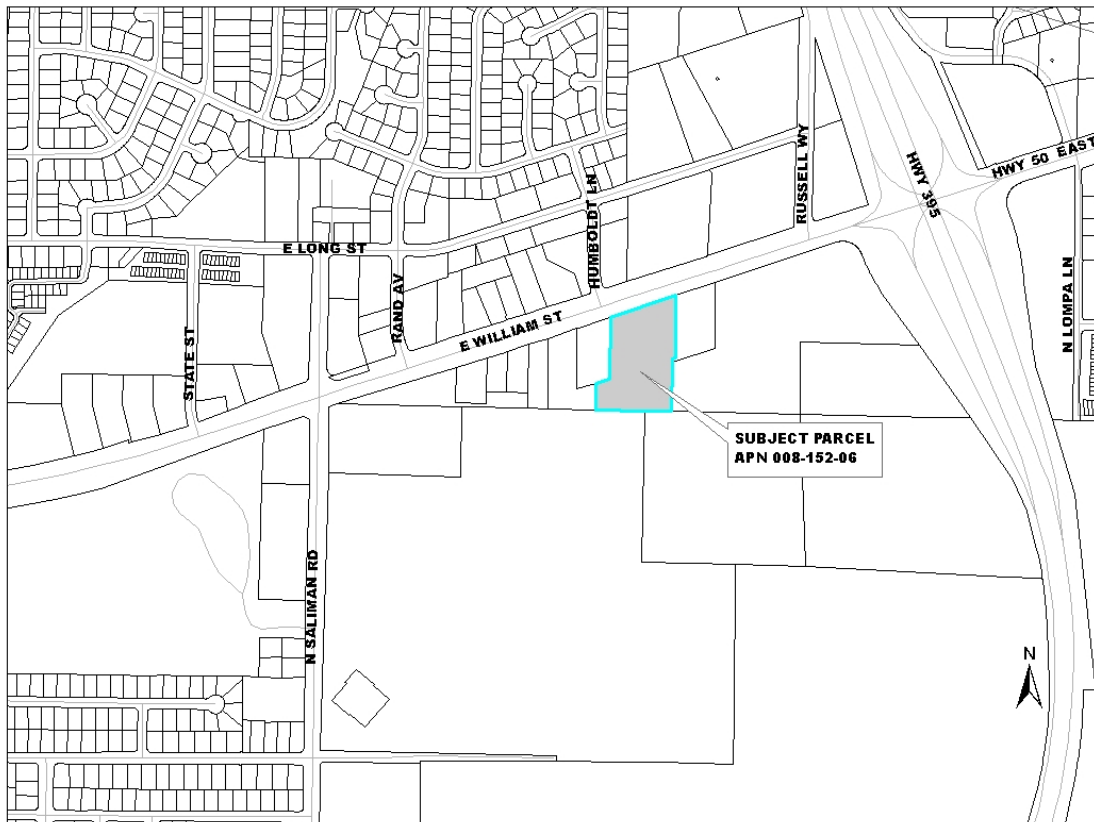
**OWNER:** Maurice W Crook Trust & et al

**APPLICANT/AGENT:** Jim Todd, California Gold Development Co/R O Anderson Eng

**LOCATION:** East William Street

**APN:** 008-152-06

**RECOMMENDED MOTION:** "I move to approve SUP-12-130, a Special Use Permit to allow permanent outdoor display and sales of merchandise in the General Commercial zoning district, located on East William Street, APN 008-152-06, based on the findings and subject to the conditions of approval contained in the staff report."



## **RECOMMENDED CONDITIONS OF APPROVAL:**

### **The following shall be completed prior to commencement of the use:**

1. The applicant must sign and return the Notice of Decision for conditions for approval within 10 days of receipt of notification. If the Notice of Decision is not signed and returned within 10 days, then the item will be rescheduled for the next Planning Commission meeting for further consideration.
2. All development shall be substantially in accordance with the development plans approved with this application, except as otherwise modified by these conditions of approval.
3. All on- and off-site improvements shall conform to City standards and requirements.
4. The applicant shall obtain a building permit from the Carson City Building and Safety Department for any proposed construction. Contact the Building Department for approximate fees, design criteria, number of plans to submit and general assistance in the City's Building Permit process.
5. The applicant shall meet all the conditions of approval and commence the use for which this permit is granted within twelve months of the date of final approval. A single, one year extension of time may be granted if requested in writing to the Planning and Community Development Department thirty days prior to the one year expiration date. Should this permit not be initiated within one year and no extension granted, the permit shall become null and void.

### **The following shall be submitted with any building permit application:**

6. The applicant shall submit a copy of the Notice of Decision and conditions of approval, signed by the applicant and owner, with any building permit application.
7. A Geotechnical Report will be required. The Geotechnical report for the proposed location shall include a complete assessment of the potential consequences of any liquefaction and soil strength loss, including estimation of differential settlement, lateral movement or reduction in foundation soil-bearing capacity, and shall address mitigation measures ('06 IBC 1802.2.7 #2) per Building Division/Engineering Division comments.

### **The following applies to the site throughout the life of the project:**

8. The permanent outdoor display and sales area is strictly limited to the areas shown on

the submitted site plan, which are within the fenced area to the east of the main building and unfenced areas to the north of the building.

9. If food products are to be stored in this location, approval must be obtained on a case-by-case basis from Environmental Health prior to initiating the display.
10. Trash and debris generated at the areas of the outdoor display and sales must be collected by the business and placed in an appropriate trash container on the site.
11. Advertising of a product or service is limited to promotion of the existing permanently licensed primary business activity on the site.
12. Display cannot impede, restrict or block any aisle, doorway, pathway or pedestrian access from parking lot or street or to or from buildings for either customers or employees.
13. Reclaimed water must be used for dust control.

#### **ENGINEERING CONDITIONS:**

14. Any engineering work done on this project must be wet stamped and signed by an engineer licensed in Nevada. This will include site, grading, utility and erosion control plans as well as standard details.
15. Reclaimed water must be used for dust control.
16. A Private Testing Agreement will be necessary for compaction and concrete testing in the right of way of the streets. The form can be obtained through Carson City Permit Engineering.
17. A wet stamped fire flow analysis must be submitted to show that fire flows meet the minimum requirements of the Carson City Fire Department. See section 15 of CCDS. Please contact Tom Grundy, P.E. at (775) 283-7081 for more fire flow information.
18. If a commercial fire line is required, the system must be designed by an engineer. The double check assembly must be above ground in a hot box, and located as close to the property line (on the private side) as possible. Please see section 445A of Nevada Administrative Code.
19. The domestic water service line will need a reduced pressure backflow preventer as shown in section 445A of the Nevada Administrative Code.

20. The irrigation service will need a reduced pressure backflow preventer if a vacuum breaker system cannot be designed to operate properly. Please include landscaping plans with the construction permit application. Please include a detail sheet with appropriate standard details.
21. An erosion control plan meeting section 13 of CCDS will be required in the plan set.
22. Please show all existing water and sewer utilities, including mains in the street. The new electrical service must be underground.
23. Any work performed in the street right of way will require a traffic control plan and a time line type schedule to be submitted before the work can begin.
24. A Technical Drainage Study must be submitted addressing 5 year and 100 year flows as well as on site detention. See section 14 of CCDS.
25. A traffic study must be submitted according to section 12 of CCDS.
26. Since this area is in a FEMA flood zone, the lowest floor elevation including crawl space must be taken into account, and an elevation certificate must be submitted before a permit can be issued. A finished construction flood elevation certificate must be submitted before a certificate of occupancy can be issued. The lowest floor must be 2 feet above the Base Flood Elevation.
27. A Storm Water Pollution Prevention Permit must be obtained from Nevada Division of Environmental Protection before a permit can be issued.
28. A water and sewer connection fee form will be required. Please submit with the construction permit application.
29. Half street improvements including curb and gutter, concrete multi-use pathway and tie-in paving will be required along the E. William St. frontage.
30. A handicapped accessible pedestrian access must be constructed between the street sidewalk and the buildings.
31. Please see section 12 of CCDS for required distances between driveway approaches.
32. An extension of the sewer main in the street right of way and a new manhole may be required for your lateral tie-in.
33. Minimum sewer lateral slope is 2%, even for a six inch lateral, unless specifically allowed to go to 1% by the Building Official.

34. All water services must connect to the water main on the south side of William at the property line.
35. Provide detail of new storm drain improvements. The improvements are unmarked.
36. The stormwater design shall be updated to incorporate comments sent by Robb Fellows via email to Chad Walling in October 2012.
37. Design of frontage improvements and drainage collection/conveyance shall be coordinated with Public Works staff member Robb Fellows prior to preparation of final construction plans. Robb will be the Public Works staff member responsible for a future City project to reconstruct the multi-use pathway in both directions from the site.
38. Design of proposed western driveway and William Street median island modifications shall be coordinated with Public Works staff members Jeff Sharp, Patrick Pittenger and Robb Fellows prior to preparation of final construction plans.

**LEGAL REQUIREMENTS:** CCMC 18.02.080 (Special Use Permits), 18.02.115.8 Outdoor Sales and Activities, 18.04.135.3 General Commercial Conditional Uses at Permanent Outdoor Sales.

**MASTER PLAN DESIGNATION:** Mixed-use Commercial (MUC)

**PRESENT ZONING:** General Commercial (GC)

**KEY ISSUES:** Will the proposed permanent outdoor sales and display be in keeping with all of the standards of the Carson City Municipal Code? Is this location appropriate for outdoor display? Will the display of merchandise substantially increase sales at this retail location?

### **SURROUNDING ZONING AND LAND USE INFORMATION**

WEST: General Commercial/Retail sales

EAST: General Commercial/Retail sales, parking

NORTH: General Commercial/Retail sales, parking

SOUTH: Public and Agriculture/High School ball fields and vacant

### **ENVIRONMENTAL INFORMATION**

1 FLOOD ZONE: Zone AE (100 year flood plain)

2 EARTHQUAKE FAULT: Zone I Severe, within 500 feet

3 SLOPE/DRAINAGE: Generally flat, some mounds of dirt

4 SOILS: 71 Urban Land

### **SITE DEVELOPMENT INFORMATION**

1 LOT SIZE: 3.82 acres

2 STRUCTURE SIZE: No existing buildings on site. Per application, approximately 19,000 square feet

- for tractor supply store, with additional building at frontage of site of approximately 5,225 square feet.
- 3 STRUCTURE HEIGHT: Proposed fencing is requested at eight feet height. Building would be approximately 25 feet height. Additional building assumed as single story.
  - 4 PARKING: Proposed with retail use.
  - 5 SETBACKS: No existing buildings on site. Proposed display would be placed within a fenced area to the east of the proposed building and unfenced display would be at the front of the building.
  - 6 VARIANCES REQUESTED: None

### **PREVIOUS REVIEWS**

MPR-12-098 held October 16, 2012

U-81-53 dated October 15, 1981, for fencing to exceed six foot height, to allow outside storage and to waive sight-obscuring fencing. Does not appear this project went forward.

### **DISCUSSION:**

A Special Use Permit is required for the following reasons:

- According to CCMC Section 18.04.135.3 General Commercial Conditional Uses, Permanent Outdoor Sales and Activities requires a special use permit.

There has been limited interest in this lot for development in the recent past. A proposal for a new business has been received, for a retail store tractor supply company. The business is requesting outdoor display and sales of merchandise in conjunction with the proposed retail use. Fenced merchandise would be placed to the east of the main building, in an area which would cover approximately 15,072 square feet. The building would be placed approximately 70 feet from the rear property line, with the outside display being placed to the east of the building (see site plan). In addition, unfenced outside display and storage are proposed in front of the building and outside storage, and would be placed on a permanent basis in three areas: 835 square feet (70x12), 1,011 square feet (84x12) and 815 square feet (41x20), covering an area of approximately 2,651 square feet (see site plan).

The retail building is proposed at 19,035 square feet in a single story with an overall height of 25 feet. A second business is anticipated to eventually be placed in front (north) of this building near the frontage of the lot. No details of the nature of the proposed second business are available at this time. For purposes of clarity, a retail pad of 5,225 square feet with a drive-through window are shown on the plan, but no finalized plan has been submitted regarding this portion of the proposal.

All businesses in the General Commercial zoning district are allowed a maximum of 30 days of outdoor display and sales of merchandise within any calendar year. This request is to increase that timeframe to permanent. Stores which place merchandise outdoors to encourage customer interest have found that it is a very effective means of increasing visibility and sales. In addition, the nature of this proposed business, generally described as a tractor store, would have large and bulky items on display which would be difficult to store inside the building. This store anticipates success through increased volume of sales

through interest in this outdoor display and the availability of additional merchandise for customers to view prior to purchase. The display areas would be to the center and eastern section of the property, not at the roadway. Impacts to the surrounding areas would be reduced as the placement of the materials would be near the center of the property, not at the frontage areas.

**PUBLIC COMMENTS:** Public notices were mailed to 31 adjacent property owners within 700 feet of the subject site. At the writing of this report no written comments have been received either in favor of or in opposition to the proposal. Any comments that are received after this report is completed will be submitted to the Planning Commission prior to or at the meeting on November 28, 2012, depending on the date of submission of the comments to the Planning and Community Development Department.

**OTHER CITY DEPARTMENTS OR OUTSIDE AGENCY COMMENTS:** The following comments were received by various city departments. Recommendations have been incorporated into the recommended conditions of approval, where applicable.

Building Division: Comment sheet attached

Fire Department: No concerns

Engineering Department: Comments for MPR-12-098 have been attached

Health and Human Services: No concerns

Parks and Recreation Department: No comments received

Environmental Control: No concerns

**FINDINGS:** Staff's recommendation is based upon the findings as required by CCMC Section 18.02.062 (Special Use Permits) enumerated below and substantiated in the public record for the project.

