

**STAFF REPORT FOR PLANNING COMMISSION MEETING OF JUNE 25, 2014**

**FILE NO:** SUP-14-027

**AGENDA ITEM:** F-1

**STAFF AUTHOR:** Kathe Green, Assistant Planner

**REQUEST:** Special Use Permit request to allow a new freestanding LED sign at the Nevada State Railroad Museum on a property zoned Public (P).

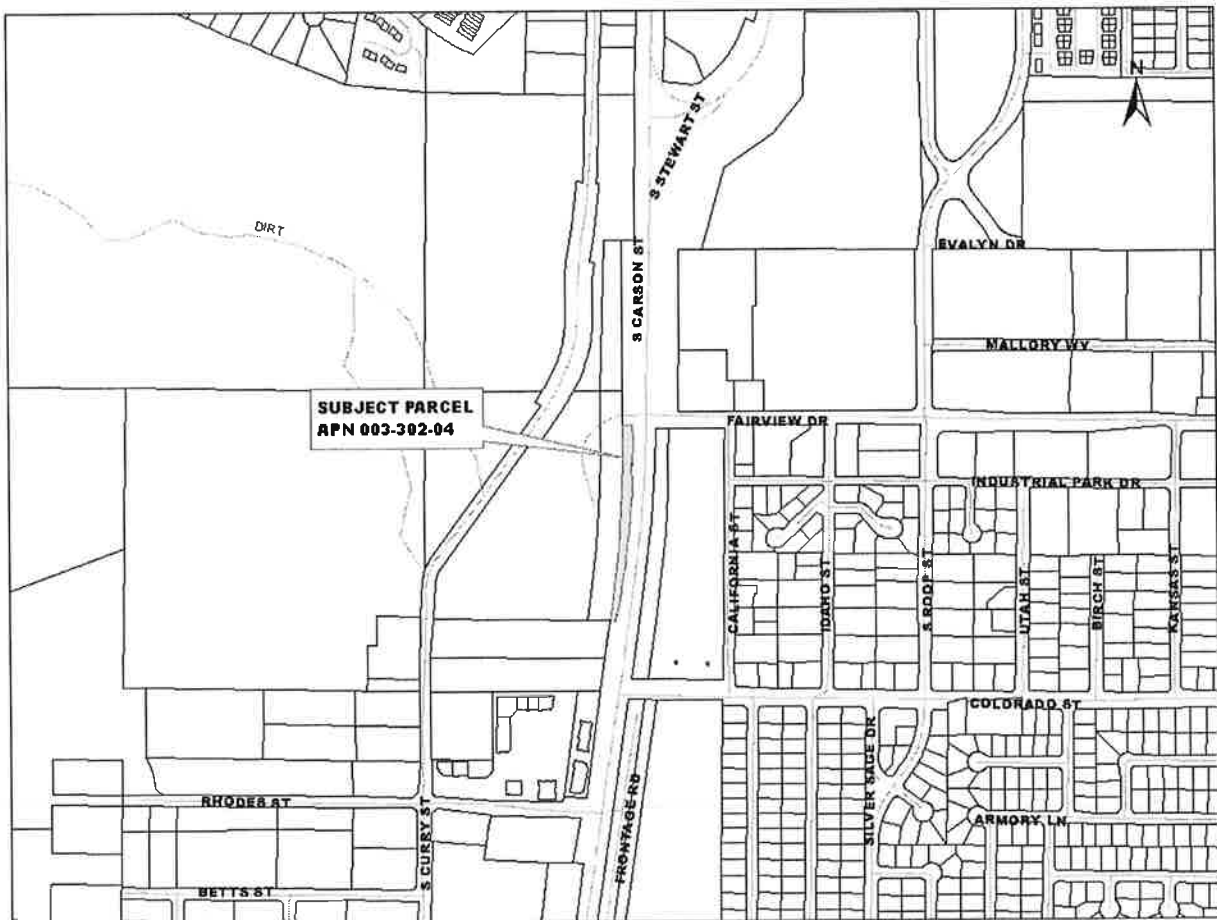
**OWNER:** State of Nevada Division of State Lands