1. Will be consistent with the master plan elements.

**Goal 6.2 Promote Compatible Infill and Redevelopment**

**Goal 9.3- Maintain the Quality and Character of Established Neighborhoods**

**6.2a-Develop standards for neighborhood infill and redevelopment**

**9.3b- Establish infill and redevelopment standards to minimize impacts on existing neighborhoods**

*This proposal is to place merchandise along the outside of the front and eastern side of a proposed business building as a display to enhance sales. The display and appearance of these products is intended to encourage business and sales to the local and driving community at this location. Encouraging sales at this location would increase the success of a new business within the community and broaden the tax base if the business is successful. A successful business in this location could turn a vacant and unsightly lot into an attractive benefit to the area through an increase in sales and sales taxes. The outdoor*

*display of merchandise is proposed to increase sales, thereby providing increased profit to the business involved as well as an increase in taxable sales as a benefit to the community. A new building and increase in sales in this area would help to make it more attractive as a shopping destination and therefore more viable and attractive to the community.*

2. Will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and will cause no objectionable noise, vibrations, fumes, odors, dust, glare or physical activity.

*The intended proposal is to expand the view of products which would otherwise have been available for sale within the confines of the building, and to display these outside the building. All merchandise is eligible for display if this special use permit is approved. It is anticipated that large, bulky items, farm maintenance products, equipment, lawn and garden products and outdoor products will be displayed outside rather than within the confines of the building. Bulky items may be displayed where they can be more easily transported to customer vehicles. Outdoor display will also serve to draw the driving public into these locations as merchandise displayed outdoors could not only increase interest from existing customers but also the driving public, and thereby increase total sales.*

*Reclaimed water must be used for dust control per the Engineering Division.*

3. Will have little or no detrimental effect on vehicular or pedestrian traffic.

*The applicant is assuming that additional traffic will be created as a result of an increase in business at this location or that additional sales from customers will be generated if this request for outside display is approved. The business would be adjacent to a street which is a major thoroughfare, East William Street, where large numbers of vehicles pass every day. The proposed driveway entrances and modification of the left turn entrance area have been reviewed by the Transportation and Public Works Departments for compliance with their requirements. No impediment to pedestrian or vehicular traffic is anticipated with the placement of the displays. The proposed displays are limited to areas outside the walking areas, doorways, handicapped accessible areas, sidewalks and drive areas.*

4. Will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage, and other public improvements.

*This new business would need to utilize existing public services, but the creation of a new business would not overburden these services. There are adequate supplies of water, sanitary sewer, storm drainage and other public improvements in this area. The adjacent roadway is East William Street, a multi-lane roadway, which can accommodate additional*



*traffic created by a new business in this location. The locations of the proposed driveways/entrances/exits have been reviewed by the Transportation and Public Works Departments. The proposed outdoor display of merchandise would not negatively impact public services.*

5. Meets the definition and specific standards set forth elsewhere in this title for such particular use and meets the purpose statement of that district.

*The purpose statement of the General Commercial (GC) zoning district is to preserve the commercial district limited primarily to retail and wholesale sales of new and used material, repair and services facilities and offices. Temporary unscreened outdoor display and sale of merchandise for a period not to exceed 30 days within a calendar year may be authorized by the Director subject to Title 18.02.115.8 (Outdoor Sales and Activities) Outside storage (subject to Division 1 and 1.12 Outside Storage of the Development Standards) is an allowed accessory use in this zoning district. The proposed use of Permanent Outdoor Sales and Display is contained within the Conditional uses in the General Commercial zoning District and requires approval of a Special Use Permit.*

*The proposed conditional use of outdoor display and sales of merchandise is intended to provide more sales of products at the proposed location of a new business, a tractor supply company, which is a permitted use within this zoning district.*

6. Will not be detrimental to the public health, safety, convenience and welfare.

*The proposed outdoor display of merchandise is not anticipated to be detrimental to the public health, safety, convenience and welfare. It is assumed by the business owner that the outdoor display will provide additional sales of merchandise and therefore, profit. Outdoor display is a convenient way to facilitate sales of products, and a common method of advertising large, bulky items related to a business. By moving the display and sales of products to the outdoors, large, bulky merchandise is more easily seen by the impulse purchase customer as well as the driving public, who may be passing this site.*

7. Will not result in material damage or prejudice to other property in the vicinity.

*The outdoor display and sales of product at this location is not anticipated to result in material damage or prejudice to other property in the vicinity. The proposed tractor supply business is a permitted use in the General Commercial zoning district.*

Respectfully submitted,

PLANNING DIVISION

*Kathe Green*

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Kathe Green, Assistant Planner

Attachments

- Application SUP-12-130
- Building Department comments
- Engineering Department comments
- Fire Department comments
- Health Department comments
- Environmental Control comments

<b>File # (Ex: MPR #07-111)</b>	<i>Sup-12-130</i>
<b>Brief Description</b>	<i>New Retail Building</i>
<b>Project Address or APN</b>	<i>APN #008-152-06</i>
<b>Bldg Div Plans Examiner</b>	<i>Kevin Gattis</i>
<b>Review Date</b>	
<b>Total Spent on Review</b>	

**RECEIVED**

NOV 01 2012

CARSON CITY  
PLANNING DIVISION

**BUILDING DIVISION COMMENTS:**

1. Commercial submittals shall show compliance with the following codes, and adopted amendments:

- 2006 International Building Code
- 2009 International Energy Conservation Code
- 2006 International Fire Code
- 2006 Uniform Mechanical Code
- 2006 Uniform Plumbing Code
- 2005 National Electrical Code
- 2003 ICC/ANSI A117.1 (For accessible design)

2. Project requires application for a Building Permit, issued through the Carson City Building Division. This will necessitate a complete review of the project to verify compliance with all adopted construction codes and municipal ordinances applicable to the scope of the project.

3. As a part of a submittal, provide a separate plan sheet, which clearly shows the **Accessible Route / Exit Discharge Plan**. The **Accessible Route / Exit Discharge Plan** shall have the following minimum information from the accessible entrance of the facility to the public right of way. ('06 IBC Section 1007, 1104.1 & ICC/ANSI A117.1-2003 Chapter 4 & 5):

- Indicate accessible route surface
- Indicate accessible route slope
- **Indicate accessible route width** (Minimum width is 36" (thirty-six inches); however, if the wheelchair is near a drop or change in elevation, a guard will be required. (ICC/ANSI A117.1-2003 Section 4 03.5 & Table 403.5)
- Indicate accessible route turn radius
- Indicate all accessible ramps, with a dimensioned cross section details indicating slope & guardrails (where applicable)
- Indicate the location and type of the detectable warning surface at curb ramps, island or cut-through medians (*ICC/ANSI A117.1-2003 Sections 406.13, 406.14 & 705*)
- Indicate all accessible parking, with signage
- Indicate location of all building and site accessible signage, with an elevation view to verify compliance with required text, height, etc.

NOTE: The **Accessible Route / Exit Discharge Plan** shall clearly show the accessible route from the accessible entrance of the facility to the accessible parking, public streets and sidewalks – as applicable to the site. (*'06 IBC 1007.2, 1023.6, & 1104.1*)

The ground floor units are required to be either "Type A or B" accessible.

4. As a part of the submittal, include a complete "Architectural Design Analysis", which shall include a **complete** break down of the allowable area and height versus the actual area and height.



**RECEIVED**

OCT 31 2012

CARSON CITY  
PLANNING DIVISION

## MEMORANDUM

**DATE:** October 30, 2012  
**TO:** Planning Division  
**FROM:** Rory Hogen and Jeff Sharp – Engineering & Utilities  
**RE:** SUP-12-130 and MPR 12-098 E. William St. Comm. Prop. 08-152-06  
Engineering Comments

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This Division has completed a review of the above referenced project.

Based on our review, the following comments are offered:

1. Any engineering work done on this project must be wet stamped and signed by an engineer licensed in Nevada. This will include site, grading, utility and erosion control plans as well as standard details.
2. The Carson City Building Division will likely require a Geotechnical Report for this project.
3. All construction work must be to Carson City Development Standards (CCDS) and meet the requirements of the Carson City Standard Details.
4. Reclaimed water must be used for dust control.
5. A Private Testing Agreement will be necessary for compaction and concrete testing in the right of way of the streets. The form can be obtained through Carson City Permit Engineering.
6. A wet stamped fire flow analysis must be submitted to show that fire flows meet the minimum requirements of the Carson City Fire Department. See section 15 of CCDS. Please contact Tom Grundy, P.E. at (775) 283-7081 for more fire flow information.
7. If a commercial fire line is required, the system must be designed by an engineer. The double check assembly must be above ground in a hot box, and located as close to the property line (on the private side) as possible. Please see section 445A of Nevada Administrative Code.
8. The domestic water service line will need a reduced pressure backflow preventer as shown in section 445A of the Nevada Administrative Code.
9. The irrigation service will need a reduced pressure backflow preventer if a vacuum breaker system cannot be designed to operate properly.
10. An erosion control plan meeting section 13 of CCDS will be required in the plan set.
11. Please show all existing water and sewer utilities, including mains in the street.

12. The new electrical service must be underground.
13. Any work performed in the street right of way will require a traffic control plan and a time line type schedule to be submitted before the work can begin.
14. A Technical Drainage Study must be submitted addressing 5 year and 100 year flows as well as on site detention. See section 14 of CCDS.
15. A traffic study must be submitted according to section 12 of CCDS.
16. Since this area is in a FEMA flood zone, the lowest floor elevation including crawl space must be taken into account, and an elevation certificate must be submitted before a permit can be issued.
17. A finished construction flood elevation certificate must be submitted before a certificate of occupancy can be issued. The lowest floor must be 2 feet above the Base Flood Elevation.
18. A Storm Water Pollution Prevention Permit must be obtained from Nevada Division of Environmental Protection before a permit can be issued.
19. Please include a detail sheet with appropriate standard details.
20. A water and sewer connection fee form will be required. Please submit with the construction permit application.
21. Please include landscaping plans with the construction permit application.
22. Half street improvements including curb and gutter, concrete multi-use pathway and tie-in paving will be required along the E. William St. frontage.
23. A handicapped accessible pedestrian access must be constructed between the street sidewalk and the buildings.
24. Please see section 12 of CCDS for required distances between driveway approaches.
25. An extension of the sewer main in the street right of way and a new manhole may be required for your lateral tie-in.
26. Minimum sewer lateral slope is 2%, even for a 6" lateral, unless specifically allowed to go to 1% by the Building Official.
27. All water services must connect to the water main on the south side of William at the property line.
28. Are the new storm drain improvements being tied into the existing storm drain with manholes? The improvements are unmarked.
29. The stormwater design shall be updated to incorporate comments sent by Robb Fellows via email to Chad Walling in October 2012.
30. Design of frontage improvements and drainage collection/conveyance shall be coordinated with Public Works staff member Robb Fellows prior to preparation of final construction plans. Robb will be the Public Works staff member responsible for a future City project to reconstruct the multi-use pathway in both directions from the site.
31. Design of proposed western driveway and William Street median island modifications shall be coordinated with Public Works staff members Jeff Sharp, Patrick Pittenger and Robb Fellows prior to preparation of final construction plans.

These comments are based on a very general site plan and do not indicate a complete review. All pertinent requirements of Nevada State Law, Carson City Code, and Carson City Development Standards will still apply whether mentioned in this letter or not.

October 30, 2012

SUP-12-130

**RECEIVED**

OCT 30 2012

CARSON CITY  
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The Fire Department has no comments or concerns regarding SUP-12-130.

November 9, 2012

**RECEIVED**

NOV 09 2012

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PLANNING DIVISION

Carson City Health and Human Services has no concerns based on the information provided to us for SUP 12-130.

Dustin Boothe



October 30, 2012

SUP-12-130

The ECA has no comments for this SUP.

Thank You

Have a Great Day :)

Mark Irwin  
Environmental Control Officer 3  
Carson City Public Works Dept.  
3505 Butti Way  
Carson City, Nevada 89701  
Fax # (775) 887 - 2354  
Phone # (775) 283 - 7380  
E-mail - [mirwin@carson.org](mailto:mirwin@carson.org)  
\*Please Note\*  
New Office Hours are:  
Mon-Thurs. 07:00-05:30



Carson City Planning Division  
108 E. Proctor Street • Carson City NV 89701  
Phone: (775) 887-2180 • E-mail: planning@carson.org

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**FILE # SUP - 12 - SUP - 12 - 130**

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Gwen Manfrin  
PROPERTY OWNER

---

47 Rheem Blvd Orinda CA  
MAILING ADDRESS, CITY, STATE, ZIP

---

925 980 3914 925 253-1052 9483  
PHONE # FAX #

---

Name of Person to Whom All Correspondence Should Be Sent  
**Jim Todd, COO, California Gold Development**

---

APPLICANT/AGENT  
**133 Old Wards Ferry Rd., Sonora, CA 95370**

---

MAILING ADDRESS, CITY, STATE ZIP  
**(209) 533.3333 (209) 533.3160**

---

PHONE # FAX #

---

jim@calgolddevelopment.com  
E-MAIL ADDRESS

FOR OFFICE USE ONLY:

CCMC 16.02

**RECEIVED**

**SPECIAL USE PERMIT OCT 25 2012**

FEE: \$2,450.00 MAJOR  
\$2,200.00 MINOR (Res. CARSON CITY PLANNING DIV. districts)

\* noticing fee and CD containing application digital data (all to be submitted once the application is deemed complete by staff)

SUBMITTAL PACKET

- 8 Completed Application Packets (1 Original + 7 Copies) including:
- Application Form
- Written Project Description
- Site Plan
- Building Elevation Drawings and Floor Plans
- Proposal Questionnaire With Both Questions and Answers Given
- Applicant's Acknowledgment Statement
- Documentation of Taxes Paid-to-Date (1 copy)
- Project Impact Reports (Engineering) (4 copies)

Application Reviewed and Received By:

Submittal Deadline: See attached PC application submittal schedule.  
Note: Submittals must be of sufficient clarity and detail such that all departments are able to determine if they can support the request. Additional information may be required.

Project's Assessor Parcel Number(s): <b>008-152-06</b>	Street Address ZIP Code <b>Hwy 50 East, Carson City, NV 89701</b>
Project's Master Plan Designation: <b>Mixed Use Commercial</b>	Project's Current Zoning <b>General Commercial</b>
Nearest Major Cross Streets: <b>N. Saliman Road</b>	

Briefly describe your proposed project (Use additional sheets or attachments if necessary). In addition to the brief description of your project and proposed use, provide additional page(s) to show a more detailed summary of your project and proposal. In accordance with Carson City Municipal Code (CCMC) Section: \_\_\_\_\_, or Development Standards, Division \_\_\_\_\_, Section \_\_\_\_\_, a request to allow as a conditional use is as follows:

**Proposed approximate 15,000 square foot outdoor sales area in support of an approximately 19,000 square foot non-speculative retail building.**

PROPERTY OWNER'S AFFIDAVIT

Gwen Manfrin being duly deposed, do hereby affirm that I am the record owner of the subject property, and that I have knowledge of, and I agree to, the filing of this application.

Signature: Gwen Manfrin Address: 47 Rheem Blvd Orinda, CA 94833 Date: 10-12-12

Use additional page(s) if necessary for other names.

STATE OF NEVADA California )  
COUNTY Contra Costa )

On October 12, 2012, Gwen Manfrin, personally appeared before me, a notary public, personally known (or proved) to me to be the person whose name is subscribed to the foregoing document and who acknowledged to me that he/she executed the foregoing document.

Patricia A Rivera  
Notary Public

NOTE: If your project is located within the historic district, airport area, or downtown area, it may need to be scheduled before the Historic Resources Commission, the Airport Authority, and/or the Redevelopment Authority Citizens Committee prior to being scheduled for review by the Planning Commission. Planning personnel can help you make the above determination.



October 25, 2012

CARSON CITY PLANNING DIVISION  
108 E. Proctor Street  
Carson City, Nevada 89701

**Special Use Permit  
Outdoor Sales Area for Tractor Supply Company  
Hwy 50 E, Carson City, Nevada (APN 008-152-06)**

To Whom It May Concern:

On behalf of the applicants, California Gold Development Corporation, please consider this letter our project description and response to the special use permit proposal questionnaire for the Tractor Supply Company. The applicant is requesting a special use permit for approximately 15,000 square feet of fenced outdoor display area and approximately 2,650 square foot of permanent outdoor display area in support of an approximately 19,000 square foot Tractor Supply Company retail building.

The 15,000 square foot display area is located on the west side of the proposed retail building. The additional 2,650 square feet of display area will be located on pads along the front walkway of the store. (Please see *Exhibit "A" Site Plan.*) Products that will be displayed along the store front include wheel barrows, riding lawn mowers, small storage sheds, concrete mixers. Products that will be displayed in the fenced display area will also include farm maintenance products, general maintenance equipment, as well as, lawn and garden products.

The project is located on a vacant 3.8 acre parcel generally located between Superior Tires and Subway along Hwy 50 E in Carson City, Nevada (APN 008-152-06). The project site is zoned General Commercial and has a master plan designation of Mixed Use Commercial.

The overall project will be developed in two phases. The first phase will include construction of Building 'A' for the Tractor Supply Company, the outdoor display areas, two commercial driveway accesses and the required parking spaces to support the Tractor Supply Company use as delineated on the site plan. The first phase will also include construction of a turn pocket for queuing of westbound vehicles on U.S. Highway 50 in order to make a left hand turn into the parking lot. The second phase will be construction of future Building 'B' which could be developed to an approximately 5,225 square foot one-story building, and additional parking spaces to support its use.

*6.1c—Variety and Visual Interest: Promote variety and visual interest in the design of new development through the incorporation of well-articulated building facades, clearly defined entrances and pedestrian connections, landscaping, and other features as consistent with the City's Development Standards.*

As evidenced by the proposed building elevation the proposed building facades are well articulated and promote variety and visual interest. The proposed project has clearly defined entrances and pedestrian connections. A minimum of 20 percent of the site's impervious surfaces, excluding the building coverage, will contain pervious areas of landscape material. To maximize water conservation practices, landscaping will not include turf. All landscaping materials will be Carson City approved deciduous and evergreen species. The proposed project will meet or exceed the minimum requirement for trees and shrubs as required by the Carson City Development Standards. A mixture of living groundcover plantings and non-living mulch shall be used in an attractive manner to control erosion and encourage maximum water retention for the planned vegetation. Irrigation plans shall specify water saving practices appropriate for the planned plants.

*6.2a—Neighborhood Compatibility, 9.3b—Compatibility of Infill and Redevelopment, 9.4a—Infill and Redevelopment : Ensure that infill and redevelopment is of a scale and character that is compatible with and enhances the surrounding development context through the use of appropriate height and density transitions, similar setbacks and lot coverage, garage and loading area location and configuration, connectivity to surrounding development, and other neighborhood specific design considerations.*

The proposed project is located on an infill site and is complementary of the surrounding development in scale and character. The maximum allowed height in the General Commercial zoning district is 45 feet. The proposed building will be approximately 25 feet in height. The fencing around the outdoor sales area is 8 feet in height. The project meets the minimum setbacks requirements. Off-street loading and unloading spaces are provided at the rear of the Building 'A' and are screened by landscaping. Total parking required for Building 'B' will be determined in the future based on final building size and use. Vehicle connections will be provided between parking areas of adjacent properties to improve circulation and access to multiple centers. Additionally, there is a drive aisle through the center of outdoor sales area which can be access via gates.

**Question 2.** *Will the effect of the proposed development be detrimental to the immediate vicinity? To the general neighborhood?*

City Engineer, and the Transportation Manager. Additionally, the applicant met with property owners north of U.S. 50 who expressed their support of the design.

In addition to providing a quality development and products, Tractor Supply will have a positive impact on City revenue and will create 12-16 (approximately half of these will be full-time) additional jobs in Carson City. Additionally, Tractor Supply will promote additional economic development opportunities by providing a strong anchor to future development of Building 'B'.

**Question 3.** *Has sufficient consideration been exercised by the applicant in adapting the project to existing improvements in the vicinity?*

**COMMENT:** The proposed project provides for water, sewer, and road improvements consistent with the Land Use designation. The proposed project will connect to existing Carson City sewer and water facilities. Based on our engineering analysis and the Major Project Review meeting with Carson City Staff, we believe that the water supplies serving this project are adequate to need the needs without degrading the supply and quality to other areas. Furthermore, there is adequate capacity in the sewage disposal trunk lines to serve our project. (Please see enclosed *Commercial/Industrial Water and Sewer Connection Fee Worksheet*.)

Drainage will be accommodated through a combination of on-site detention and retention basins and designed for full build out of the site. (Please see enclosed *Conceptual Drainage Study*.)

The project site will be accessed via U.S. Highway 50 by two commercial driveways. An existing off-street, asphalt, shared path exists across the property frontage. Pursuant to discussions with Carson City Public Works staff, we understand this route is routinely used by students walking to and from school. Care has been taken to provide adequate porkchop medians and a crosswalk hump to increase pedestrian safety and provide pedestrians a refuge while crossing in front of the commercial driveways. As discussed above, multiple conceptual site plans were considered in order to provide adequate access to the project site from U.S. Highway 50 and preserve pedestrian safety, while at the same time preserving left turning movements for properties located north of U.S. Highway 50. The submitted design was based on recommendations received from the City Manager, the City Engineer, and the Transportation Manager and is supported by property owners north of U.S. Highway 50.

ACKNOWLEDGMENT OF APPLICANT

I certify that the forgoing statements are true and correct to the best of my knowledge and belief. I agree to fully comply with all conditions as established by the Planning Commission. I am aware that this permit becomes null and void if the use is not initiated within one-year of the date of the Planning Commission's approval; and I understand that this permit may be revoked for violation of any of the conditions of approval. I further understand that approval of this application does not exempt me from all City code requirements.

Applicant



Date

10-16-12

RECORDING REQUESTED BY

MILTON BERRY SCOTT  
1700 North Broadway, Suite 360  
Walnut Creek, CA 94596

AND WHEN RECORDED MAIL TO:  
Gwen Crook Manfrin  
47 Rheem Blvd.  
Orinda, CA 94563

RECORDED AT THE  
REQUEST OF

*Milton Berry Scott*

2009 JUL 23 PM 12:18

FILE NO. 391928

ALAN CLOVER  
CARSON CITY RECORDER

FFS 4/12/09 *L*

MAIL TAX STATEMENTS TO:  
Gwen Crook Manfrin  
47 Rheem Blvd.  
Orinda, CA 94563

The Undersigned grantor(s) declare(s):  
CITY TRANSFER TAX \$  
DOCUMENTARY TRANSFER TAX none gift to trust  
SURVEY MONUMENT FEE \$  
Computed on the consideration or value of  
property conveyed; OR Computed on the  
consideration or value less liens or  
encumbrances remaining at time of sale.

APN: 8-152-06

**QUITCLAIM DEED**

By this instrument dated June 9, 2009, for a valuable consideration

Dorothy G. Crook, Trustee of the John B. Crook and Dorothy G. Crook Living Trust dated January 6, 1997, do(es) hereby REMISE, RELEASE, AND FOREVER QUITCLAIM to Gwen Crook Manfrin and Joan Cook Soper, Successor Trustees of the John B. Crook and Dorothy G. Crook Living Trust dated January 6, 1997,

the following described real property in the unincorporated area of the County of Carson City, State of Nevada, described as follows:

See Exhibit "A", attached hereto and incorporated herein

DATED:

STATE OF CALIFORNIA  
COUNTY OF CONTRA COSTA

*Dorothy G. Crook*  
DOROTHY G. CROOK

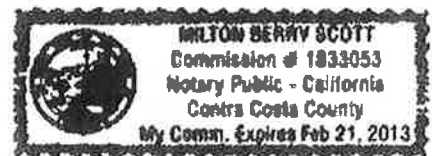
On JUNE 9, 2009 before me, Milton Berry Scott, Notary Public, personally appeared Dorothy G. Crook, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s) or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY of PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

Witness my hand and official seal.

Signature *Milton Berry Scott*

391928



PARCEL FOUR:

Being a portion of the Southwest 1/4 of Section 9, Township 15 North, Range 20 East, M.D.B. & M.

Beginning at the Southeast corner of that parcel of land conveyed to Joseph W. Ciatti and wife by deed recorded July 24, 1968 in Book 78, Page 47, Official Records; thence North 0° 01' 05" West along the East line of said Ciatti Parcel a distance of 131.38 feet more or less to the Southeast corner of that Parcel conveyed to Edd P. Furgerson and Gerald L. Blakley by deed recorded July 6, 1972 in Book 124, Page 590, Official Records, said point also being the Southwest corner of that Parcel conveyed to Edd P. Furgerson and wife and Gerald L. Blakley and wife by deed recorded October 11, 1973 in Book 148, Page 331, Official Records; thence North 71° 36' 00" East along the South line of the aforementioned deed recorded in Book 148, Page 331, Official Records and the South line of those parcels conveyed to Michael F. Lintner by Deed recorded in Book 150, Page 72 and Book 153, Page 177, Official Records a distance of 390.00 feet to the Southeast corner of that Parcel conveyed to Michael F. Lintner by deed recorded February 5, 1974, in Book 153, Page 177, Official Records; thence South 0° 01' 05" East a distance of 253.95 feet to a point on the South section line of Section 9, Township 15 North, Range 20 East M.D.B. & M.; thence West along the South section line of said Section 9, a distance of 370.10 feet to the Point of Beginning.

A.P.N. 8-152-06

391928



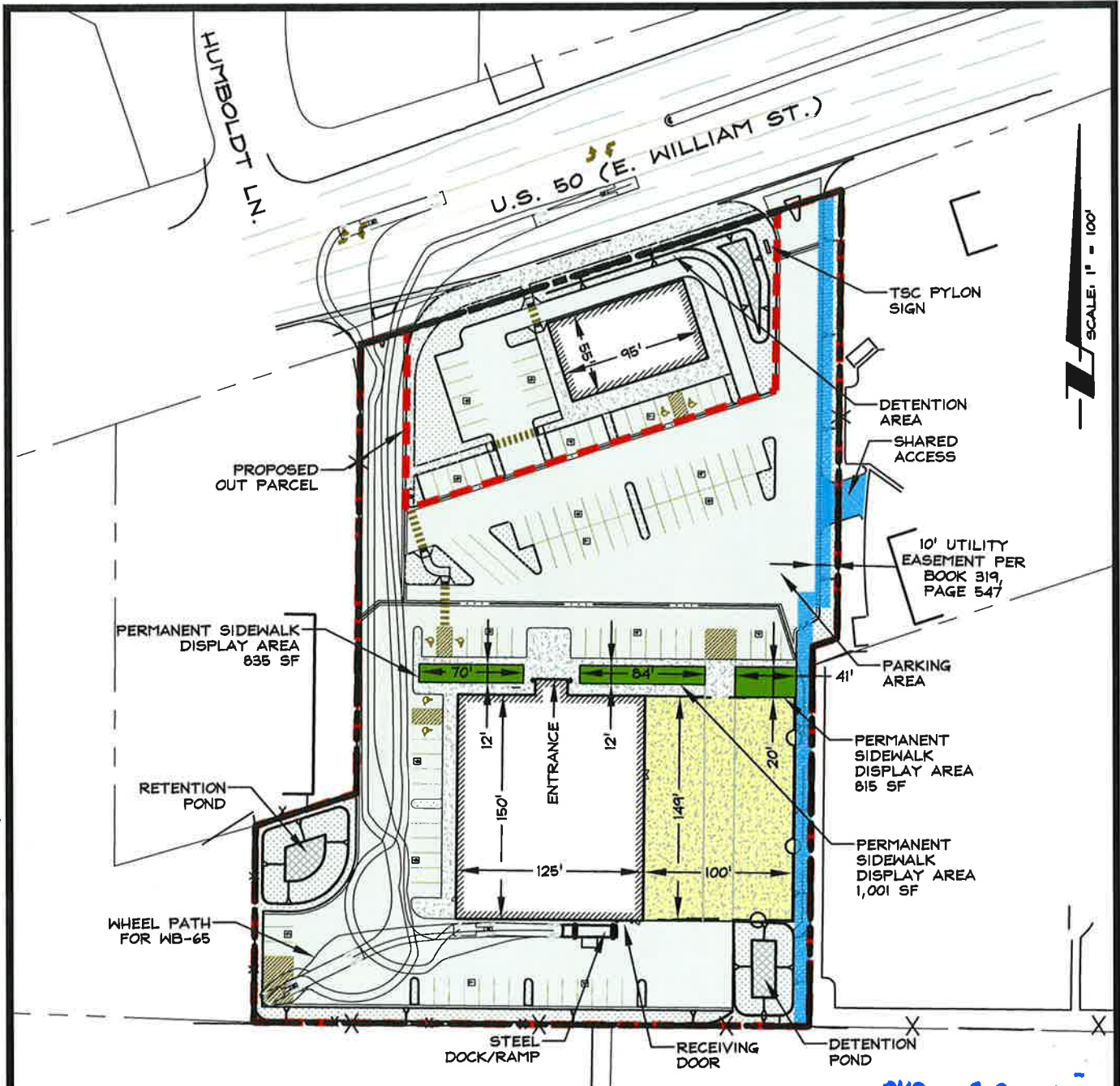
Tractor Supply Company – Typical Outside Display Areas