**APPLICANT:** Nevada State Railroad Museum

**LOCATION:** Adjacent to 2180 South Carson Street

**APN:** 003-302-04

**RECOMMENDED MOTION:** “I move to approve SUP-14-027, a Special Use Permit request to allow a new freestanding LED sign at the Nevada State Railroad Museum on a property zoned Public, located adjacent to 2180 South Carson Street, APN 003-302-04, based on the findings and subject to the conditions of approval contained in the staff report.”



## **RECOMMENDED CONDITIONS OF APPROVAL:**

### **The following shall be completed prior to commencement of the use:**

1. The applicant shall sign and return the Notice of Decision for conditions for approval within 10 days of receipt of notification. If the Notice of Decision is not signed and returned within 10 days, then the item may be rescheduled for the next Planning Commission meeting for further consideration.
2. All development shall be substantially in accordance with the development plans approved with this application, except as otherwise modified by these conditions of approval.
3. All on and off site improvements shall conform to City standards and requirements.
4. The applicant shall meet all the conditions of approval and commence the use for which this permit is granted, within 12 months of the date of final approval. A single, one year extension of time may be granted if requested in writing to the Planning Division 30 days prior to the one year expiration date. Should this permit not be initiated within one year and no extension granted the permit shall become null and void.
5. The applicant shall submit a copy of the Notice of Decision and conditions of approval with any building permit application.
7. All lighting shall be reviewed and approved by the Planning Division during the building permit process for compliance with Development Standards Division 1.3, Lighting Standards. All lighting must be shielded or directed so that it does not create glare, upward or off-site light trespass.
8. The monument sign structure shall not exceed 11 feet high by 13 feet eight inches wide by two feet six inches deep as shown on the elevations provided in the application. The height shall be measured from the adjacent finish grade to the highest point of the sign's structure. The combined square footage of the LED display sign and the fixed signage lettering shall not exceed 43 square feet (19 square feet – fixed lettering, 24 square feet – LED display face).
9. The sign will be within the AH flood zone. Design work should reflect this flood zone location.

### **The following shall be required regarding LED lighting of the sign:**

10. An operation plan similar to what was presented for review relative to the Carson City Community Center sign, which was accepted by the Planning Commission on July 19, 2013, under SUP-13-022 shall be used as the operation plan for the sign at State of Nevada Railroad Museum location. All LED reader board parameters, including reader board brightness, dimming at night, message transitions, and other animation parameters shall be in compliance with this approved operational plan. The proposed sign shall have dimming capabilities.
  - a. Sign brightness and dimming at night - The sign brightness shall be no more than 0.3 foot-candles above ambient light, measured in accordance with the operational policies and procedures.
  - b. Message hold times - The minimum message hold time shall be three seconds.
  - c. Message transitions - Transition time between messages shall be a maximum of one second.

- d. Video and animation - The policies and procedures allow the use of video and animation. However, it requires the Nevada State Railroad Museum to evaluate video and animation capabilities and parameters and bring back further recommendations to the Planning Commission at the one-year review.

11. The Special Use Permit shall be reviewed for the LED reader boards by the Planning Commission one year after the sign has been completed and is operational. At that time the Commission shall review the sign illumination (dimming) and message displays to determine if controls are adequate to minimize impacts to surrounding properties and motorists.

**LEGAL REQUIREMENTS:** CCMC 18.02.080 (Special Use Permits), 18.04.170 (Public)

**MASTER PLAN DESIGNATION:** Public/Quasi-Public

**PRESENT ZONING:** Public (P)

**KEY ISSUES:** Would the proposed construction and placement of a freestanding sign and LED reader boards on property at the State of Nevada Railroad Museum, placed adjacent to Carson Street, have an adverse impact on the adjacent neighborhood and would it be in compliance with the purposes of the Public zoning district?