Tractor Supply Company – Typical Outside Display Areas



Y:\Client Files\1867-002\CAD\Engineering\Exhibits\1867-002\_LEASE\_SITE\_PLAN.dwg 10/24/2012 3:36:23 PM Joseph Gurney



SCALE: 1" = 100'

SUP - 12 - 130

**LEGEND**

	PROPOSED AC PAVEMENT		FENCED OUTDOOR DISPLAY AREA (15,072 SF)
	PROPOSED PCC PAVEMENT		PERMANENT SIDEWALK DISPLAY AREA (2,651 SF)
	PROPOSED LANDSCAPE		EASEMENT/SHARED/OTHER PROTECTED AREAS
	DEMISED PREMISES		PROPOSED OUT PARCEL (29,557 SF)

**RECEIVED**

OCT 31 2012

CARSON CITY PLANNING DIVISION

**ROAnderson**  
 WWW.ROANDERSON.COM

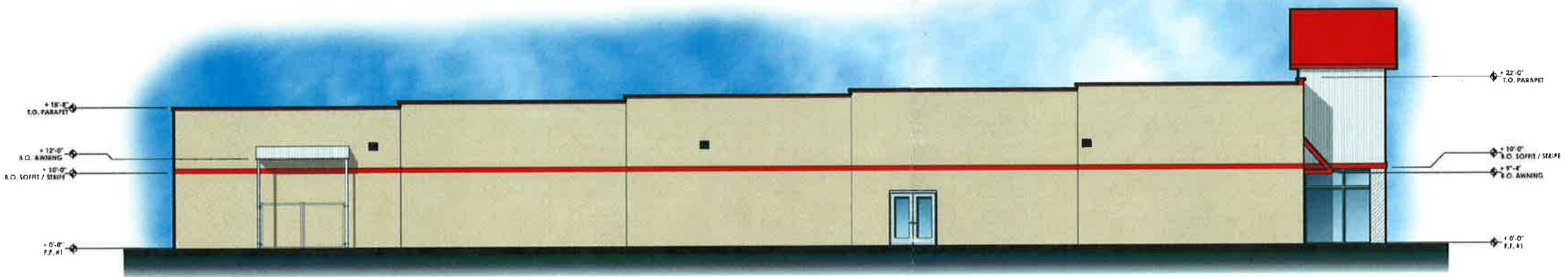
NEVADA  
 1603 Esmeralda Ave  
 P.O. Box 2229  
 Minden, NV 89423  
 p 775.782.2322  
 f 775.782.7084

CALIFORNIA  
 595 Tahoe Keys Blvd  
 Suite A-2  
 South Lake Tahoe, CA 96150  
 p 530.600.1660  
 f 775.782.7084

**EXHIBIT "A"**  
**SITE PLAN**  
**TRACTOR SUPPLY COMPANY**  
**CARSON CITY, NEVADA**



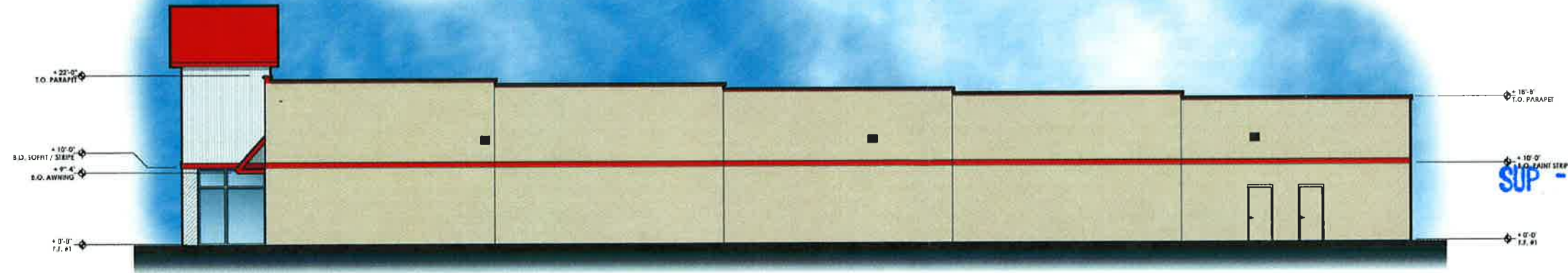
1 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION  
SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



4 WEST ELEVATION  
SCALE: 1/8" = 1'-0"

**PAINT**

BODY: "SHERWIN WILLIAMS" #7512 URBAN PUTY

WAINSCOT: "SHERWIN WILLIAMS" #7513 SANDLING

TRIM: "SHERWIN WILLIAMS" SAFETY RED

PROPOSED NEW DEVELOPMENT:  
**RETAIL CENTER**  
CALIFORNIA GOLD DEVELOPMENT CORP.  
HWY 50 & HWY 395  
Carson City, NV.

FRANCISCUS  
**BOOTS**  
ARCHITECT

SUP - 12 - 130

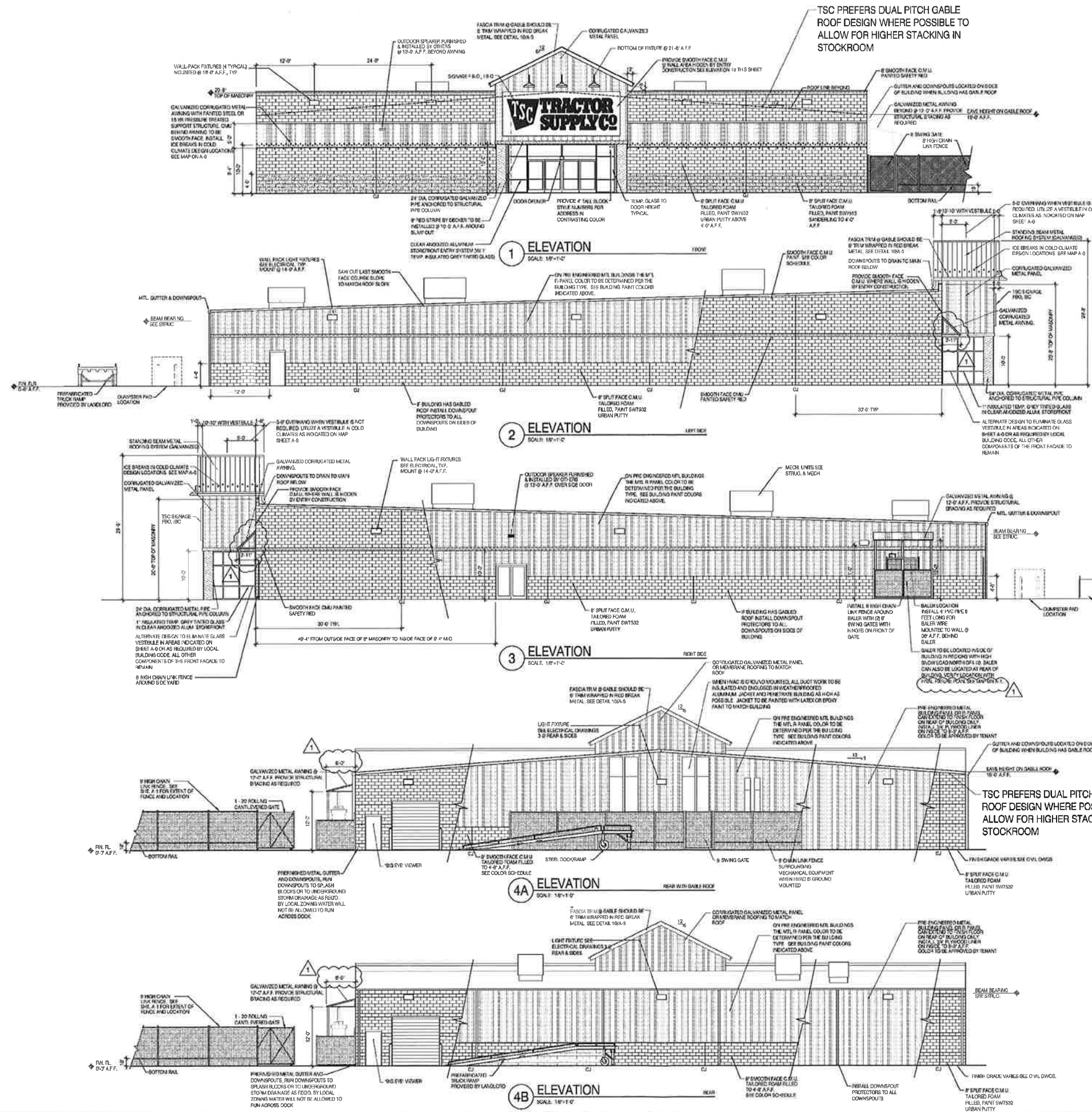
RECEIVED

OCT 31 2012

CARSON CITY PLANNING DIVISION

FRANCISCUS BOOTS ARCHITECT  
4335-B NORTH STAR WAY  
MODESTO, CA 95356  
ph. 209.577.4661  
fx 209.577.0213

DEVELOPER TO USE LOWEST COST BUILDING METHOD CONSISTANT WITH APPEARANCE SHOWN HERE AND PER APPLICABLE REGULATIONS



**BUILDING PAINT COLORS**

**MURK BUILDINGS**

- THE CURRENT BUILDING COLOR IS THE 'TAN' OR 'BROWN'
- THE FOUNDATION WALLS SHALL BE PAINTED 'PRIMER' OR 'BROWN' SW7512
- WALLS ABOVE THE FOUNDATION LINE SHALL BE 'SAN ANTONIO' OR 'SAGE' SW7511

**CONVENTIONAL BUILDINGS**

- THE CURRENT BUILDING COLOR IS 'SIGNATURE' OR 'LIGHT STONE'
- THE FOUNDATION WALLS SHALL BE PAINTED 'SANDERLING' SW7517
- WALLS ABOVE THE FOUNDATION LINE SHALL BE 'URBAN PUTTY' SW7502

**CONVENTIONAL BUILDINGS**

- THE FOUNDATION WALLS SHALL BE PAINTED 'SANDERLING' SW7517
- WALLS ABOVE THE FOUNDATION LINE SHALL BE 'URBAN PUTTY' SW7502
- THE BUILDING TRIM COLORS SHALL BE 'PINESTONE' SW7503, OR 'BIRCHWOOD' SW7504

200 Parrell Place  
Brentwood, Tennessee 37027  
615.366.1208



TRACTOR SUPPLY COMPANY

# STANDARD CRITERIA PLANS 2012

**Q3**  
**DRAWINGS NOT FOR BID OR CONSTRUCTION**

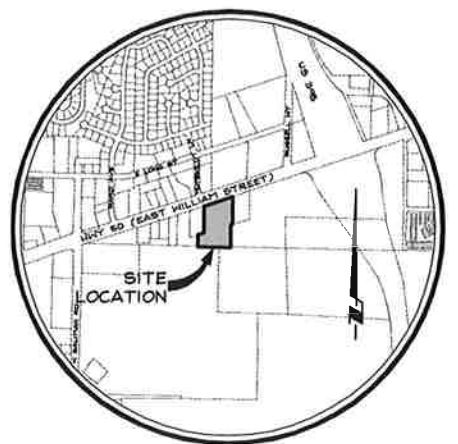
The drawings contained herein are prototype design documents for information only and are not site specific. Changes may be required to conform to local zoning or code requirements and specific site conditions. These drawings are not for construction.

This drawing and the design shown is the property of TSC. The reproduction copying or use of this drawing without their written consent is prohibited and any infringement is subject to legal action.

Job Number: 1299  
Date: 07.01.2012  
Revision: 1  
Revision: 07.01.2012  
Revision:  
Revision:

ELEVATIONS & SECTIONS  
Sheet Number: A-2

SCALE: 1" = 40'



VICINITY MAP  
SCALE: 1" = 1000'

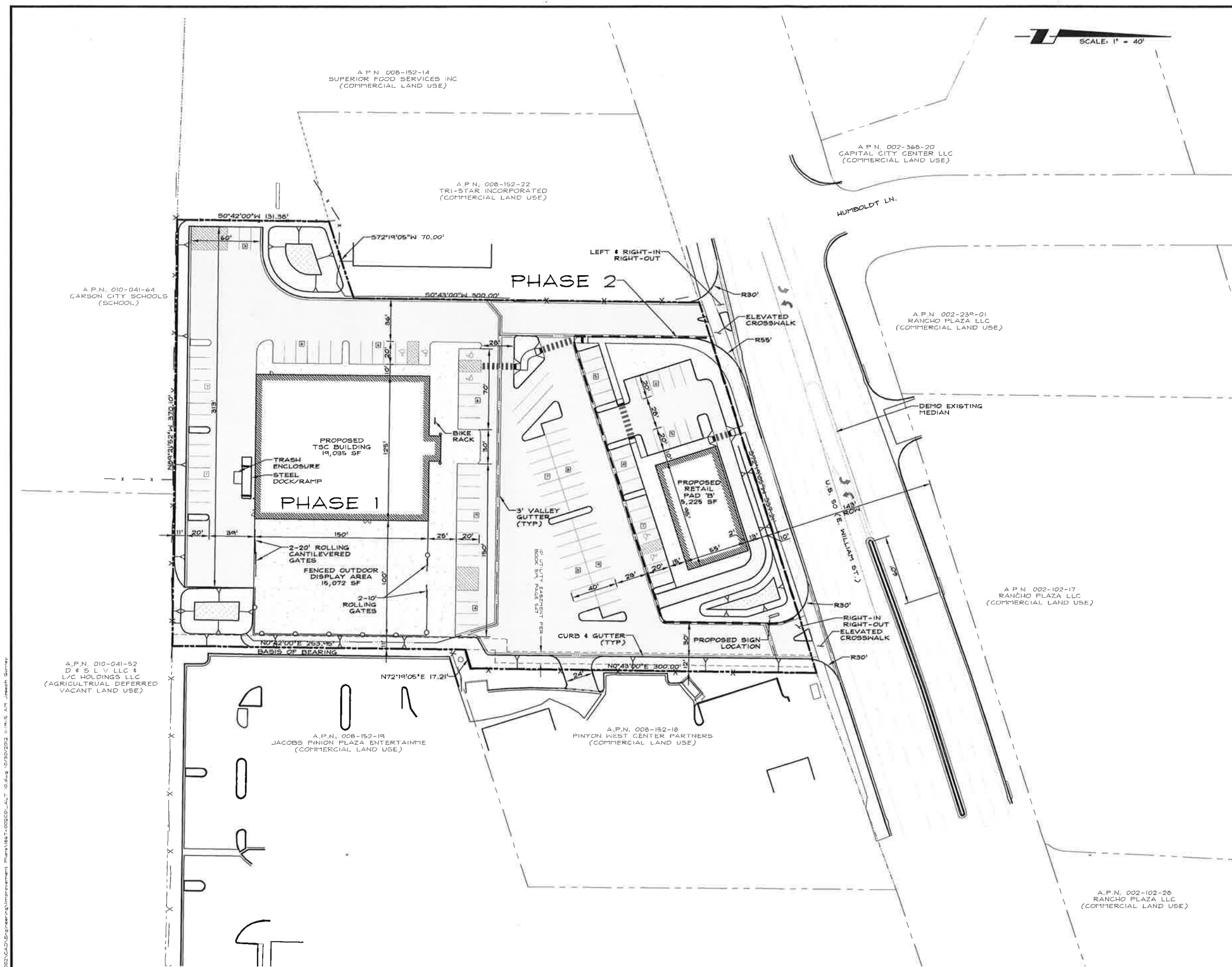
**PROJECT SUMMARY**

TITLE: RETAIL BUILDING  
 APPLICATION: BUILDING PERMIT  
 A.P.N.: 008-152-06  
 OWNER: CROOK, MAURICE W. TR & ET. AL. c/o GHEN CROOK MANFRIN 47 RHEEM BLVD ORINDA, CA 94563  
 SECTION: 09  
 TOWNSHIP: 15 NORTH  
 RANGE: 20 EAST  
 PROJECT ADDRESS: SE CORNER OF HWY 50 (EAST WILLIAM ST.) & HUMBOLDT LN.  
 CURRENT ZONING: GENERAL COMMERCIAL (GC)  
 CURRENT MASTER PLAN: MIXED-USE COMMERCIAL  
 CURRENT LAND USE: VACANT LOT  
 PROPOSED LAND USE: COMMERCIAL RETAIL  
 PROJECT AREA: 3.82AC  
 FLOOD ZONE: ZONE 'AE' PER FIRN 320001010E REVISED 01/16/09  
 NO AREAS OF SITE SUBJECT TO 15% OR GREATER SLOPE.  
 NEAREST IDENTIFIED FAULT LOCATED APPROXIMATELY 350-FT NORTHWEST OF PROJECT SITE PER GEOTECHNICAL INVESTIGATION BY BLACK EAGLE CONSULTING, INC. DATED SEPTEMBER 26, 2012.  
 APPROXIMATELY 35 TREES WITH DIAMETERS RANGING FROM 8"-12" EXIST ON-SITE.

BUILDING SETBACKS (GC):		FRONT 10'-FT (LANDSCAPE)	
		SIDE 0'-FT	
		SIDE STREET 15'-FT	
		REAR 0'-FT	
PHASE I:		RETAIL STORE 19,035# (SINGLE STORY)	
BUILDING AREA:		OUTDOOR AREA:	FENCED OUTDOOR SALES AREA 15,072#
PARKING:	REQUIRED	RETAIL STORE 1:300# =	63
		OUTSIDE SALES YARD 1:2,000# =	8
		TOTAL REQUIRED:	71
PROVIDED:		REGULAR:	76
		H/C ACCESSIBLE:	4
		TRAILER:	3
		TOTAL PROVIDED PHASE I:	83
PAVED AREA:	99,624#		
LANDSCAPING:	(20%)+(PAVED AREA 99,624#)=19,925#		
PROVIDED:	17,508#		
PHASE II:		RETAIL STORE 5,225#	
BUILDING AREA:		OUTDOOR AREA:	
PARKING:	REQUIRED	RETAIL STORE 1:300# =	17
		TOTAL REQUIRED:	17
PROVIDED:		REGULAR:	26
		H/C ACCESSIBLE:	2
		TOTAL PROVIDED PHASE II:	27
PAVED AREA:	14,087#		
LANDSCAPING:	(20%)+(PAVED AREA 14,087#)=2,817#		
PROVIDED:	8,365#		
TOTAL PARKING PROVIDED:		REGULAR:	101
		H/C ACCESSIBLE:	6
		TRAILER:	3
		TOTAL PROVIDED:	110

**LEGEND**

	PROPOSED AC PAVEMENT
	PROPOSED PCC PAVEMENT
	PROPOSED LANDSCAPE AREA



NO.	DATE	REVISION	BLOCK	BY

SCALE: 1" = 40'

**R/O Anderson**  
www.roanderson.com

NEVADA: 1605 Emerald Ave, P.O. Box 2294, Henderson, NV 89123, P 775-782-2932, F 775-782-7084  
 CALIFORNIA: 576 Toloe Keys Blvd, Suite A-2, South Lake Tahoe, CA 96150, P 530-600-1640, F 775-782-7084

**RETAIL BUILDING**  
**CALIFORNIA GOLD DEVELOPMENT CORP.**

**CONCEPTUAL**  
**SITE PLAN**

**JEREMY JON HUTCHINGS**  
 CIVIL ENGINEER  
 LICENSE NO. 15048



















DRAWN: JAG  
 ENGINEER: JJH  
 SCALE: 1" = 40'  
 DATE: 10/25/12

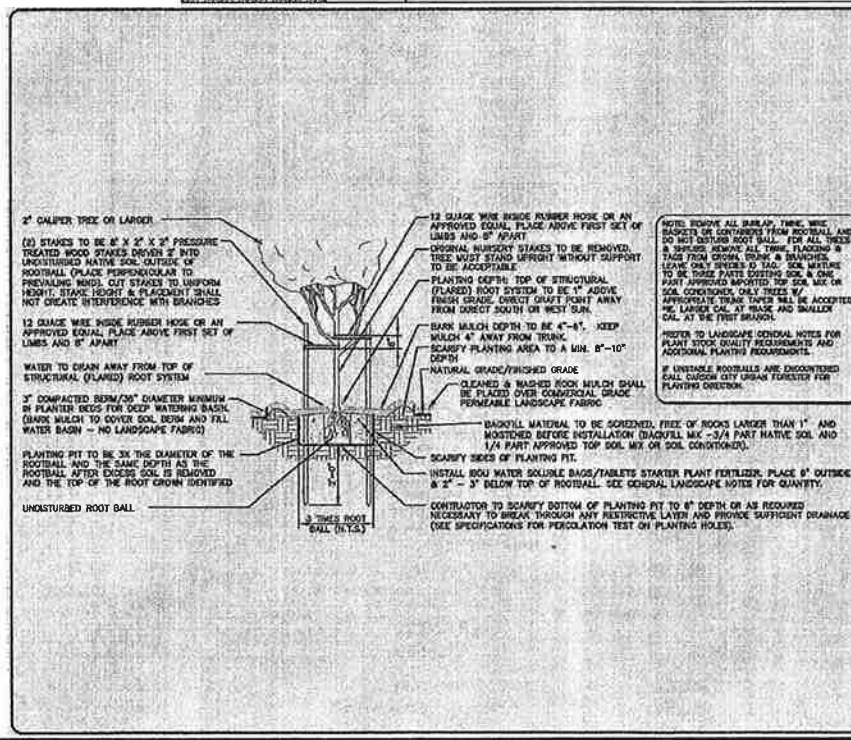
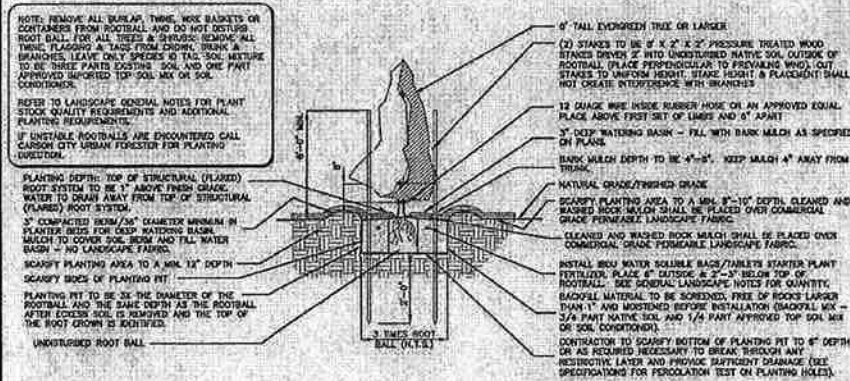
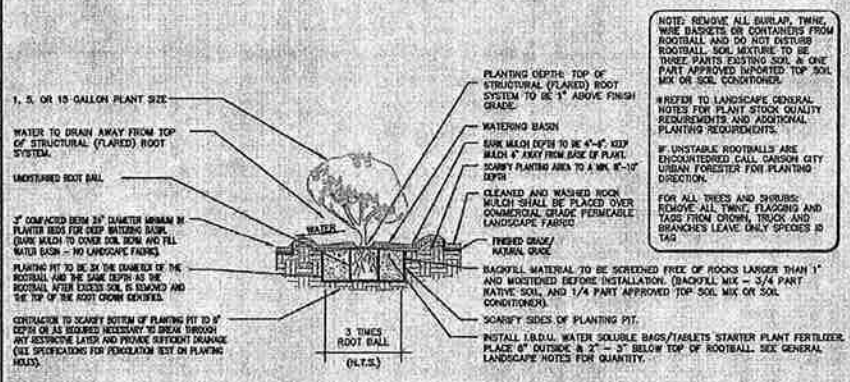
JOB: 1867-002  
 DRAWING: 1867-002C01  
 SHEET: C1  
 OF: 3 SHEETS