#### **SURROUNDING ZONING AND LAND USE INFORMATION**

NORTH: Vacant, then Retail Commercial (RC)/U. S. Forest Service  
EAST: Right-of-Way, then Public (P)/Multi Family Apartments  
SOUTH: Right-of-Way  
SOUTHWEST: General Commercial (GC)/Retail  
WEST: Public (P)/State of Nevada Railroad Museum

#### **ENVIRONMENTAL INFORMATION**

FLOOD ZONE: AH (100-year flood plain)  
EARTHQUAKE FAULT: Moderate, Zone II, fault zone within 500 feet  
SLOPE/DRAINAGE: The parcel is primarily flat  
SOILS: 71 Urban Land

#### **SITE DEVELOPMENT INFORMATION**

LOT SIZE: .69 acres/30,056 square feet  
PROPOSED SIGN SIZE: Approximately 11 feet height, 13.66 feet width and 2.6 feet depth  
PARKING: No change  
SETBACKS: Outside required utility easements  
VARIANCES REQUESTED: None

#### **PREVIOUS REVIEWS**

HRC-14-014 was conducted on May 8, 2014 and the LED sign was approved by the Historic Resources Commission.

#### **DISCUSSION**

All uses, changes and improvements which are proposed on a parcel in a Public zoning district require a Special Use Permit approved by the Planning Commission. Additionally, according to CCMC Section 18.04.170, the following shall apply:

Public district development standards relative to lot area, setbacks, building height, landscaping, off-street parking and signs shall be based on requirements and conditions of the Special Use Permit.

The State of Nevada Division of State Lands is proposing a sign on their property at the State of Nevada Railroad Museum. At the present time, there is a sign which notifies travelers of the Railroad Museum. This sign is proposed to be replaced with a modern sign which will have LED reader board in the middle and fixed letters above. Signage is proposed to notify potential users of this location and the up-coming and on-going events planned for this area. The replacement sign is proposed to be used to create an interest from the traveling public and allow motorists to be aware of the facility, amenities and events taking place at the Railroad Museum. This sign is proposed at the farthest eastern point of the State of Nevada Railroad Museum location, in a right-of-way area leased from the State of Nevada Department of Transportation to the State of Nevada Division of State Lands. The sign would be placed to the east of the Railroad Museum property in area adjacent to the road. This section of roadway has several names, being Carson Street, Highway 395 and Highway 50 at this point. It is noted this sign is proposed to replace an existing sign on this site at a point very near to the current sign location.

The size of the sign is proposed to be 11 feet in overall height and 13.66 feet in width, with signage on both sides. The proposed sign area includes a LED reader board approximately eight feet width and three feet high, for a total of approximately 24 square feet. Above the LED area, a fixed area of lettering is proposed, approximately 9.50 feet by two feet or 19 square feet, with exterior illumination for this area placed above the lettering. The light fixture for this section would be downward, not outward or upward and would be reviewed during the Building Permit review process for compliance. A base height three feet is proposed below the sign area.

Staff recommends that the LED reader board comply with the requirements placed on the lighting recently installed at the Carson City Community Center, which were reviewed and approved by the Planning Commission at their July 19, 2013 meeting under SUP-13-022. These requirements regulate the brightness and message hold times in accordance with international Sign Association standards. The operational plan conditions from that permit are included in the conditions of approval for this permit.

As proposed, the sign would be placed in the right-of-way easement adjacent to the Railroad Museum, and must be placed outside of any required easements. An encroachment permit from the Nevada Department of Transportation may be necessary to place the sign in this location.

### **PUBLIC COMMENTS**

Public notices were mailed on June 6, 2014 to 35 adjacent property owners within 585 feet of the subject site. As of the writing of this report no comments have been received in favor or opposition to the proposal. Any comments that are received after this report is completed will be submitted to the Planning Commission prior to or at the meeting on Wednesday, June 25, 2014 depending on the date of submission of the comments to the Planning Division.