**GENERAL LANDSCAPE NOTES**

- CONTRACTOR MAY PROVIDE PHOTOGRAPHS OR SAMPLES OF ALL TREE PLANT MATERIAL FOR APPROVAL BY THE DESIGN PROFESSIONAL OR OWNER'S REPRESENTATIVE TO SEE IF SPECIFICATIONS ARE MET. THIS DOES NOT GUARANTEE ACCEPTANCE OF ALL TREES UPON DELIVERY TO PROJECT SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES PRIOR TO ANY DIGGING OR CONSTRUCTION. THE ACQUISITION OF ALL NECESSARY PERMITS ASSOCIATED WITH CONSTRUCTION SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR READING ALL NOTES, CHECKING PLANT NAMES AND CONFIRMING ALL NUMBERS, SIZES AND PLANT AVAILABILITY PRIOR TO PURCHASING BID.
- IF QUANTITIES LISTED IN THE PLANTING SCHEDULES DO NOT CORRELATE WITH THE QUANTITIES INDICATED ON THE PLANS, THEN PLAN QUANTITIES SHALL GOVERN.
- THE CONTRACTOR SHALL FURNISH ALL LABOR MATERIALS, EQUIPMENT AND SERVICES NECESSARY TO INSTALL ALL MATERIALS COMPLETELY AND IN PLACE AS SHOWN AND/OR SPECIFIED.
- FINISH GRADES IN ALL PLANTER AREAS SHALL BE ESTABLISHED BEFORE INSPECTION BY THE DESIGN PROFESSIONAL OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION OF SOIL.
- ROUGH GRADE, FINISH GRADE AND ALL BERT LOCATIONS/SHAPES SHALL BE ESTABLISHED BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE BEFORE INSTALLATION OF THE IRRIGATION SYSTEM OR SITE ELEMENTS.
- ROUGH GRADE IN ALL PLANTING BED AREAS SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 6"-10" (MIN.) PRIOR TO INSTALLATION OF PLANT MATERIAL AND/OR BERMS.
- ALL PLANT MATERIALS SHALL BE #1 GRADE NURSERY STOCK AND WARRANTED FOR ONE YEAR AFTER FINAL PROJECT ACCEPTANCE. REPLACE ANY PLANT WHICH DIES WITHIN 30 DAYS AFTER NOTIFICATION, EXCEPT DURING WINTER, WHEN REPLANTING MAY BE DELAYED, WITH PLANTS EQUAL TO ORIGINAL MATERIALS.
- THE CONTRACTOR SHALL BE REQUIRED TO EXCAVATE ALL PLANTING BED AREAS TO ESTABLISH ROUGH GRADE AND INSTALL REQUIRED SOIL AMENDMENTS. (4 1/2" BELOW TOP OF CURBS IN PLANTING AREAS.)
- ANY IMPORTED TOPSOIL REQUIRED FOR INSTALLATION OF THE BERMS OR ESTABLISHMENT OF ROUGH GRADE OR FINISH GRADE SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- TREE STAKING SHALL BE DONE ON ALL TREES. CONTRACTOR SHALL STAKE AS PER DETAIL. ORIGINAL NURSERY STAKES ON TREES SHALL BE REMOVED BEFORE INSTALLATION. TREES MUST STAND UPRIGHT WITHOUT SUPPORT TO BE ACCEPTABLE.
- INSTALL A PROFESSIONAL GRADE LANDSCAPE FABRIC UNDER ALL ROCK MULCH AREAS. SECURE TO ROUGH GRADE. DO NOT LEAVE EXPOSED. (SEE DET 3.11) NO PLASTIC SHEETING CAN BE PLACED UNDER ROCK MULCH.
- ROCK MULCH SHALL BE WASHED AND 4-LEAVED. MULCH DEPTH TO BE 4"-6" MIN. AND BE INSTALLED IN ALL PLANTING AREAS AND OVER ALL BERMS AS SHOWN ON APPROVED LANDSCAPE PLANS. WEED FABRIC SHOULD BE COVERED BY MULCH AND NOT VISIBLE.
- ALL PLANTING PITS SHALL BE EITHER HAND OR BACKHOE DUG (NO AUGER). THE BOTTOM AND SIDES OF THE PLANTING PITS SHALL BE SCARIFIED BEFORE INSTALLATION OF THE PLANT MATERIAL. HOLES SHALL BE THREE TIMES AS WIDE AS THE ROOTBALL DIAMETER, THE SAME DEPTH AS THE ROOTBALL AND BACKFILLED WITH AN APPROVED SOIL MIX.
- ALL PLANTING BEDS SHALL BE STRIPPED AND CLEARED OF ALL LAWN, ROOTS, WEEDS, AND DEBRIS AND SHALL BE RAKED TO A SMOOTH AND EVEN GRADE PRIOR TO PLANT MATERIAL INSTALLATION.
- INSTALL 100% WATER SOLUBLE STARTER PLANT FERTILIZER BAGS/TABLETS OR AN APPROVED EQUAL IN ALL PLANTING PITS. USE 1 PER 1-GALLON CONTAINER, 3 PER 5-GALLON CONTAINER, AND 6 PER 15-GALLON CONTAINER/ 2" CAL. OR LARGER TREE.
- CONTRACTOR TO APPLY A PRE-EMERGENT HERBICIDE AND PERMEABLE LANDSCAPE FABRIC THROUGHOUT ALL ROCK MULCH AREAS PRIOR TO PLACING MULCH. NO PRE-EMERGENT HERBICIDE SHALL BE APPLIED IN PERENNIAL, GROUNDCOVER, BULB AND ANNUAL AREAS. ADD GRANULAR PRE-EMERGENT HERBICIDE PER MANUFACTURER'S WRITTEN RECOMMENDATIONS PRIOR TO INSTALLING LANDSCAPE FABRIC AND ROCK MULCH.
- FINAL LOCATION OF ALL LANDSCAPE PLANT MATERIAL SHALL BE SET BY THE CONTRACTOR ACCORDING TO THE PLANS AND APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REP BEFORE INSTALLATION.
- NO PLANTS SHALL BE PLACED TO CONFLICT OR CREATE CONFLICT W/ SIGNS, LIGHTS, UTILITIES, ETC. IF PLANT LOCATION WILL CAUSE A CONFLICT, CONTACT THE LANDSCAPE ARCHITECT.
- ALL PERENNIAL & GROUNDCOVER AREAS SHALL BE HAND SET BY THE CONTRACTOR IN AREAS SHOWN ON DRAWINGS AND APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REP BEFORE INSTALLATION.
- THE CONTRACTOR SHALL REMOVE ALL BURLAP, TWINE, TIES, CONTAINERS AND NURSERY BASKETS FROM ALL PLANT MATERIAL. DO NOT DISTURB ROOTBALLS. REMOVE ANY EXCESS SOIL ON TREES OR SHRUBS THAT HAS ACCUMULATED DURING THE PACKAGING & SHIPPING PROCESS. (BIB STOCK - ESPECIALLY) IN ORDER TO DETERMINE PROPER PLANTING DEPTH IN ORDER TO PLACE ROOTBALL AT 1" ABOVE GRADE. CLEAN UP TO THE TOP OF STRUCTURAL (PLASTER) ROOT SYSTEM.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROVIDE EFFECTIVE DUST CONTROL OF ALL PREPARED SOIL AREAS.
- ALL TREES TO BE #1 GRADE NURSERY STOCK AND MEET CURRENT INDUSTRY QUALITY STANDARDS ADOPTED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) Z60 AND NEVADA REVISED STATES (NRS) 556 (REGULATIONS OF NURSERY AND NURSERY STOCK). ALL TREES MUST COMPLY WITH:
  - NO GIRDLING, KINKED, CIRCLING OR "J" ROOTS.
  - NO TREES THAT HAVE BEEN TOPPED.
  - NO WOUNDS IN THE TRUNK BARK OR ON LIMBS.
  - INSECT AND DISEASE FREE, RODENT AND MECHANICAL DAMAGE FREE.
  - NO TREES THAT HAVE LARGE NURSERY STAKES THROUGH ROOTBALL OR HAVE BEEN GROWN ON A NURSERY STAKE.
  - ROOTBALL TO BE APPROPRIATE TO CALIPER AND CROWN SIZE.
  - TRUNK/ CROWN STRUCTURE TAPER TO BE APPROPRIATE FOR THE SPECIES.
  - ALL GRAFT UNIONS TO BE HEAL THY WITH TRUNK DIAMETER BELOW UNION LARGER THAN ABOVE UNION.
  - ALL TREES TO STAND UPRIGHT WITHOUT STAKES.
  - ROOTS, BARK AND SHOOT GROWTH TO GIVE EVIDENCE OF GOOD TREE VIGOR.
  - ANY REPLACEMENT OF PLANT STOCK TO BE EQUAL TO ORIGINAL SPECIFICATION AND APPROVED BY THE OWNER'S REPRESENTATIVE OR DESIGN PROFESSIONAL AND THE COMMUNITY DEVELOPMENT PLANNING DEPARTMENT.
- ALL PLANTING BEDS SHALL HAVE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS.
- ALL BOX TREES TO BE STAKE FREE NURSERY STOCK, NO LARGE STAKES THROUGH ROOTBALL.
- THE CONTRACTOR SHALL SPACE PLANT MATERIALS TO ACCOMMODATE EVERGREEN TREE GROWTH. SPACE ALL SHRUBS/ GROUND COVERS/ PERENNIALS A MINIMUM OF 8' AWAY FROM ANY EVERGREEN TREE TRUNK.
- ANY SUBSTITUTION OF PLANT MATERIAL MUST BE SUBMITTED IN WRITING FOR APPROVAL BY THE LANDSCAPE ARCHITECT OR DESIGN PROFESSIONAL AND THE COMMUNITY DEVELOPMENT DEPARTMENT.
- THE CONTRACTOR SHALL INSPECT THE SITE REGULARLY TO REVEIN THE CONDITION OF ALL PLANTINGS. IF ANY CHANGES IN THE OVERALL MAINTENANCE PROGRAM ARE REQUIRED TO IMPROVE THE CONDITIONS TO AN ACCEPTABLE STANDARD, THE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING. OTHERWISE THE CONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR THE CONDITION OF THE PLANTINGS AND MUST HONOR THE GUARANTEE. ANY PLANTS REPLACED UNDER THIS GUARANTEE SHALL BE GUARANTEED FOR ONE FULL YEAR FROM THE DATE OF REPLACEMENT.
- THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE MAINTENANCE OF THE ENTIRE IRRIGATION SYSTEM & ALL LANDSCAPING UNTIL FINAL PROJECT ACCEPTANCE. AFTER FINAL PROJECT ACCEPTANCE ALL PROJECT MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
- UPON INSTALLATION OF LANDSCAPING AND THE IRRIGATION SYSTEM, THE REGISTERED DESIGN PROFESSIONAL OR LANDSCAPE ARCHITECT OR OTHERS AS ALLOWED PER NRS SHALL CERTIFY THAT THE INSTALLATION HAS COMPLETED PER THE APPROVED PLANS. THE REGISTERED DESIGN PROFESSIONAL SHALL CHECK THE INSTALLATION TO VERIFY COMPLIANCE WITH APPROVED PLANS. THEN THE PLANNING DEPARTMENT SHALL INSPECT FOR FINAL APPROVAL. FINAL APPROVAL TAGS ARE TO BE LEFT ON PLANTS UNTIL AFTER APPROVAL OF THE LANDSCAPING AND THEN REMOVED.
- IT IS UNDERSTOOD THAT MINOR DEVIATION AND/OR PLANT SUBSTITUTIONS MAY BE NECESSARY DURING THE COURSE OF THE PROJECT. THESE DEVIATIONS MAY BE DONE IF APPROVED BY THE LANDSCAPE ARCHITECT OR DESIGN PROFESSIONAL OR OTHERS AS ALLOWED PER NRS, AND IF CONSISTENT WITH THE ORIGINAL APPROVED DESIGN AND PLANTS SELECTED ARE SIMILAR TO THE ORIGINAL PLAN AND INTENDED PURPOSE. NOTIFICATION IN WRITING TO THE COMMUNITY DEVELOPMENT PLANNING DEPARTMENT IS REQUIRED FOR THESE INSTANCES. APPROVAL IS REQUIRED FROM THE DIRECTOR PRIOR TO INSTALLATION. UPON COMPLETION, AS-BUILT LANDSCAPE PLANS SHALL BE SUBMITTED TO COMMUNITY DEVELOPMENT PLANNING DEPARTMENT. MAJOR DESIGN REVISIONS MAY REQUIRE NEW FEES AND ADDITIONAL STAFF RESOURCES.
- ALL LANDSCAPE AREAS MUST BE MAINTAINED BY THE PROPERTY OWNERS, INCLUDING USING THE MOST CURRENT PRUNING STANDARDS ACCEPTED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE AND/OR THE NATIONAL ARBORIST ASSOCIATION. ANY DAMAGED OR DEAD PLANT MUST BE REPLACED OR REPAIRED BY THE PROPERTY OWNERS WITHIN 30 DAYS FOLLOWING NOTIFICATION BY THE DIRECTOR. IF THE SEASON OF THE YEAR MAKES THIS REPAIR OR REPLACEMENT WITHIN A 30 DAY PERIOD IMPRACTICAL, THE PERSON RESPONSIBLE FOR LANDSCAPING SHALL SCHEDULE AN APPROPRIATE TIME FOR THE COMPLETION OF THE ACCOMPLISHMENT OF THIS WORK AS REQUIRED BY THE DIRECTOR.
- MAINTENANCE MUST INCLUDE THE CHECKING OF THE SPRINKLER PATTERN AND DRIP SYSTEMS, PLANT CONDITION, WEEDING, FERTILIZATION, PEST CONTROL, REPLACEMENT OF MULCHES, WEED BARRIER AND CLEAR AWAY DEBRIS, PROPER PRUNING AND USE OF PROPER HOVING HEIGHTS. RADICAL PRUNING OR TRIMMING SUCH AS AS TOPPING SHALL REQUIRE REPLACEMENT OF THE PLANT MATERIAL.

**PLANT SCHEDULE**

TREES	QTY	PLANT TYPE	CONT
	13	LARGE DECIDUOUS SHADE TREE #1	2" CAL MIN.
	10	LARGE DECIDUOUS SHADE TREE #2	2" CAL MIN.
	11	LARGE EVERGREEN TREE	6" HGT MIN.
	15	SMALL DECIDUOUS ORNAMENTAL TREE #1	2" CAL MIN.
	16	SMALL DECIDUOUS ORNAMENTAL TREE #2	2" CAL MIN.
SHRUBS	QTY	PLANT TYPE	CONT
	32	MEDIUM DECIDUOUS SHRUB #1	5 GAL MIN.
	20	MEDIUM DECIDUOUS SHRUB #2	5 GAL MIN.
	34	MEDIUM EVERGREEN SHRUB #1	5 GAL MIN.
	9	LARGE EVERGREEN SHRUB #1	6" HGT MIN.
	40	SMALL DECIDUOUS SHRUB #1	5 GAL MIN.
	54	SMALL DECIDUOUS SHRUB #2	5 GAL MIN.
	36	MEDIUM DECIDUOUS SHRUB #3	5 GAL MIN.
	16	LARGE DECIDUOUS SHRUB #1	5 GAL MIN.
ANNUALS/PERENNIALS	QTY	PLANT TYPE	CONT
	35	SMALL DECIDUOUS PERENNIAL #1	1 GAL MIN.
	42	SMALL DECIDUOUS PERENNIAL #2	1 GAL MIN.
	40	SMALL DECIDUOUS PERENNIAL #3	1 GAL MIN.
VINES/PALM	QTY	PLANT TYPE	CONT
	27	LARGE DECIDUOUS GROUNDCOVER VINE #1	5 GAL MIN.
TOP DRESSING	QTY	PLANT TYPE	CONT
	20,347 SF	ROCK TOPDRESSING	MULCH