### **AGENCY COMMENTS**

All comments from various city departments and agencies which were received as of June 10, 2014 are included in this report. Recommendations have been incorporated into the recommended conditions of approval, where applicable.

Building Division: No comments

Fire Department: No comments

Engineering Division: The frontage is within an AH flood zone. The work shown on the plan does not appear to have an effect on flood water paths, but the designer of the improvement should keep this in mind.

Environmental Control: No comments

## **FINDINGS**

Staff's recommendation is based upon the findings as required by CCMC Section 18.02.080 (Special Use Permits) enumerated below and substantiated in the public record for the project. In reviewing the information provided by the applicant and the required findings as identified below, the findings to grant approval of this Special Use Permit can be made. Therefore, it is recommended that the Planning Commission approve this Special Use Permit application with the conditions outlined by staff.

### **1. How will the proposed development further and be in keeping with and not contrary to, the goals of the Master Plan Elements?**

#### **GOAL1.1- Promote the Efficient Use of Available Land and Resources**

##### **1.1a- Balanced Land Use Plan**

##### **1.1e- Sustainable Construction Techniques**

##### **1.1f- Energy conservation**

*The proposed sign will not require any water. LED reader board will be energy efficient, using less energy than standard light fixtures. All lighting will comply with Carson City Community Development Planning Division restrictions for guidelines regarding protection of the night sky. This lighting will be similar to the lighting recently approved to be utilized at the Carson City Community Center.*

#### **GOAL 4.1- Promote Recreational Equity at a Neighborhood Level**

##### **4.1a- Maintain/Enhance Existing Facilities**

*The State of Nevada Railroad Museum is an attraction that draws tourists and local patrons to the site to enjoy the history of the area, view historical railroad equipment, and ride a train. The replacement sign will be used to enhance notification of the site and upcoming events to the motoring public on the adjacent street/highway. A sign which is modern and efficient will provide awareness of the amenities available in the railroad museum as well as activities which are planned or on-going.*

#### **GOAL 5.4- Promote Tourism Activities and Amenities that Highlight the City's Historic and Cultural Resources**

##### **5.4c- Arts and Culture**

*State of Nevada Railroad Museum has several events each year that will be able to be shown easily on the electronic LED sign, as changes to the text can be made easily. This new sign would be a positive support to tourism activities associated with the Railroad Museum. The proposed LED reader board would notify the community of events that are being planned at the museum and encourage support of this location.*

### **2. Will not be detrimental to the use, peaceful enjoyment, economic value, or development of**

**surrounding properties or the general neighborhood; and will cause no objectionable noise, vibrations, fumes, odors, dust, glare or physical activity.**

*There would be moderate noise and physical activity during the brief period required for placement of the sign at this location. However, the construction would be of short duration. Once the sign is in place, the Railroad Museum would continue to be a public facility with an improved ability to notify the public of the services and amenities offered. The sign is not expected to cause objectionable noise, vibrations, fumes, odors, dust, glare or physical activity after installation is complete. The distance from the sign to the multi-family apartment use to the east of this site is approximately 220 feet, across eight lanes of traffic and behind a concrete masonry unit block wall.*

**3. Will have little or no detrimental effect on vehicular or pedestrian traffic.**

*No detrimental effect is anticipated due to the replacement of the current sign with a larger one with LED reader board. The sign is proposed to be a moderate 11 feet in height, and be 13.66 feet in width. The location of the sign is proposed to be very close to the location of the existing sign, which is proposed to be removed. The new sign will continue to be easily seen by the motoring public on the adjacent highway. The width of the roadway at this location is 150 feet, with eight lanes of traffic. The sign would not be out of proportion to the surrounding environment.*

**4. Will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage, and other public improvements.**

*This project will have no impact on water or sewer usage. There will be no road improvements required to accommodate this sign. The sign is proposed to be placed on a publicly owned parcel, and will not impact other public services.*

**5. Meets the definition and specific standards set forth elsewhere in this title for such particular use and meets the purpose statement of that district.**

*The Public zoning districts are intended for federal, state and city facilities, as well as certain civic and utility uses that sustain wide regional needs. Development Standards relative to lot area, width and depth, building setbacks and height are determined by Special Use Permit.*

- 1. To accommodate the wide range of public institutional and auxiliary uses which are established in response to the health, safety, cultural and welfare needs of the citizens of the City.*
- 2. To organize the assemblage of specific, nonprofit and profit public facilities into efficient functionally compatible and attractively planned administrative centers in conformance with the master plan;*
- 3. To establish site plan approval for many uses thereby ensuring compatibility with adjacent more restrictive districts.*

**6. Will not be detrimental to the public health, safety, convenience and welfare.**

*The proposed sign would notify the public of services, events, exhibits and displays held at the State of Nevada Railroad Museum. The proposed sign would draw people to this location and would allow*

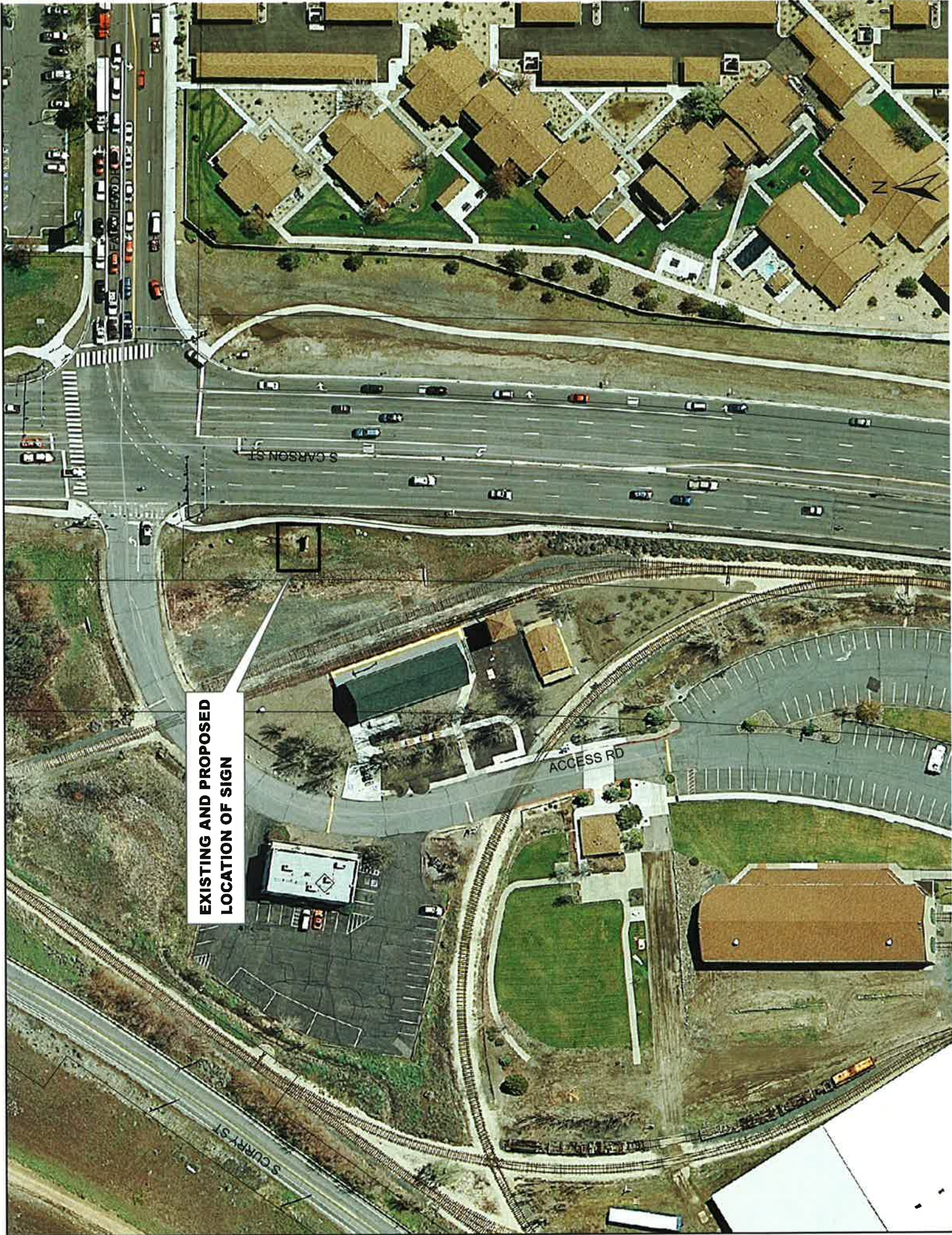
*this museum complex to be more available. The Planning Commission will have the opportunity to review the sign display during the scheduled one year review of the impact of the LED reader boards, to ensure that impacts to the vicinity are minimized. However, it is not anticipated that there will be any detrimental impact to the public.*