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**RETAIL BUILDING**  
**CALIFORNIA GOLD DEVELOPMENT CORP.**

**LANDSCAPE SCHEDULE, NOTES & DETAILS**



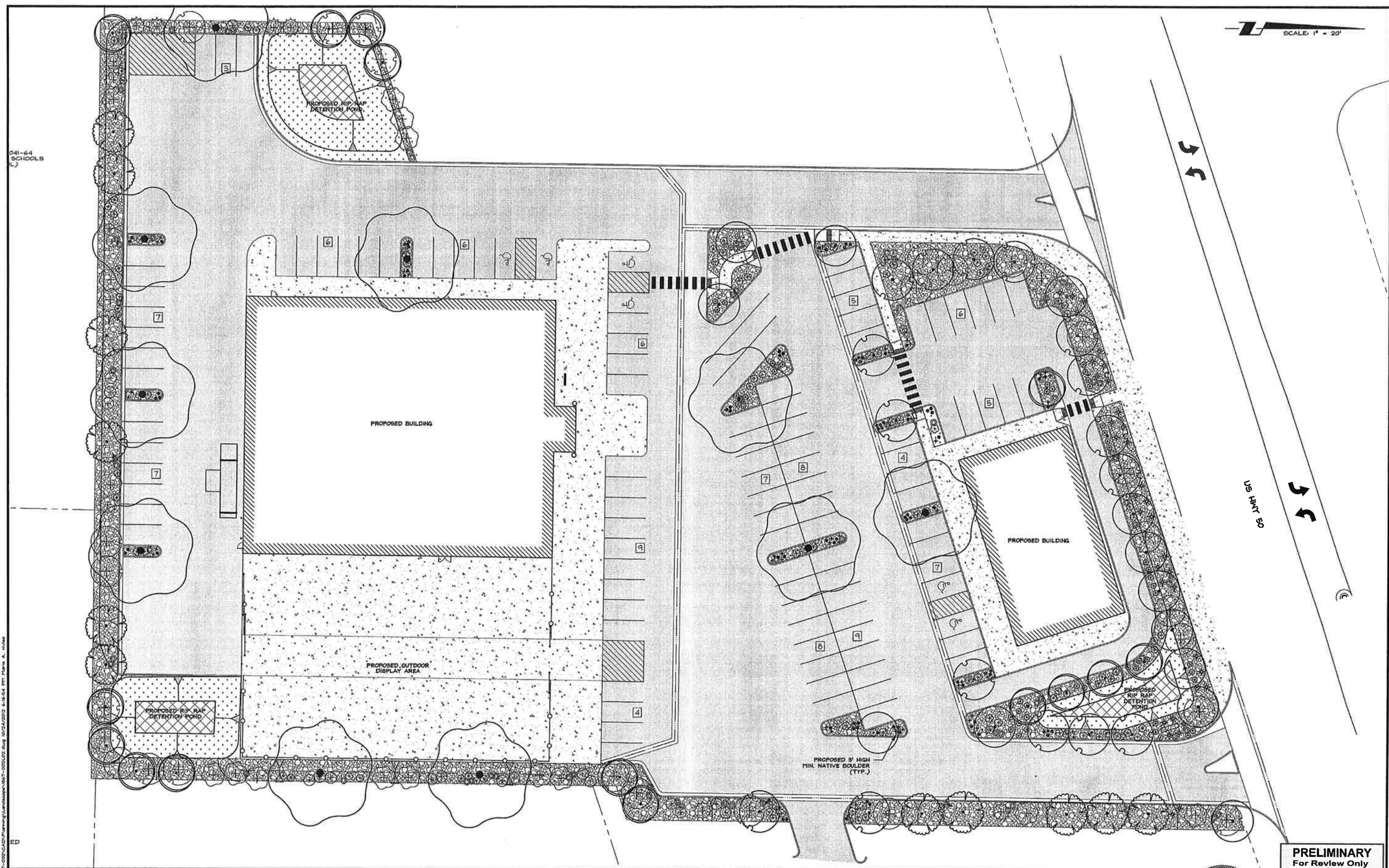
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LANDSCAPE ARCHITECT: MAH	DRAWING: 1867-002L01
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DATE: 10/25/12	OF: 4 SHEETS

10-25-12

SCALE: 1" = 20'

041-64 SCHOOLS (L)



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**RETAIL BUILDING**  
**CALIFORNIA GOLD DEVELOPMENT CORP.**

**LANDSCAPE PLAN**



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LANDSCAPE ARCHITECT: MAH	DRAWING: 1867-002.L02
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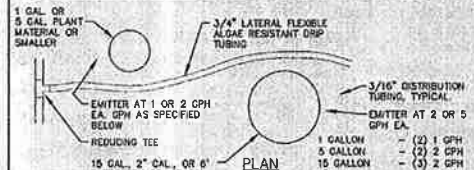


**GENERAL IRRIGATION NOTES**

1. ALL PLUMBING AND ELECTRICAL WORK SHALL BE COMPLETED AS PER ALL LOCAL CODES.
2. INSTALLATION OF MATERIALS SHALL BE PER MANUFACTURERS RECOMMENDATIONS OR AS SPECIFIED. SPRINKLER HEADS ARE EXACT. NO EXTRA PAYMENT WILL BE MADE WHERE PIPING MUST BE OFFSET TO AVOID EXISTING CONDITIONS, OTHER WORK OR WHERE CHANGES ARE NECESSARY TO FACILITATE INSTALLATION.
3. THE IRRIGATION SYSTEM SHALL BE CONSTRUCTED FOR WINTERIZATION BY THE CONTRACTOR.
4. ALL MATERIALS SHALL BE NEW, WITHOUT FLAWS AND CONSIDERED THE BEST AVAILABLE IN STOCK. THE COMPLETE SYSTEM SHALL HAVE A ONE-YEAR WARRANTY AFTER FINAL PROJECT ACCEPTANCE ON ALL PARTS AND LABOR.
5. PRIOR TO FINAL PROJECT ACCEPTANCE, THE CONTRACTOR SHALL INSTRUCT THE OWNER, OR HIS REPRESENTATIVE, IN THE PROPER OPERATION, MAINTENANCE, AND WINTERIZATION OF THE ENTIRE IRRIGATION SYSTEM.
6. THE CONTRACTOR SHALL PROVIDE AND KEEP CURRENT A COMPLETE SET OF RECORD DRAWINGS WHICH SHALL BE CORRECTED DAILY TO SHOW CHANGES IN THE ORIGINAL DRAWINGS. ALL MAINLINE PIPING AND VALVE LOCATIONS SHALL BE SHOWN WITH ACTUAL MEASUREMENTS TO REFERENCE POINTS.
7. WHEN THE SYSTEM IS COMPLETE, THE CONTRACTOR SHALL PERFORM A COVERAGE TEST. THE IRRIGATION SYSTEM SHALL PROVIDE 100% COVERAGE OF ALL LAWN & LANDSCAPE PLANTING AREAS.
8. ALL IRRIGATION MAINLINE PIPING & LATERAL PIPING SHALL BE SCHEDULE 40 PVC PIPE.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY SETTLING IN THE IRRIGATION TRENCHES OR ASSOCIATED IRRIGATION WORK AS A WARRANTY ITEM.
10. ALL IRRIGATION VALVES SHALL BE LOCATED IN PROFESSIONAL GRADE VALVE BOXES. SIZE OF VALVE BOXES SHALL VARY WITH NUMBER OF VALVES LOCATED IN BOX. ALL VALVE BOX LID ELEVATIONS SHALL BE SET FLUSH WITH FINISHED GRADE. PROVIDE BOX SIZE THAT WILL ALLOW 6" CLEARANCE AROUND ALL SIDES OF VALVES. PROVIDE BOLTS PER MANUFACTURERS RECOMMENDATIONS AND SECURE EACH VALVE BOX. ON ALL THREADED JOINTS WITHIN THE IRRIGATION SYSTEM, THE CONTRACTOR SHALL USE 2-3 FULL TURNS OF TEFLON TAPE AT EACH CONNECTION.
11. WIRE CONNECTORS SHALL BE USED ON ALL FIELD WIRE SPLICES AND CONNECTIONS.
12. ALL CONTROL WIRES SHALL BEAR A U/L APPROVED LABEL FOR DIRECT UNDERGROUND BURIAL IN NATIONAL ELECTRIC CODE CLASS IT CIRCUITS. AWG SIZES, & CONTROL WIRE RUNS LESS THAN 1000' SHALL HAVE NO SPLICES. IF A SPLICE OCCURS ON A FIELD CONTROL WIRE, THE CONTRACTOR SHALL INSTALL THE SPLICE IN A 6" ROUND VALVE BOX USING APPROVED WATERTIGHT CONNECTORS, IF APPROVED BY THE LANDSCAPE ARCHITECT OR DESIGN PROFESSIONAL. OTHERWISE THE ENTIRE FIELD CONTROL WIRE SHALL BE REMOVED & REPLACED.
13. TAPE AND BUNDLE ALL CONTROL WIRES TO BOTTOM OF MAINLINE PIPE AT 10' O.C.
14. THE IRRIGATION CONTROLLER SHALL BE INSTALLED IN A LOCATION AS SHOWN ON THE PLANS. THE LANDSCAPE ARCHITECT, DESIGN PROFESSIONAL, OR THE OWNER'S REPRESENTATIVE WILL APPROVE FINAL CONTROLLER LOCATION.
15. IRRIGATION VALVE BOXES ARE TO BE INSTALLED IN LANDSCAPE PLANTING AREAS OR OTHER PROTECTED SPACES. VALVE BOXES SHALL NOT BE INSTALLED IN LAWN AREAS.
16. THE CONTRACTOR SHALL INSTALL SCHEDULE 40 GALVANIZED PIPING 5' ON EITHER SIDE OF THE BACK FLOW PREVENTER, AS DEPICTED IN THE STANDARD CITY'S DETAIL.
17. FILTER FABRIC ABOVE ALL ROCK GUMPS SHALL BE PROFESSIONAL GRADE WEED BARRIER OR AN APPROVED EQUAL.
18. IRRIGATION MAINLINE TO BE BURIED 24" BELOW FINISHED GRADE AND ALL SPRAY SYSTEM LATERAL LINE PIPING TO BE BURIED 18" BELOW FINISH GRADE. ALL 3/4" DRIP IRRIGATION TUBING TO BE BURIED 4" - 6" BELOW FINISH GRADE.
19. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES PRIOR TO ANY CONSTRUCTION. THE ACQUISITION OF ALL NECESSARY PERMITS ASSOCIATED WITH CONSTRUCTION SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
20. ALL GALVANIZED PIPE IN CONTACT WITH SOIL SHALL BE COVERED WITH PVC TAPE TO PREVENT PIPE CORROSION (PER UNIFORM PLUMBING CODE).
21. THE CONTRACTOR SHALL INSTALL A CURB STOP AND WASTE VALVE AT THE BACKFLOW PREVENTER (SIZE TO MATCH MAINLINE) (AS PER CITY'S PUBLIC WORKS DEPARTMENT DETAIL).
22. PIPE DOWNS SHALL NOT BE USED ANYWHERE ON THE IRRIGATION SYSTEM.
23. NO 3/4" PIPE SHALL BE USED ANYWHERE ON THE SPRAY IRRIGATION SYSTEM. (EXCEPT FOR 3/4" SWING JOINT ASSEMBLIES FOR ROTOR OR POP-UP SPRAY HEADS).
24. THE CONTRACTOR SHALL EXPOSE ENDS OF ALL IRRIGATION SLEEVES, ANY BROKEN OR SHATTERED ENDS OF THE IRRIGATION SLEEVES SHALL BE CUT TO A CLEAN END BEFORE INSTALLATION OF EITHER MAINLINE PIPE, LATERAL LINES OR DRIP IRRIGATION TUBING. ALL SLEEVE ENDS SHALL BE INSPECTED BY THE LA/DESIGN PROFESSIONAL BEFORE BURYING.
25. FINAL CONNECTION OF THE VALVE WIRES TO THE CONTROLLER SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
26. THE CONTRACTOR SHALL AT HIS OWN RISK, LOCATE ALL UNDERGROUND UTILITIES WHICH MAY EFFECT HIS OPERATION DURING CONSTRUCTION AND SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO THE SAME.
27. THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING NEAR OVERHEAD OR UNDERGROUND POWER AND/OR TELEPHONE, WATER, GAS AND SEWER FACILITIES SO AS TO SAFELY PROTECT ALL UTILITIES, PERSONNEL, AND EQUIPMENT, AND SHALL BE RESPONSIBLE FOR ALL COSTS AND LIABILITY IN CONNECTION THEREWITH.
28. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES NECESSARY TO PROTECT EXISTING IMPROVEMENTS WHICH ARE TO REMAIN IN PLACE, FROM DAMAGE, AND ALL SUCH IMPROVEMENTS DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR RECONSTRUCTED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
29. ALL MAINLINES SHALL BE PRESSURE TESTED AT 1.5 TIMES THE STATIC PRESSURE FOR A MINIMUM 2 HOUR PERIOD PRIOR TO BACKFILLING OF TRENCHES. TEST WILL BE CONSIDERED SUCCESSFUL IF NO PRESSURE LOSS OCCURS DURING THE TWO HOURS. IF ANY LEAKS ARE PRESENT THEY SHALL BE CORRECTED AND LINES SHALL BE RE-TESTED PRIOR TO BACKFILLING TRENCHES.
30. PIPE SIZES SHALL CONFORM TO THOSE SHOWN ON THE DRAWINGS. NO SUBSTITUTIONS OF SMALLER PIPE SIZES SHALL BE PERMITTED, BUT SUBSTITUTIONS OF LARGER SIZES MAY BE APPROVED. ALL DAMAGED AND REJECTED PIPE SHALL BE REMOVED FROM THE SITE AT THE TIME OF SAID REJECTION.
31. THE CONTRACTOR SHALL FLUSH ALL LATERALS AND EMITTER LINES PRIOR TO INSTALLING EMITTERS.
32. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, STRUCTURES AND UTILITIES. THE IRRIGATION CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED BY HIS WORK. HE SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES AND LATERALS UNDER SIDEWALKS AND PAVING.
33. SHOULD DISCREPANCIES ARISE BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS WHICH REQUIRE FIELD MODIFICATIONS OR PLAN REVISIONS, THE LANDSCAPE ARCHITECT, DESIGN PROFESSIONAL, OR OWNER'S REPRESENTATIVE SHALL BE CONTACTED PRIOR TO CONSTRUCTION FOR RESOLUTION OR PLAN REVISION.
34. DO NOT FULLY INSTALL THE IRRIGATION SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE DESIGN. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, DESIGN PROFESSIONAL, OR THE OWNER'S REPRESENTATIVE. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.
35. THE IRRIGATION CONTROLLER SHALL BE WIRED DIRECTLY TO A 110 VOLT POWER SOURCE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE IRRIGATION CONTROLLER WIRING TO THE POWER SOURCE. CONNECTING THE CONTROLLER TO THE POWER SOURCE SHALL BE THE RESPONSIBILITY OF A LICENSED ELECTRICAL CONTRACTOR. THE INSTALLATION SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND ANY LOCAL CODES OR ORDINANCES THAT APPLY. IT SHALL BE THE ELECTRICAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE POWER SOURCE AND EXACT LOCATION OF THE CONTROLLER WITH OWNER'S REPRESENTATIVE A TL VE.