**7. Will not result in material damage or prejudice to other property in the vicinity.**

*The sign is not anticipated to create any material damage or prejudice to other property in the vicinity. This site is adjacent to a wide and well-traveled highway, where a sign is appropriate to notify the traveling public of events and services available at the Railroad Museum.*

**Attachments**

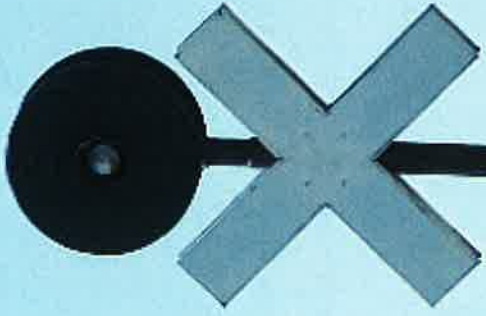
Site Photos/Aerial view  
Building Division comments  
Engineering Division comments  
Fire Department comments  
Environmental Control comments  
Application SUP-14-027



**EXISTING AND PROPOSED  
LOCATION OF SIGN**







**NEVADA STATE  
RAILROAD MUSEUM**  
OPEN THURS - MON

SPEED  
LIMIT  
35

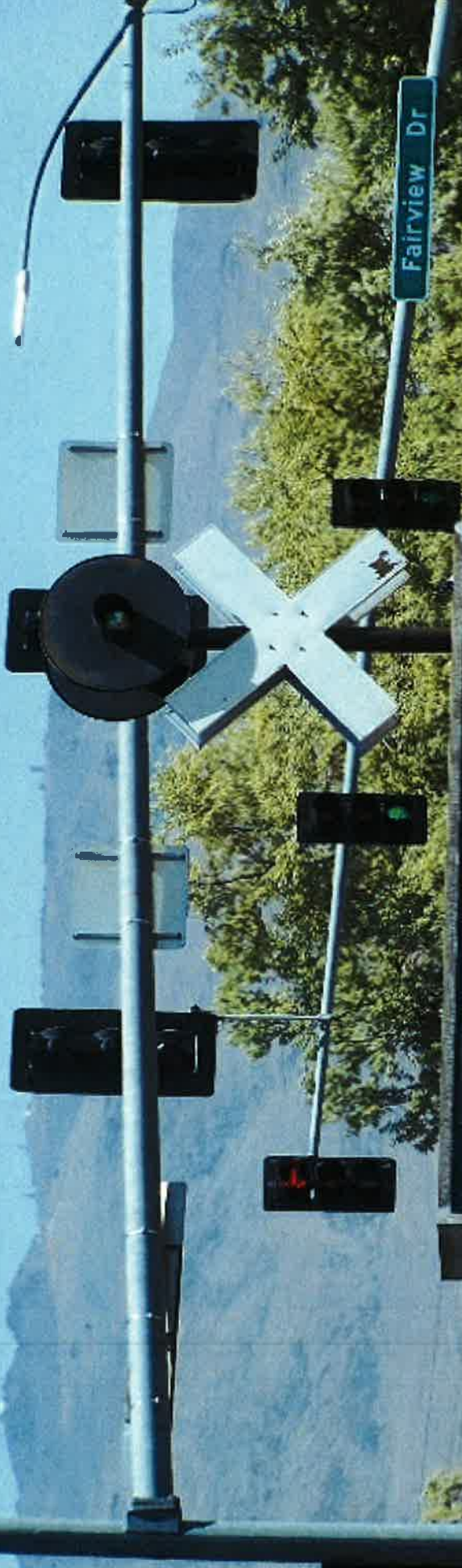
JUNGERS



Fairview Dr

NEWCASTLE STATION  
RAILROAD MUSEUM  
OPEN THURS - MON

Adopt A Highway  
LITTLE CURRENT  
2014



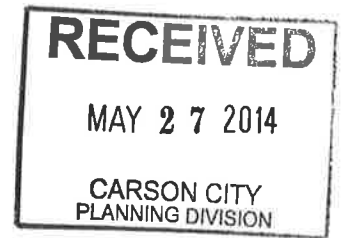
**RECEIVED**

MAY 19 2014

CARSON CITY  
PLANNING DIVISION

<b>File # (Ex: MPR #07-111)</b>	<i>Sup-14-0027</i>
<b>Brief Description</b>	<i>State of Nevada</i>
<b>Project Address or APN</b>	<i>APN</i>
<b>Bldg Div Plans Examiner</b>	<i>Kevin Gattis</i>
<b>Review Date</b>	<i>05-19-14</i>
<b>Total Spent on Review</b>	

**BUILDING DIVISION COMMENTS: No comments**



**Engineering Division  
Planning Commission Report  
File Number SUP 14-027**

**TO:** Planning Commission

**FROM:** Rory Hogen, E.I.

**DATE:** May 26, 2014

**MEETING DATE:** June 25, 2014

**SUBJECT TITLE:**

Action to consider a special use permit for minor improvements including replacing the old sign at the Nevada State Railroad Museum, 2180 S Carson St., apr 03-302-02.