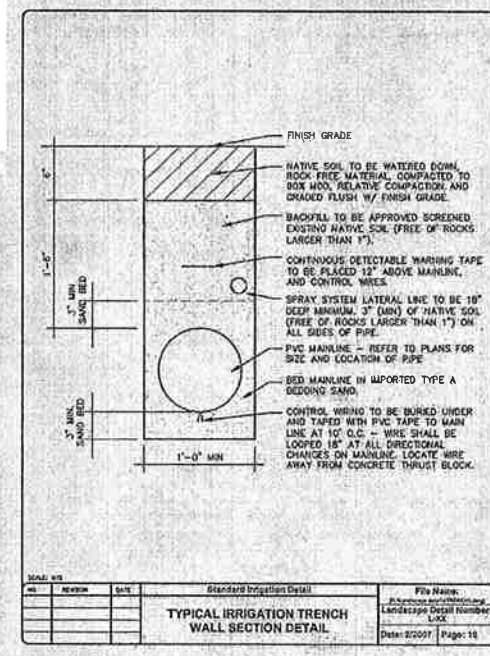
IRRIGATION SCHEDULE		
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
[Symbol]	RAIN BIRD XC2-100-PRF MEDIUM FLOW DRIP CONTROL KIT, 1" DV VALVE, 1" PRESSURE REGULATING FILTER, 40PSI PRESSURE REGULATOR, 3GFM - 15GFM.	6
[Symbol]	WILKINS 375 1" REDUCED PRESSURE BACKFLOW PREVENTER	1
[Symbol]	IRRIGATION MAINLINE: PVC SCHEDULE 40	896.6 LF.
[Symbol]	PIPE SLEEVE: PVC SCHEDULE 40 TYPICAL PIPE SLEEVE FOR IRRIGATION PIPE. PIPE SLEEVE SIZE SHALL BE 2X THE DIA OF THE TOTAL IRRIGATION PIPING TO BE SLEEVED. EXTEND SLEEVES 12 INCHES BEYOND EDGES OF PAVING OR CONSTRUCTION.	539.2 LF.

- NOTES:
1. STAKE DISTRIBUTION TUBING IN PLACE AT SURFACE OF EACH EMITTER.
  2. ALL PLANTS LOCATED ON SLOPES SHALL HAVE EMITTERS PLACED UP HILL FROM PLANT.
  3. DO NOT WRAP DISTRIBUTION TUBING AROUND PLANT STEM OR TREE TRUNK.
  4. DO NOT PLACE EMITTERS AGAINST PLANT STEM OR TREE TRUNK.
  5. PLACE EMITTERS AROUND PLANT FOR EQUAL DISTRIBUTION OF WATER.
  6. CONTRACTOR IS RESPONSIBLE TO ESTABLISH WATERING TIMES AND DURATIONS.
  7. EMITTER (GPH) WATER RATE MAY BE ALTERED DUE TO SOIL TYPE AND SOIL DRAINAGE CHARACTERISTICS.



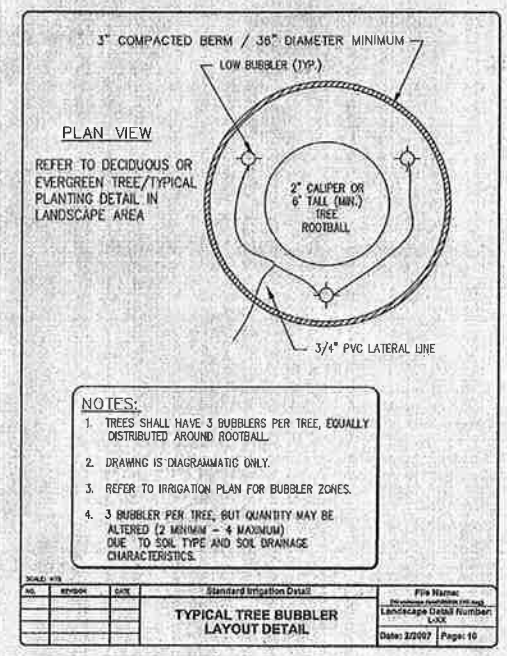
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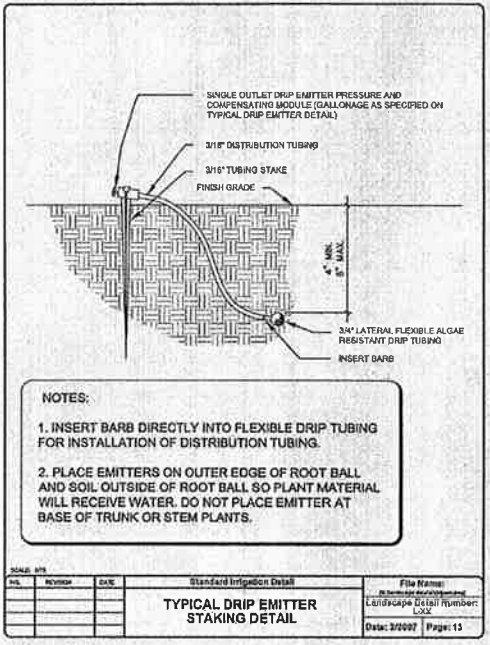
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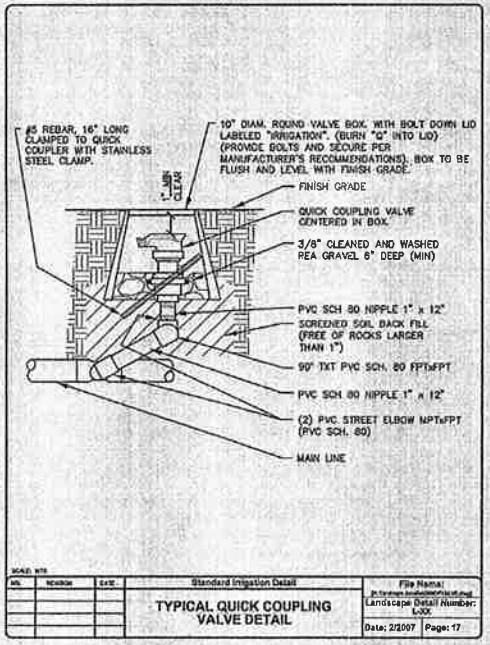
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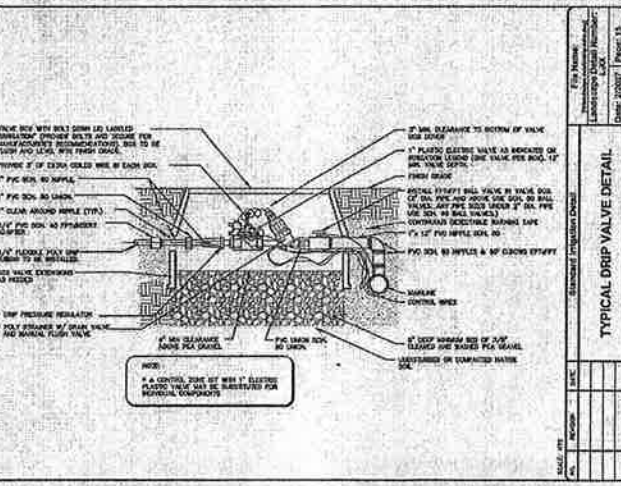
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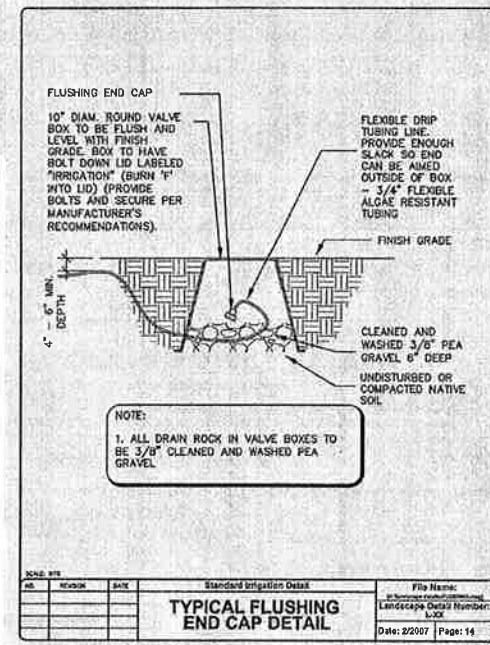
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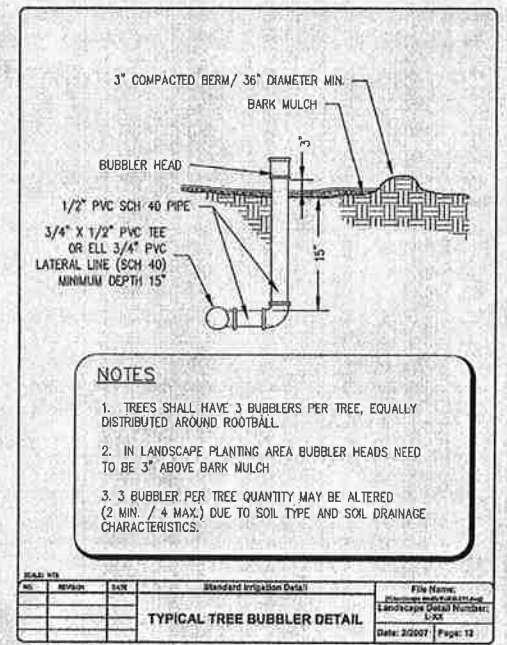
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**RETAIL BUILDING**  
**CALIFORNIA GOLD DEVELOPMENT CORP.**

**IRRIGATION**  
**SCHEDULE, NOTES**  
**& DETAILS**



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 SCALE:  
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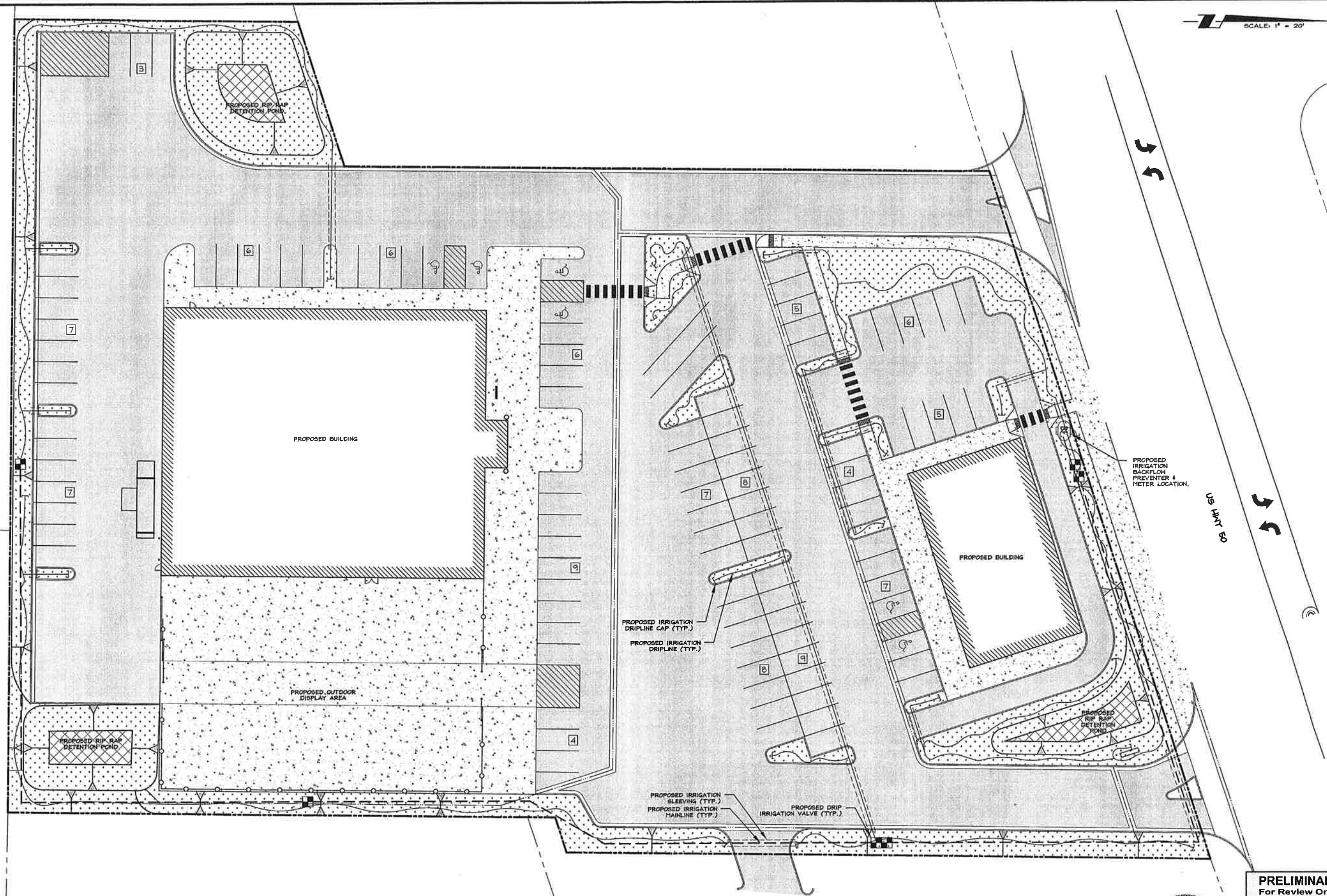
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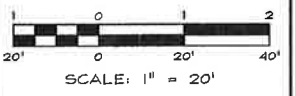
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**RETAIL BUILDING**  
**CALIFORNIA GOLD DEVELOPMENT CORP.**

**IRRIGATION PLAN**



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