**RECOMMENDATION:**

The Engineering Division has no preference or objection to the special use request. However, the frontage is within an AH flood zone. The work shown on the plan does not appear to have an effect on flood water paths, but the designer of the improvement should keep this in mind.

**DISCUSSION:**

The Engineering Division has reviewed the conditions of approval within our areas of purview relative to adopted standards and practices and to the provisions of CCMC 18.02.080, Conditional Uses.

**CCMC 18.02.080 (2a) - Adequate Plans**

The plans are adequate for this review.

**CCMC 18.02.080 (5a) - Master Plan**

The request is not in conflict with any Engineering Master Plans for streets.

**CCMC 18.02.080 (5c) - Traffic/Pedestrians**

The request is not in conflict with pedestrian or traffic movements.

**CCMC 18.02.080 (5d) - Public Services**

No new City water, sewer or access services will be needed for this project.



Fire has no comments for SUP 14-027

***Dave Ruben***

Captain – Fire Prevention  
Carson City Fire Department  
777 S. Stewart Street  
Carson City, NV 89701

Direct 775-283-7153  
Main 775-887-2210  
FAX 775-887-2209



April 22, 2014

Planning Commission

Re: # SUP 14-027

Dear Kathe,

After initial plan review the Carson City Environmental Control Authority (ECA), a Division of Carson City Public Works Department (CCPW), has the following requirements per the Carson City Municipal Code (CCMC) and the Uniform Plumbing Code (UPC) for the SUP 14-027@2180 S. Carson St. review:

1. ECA has no comments for the sign replacement at the Nevada State Railroad museum.

Please notify Mark Irwin if you have any questions regarding these comments, I can be reached at 775-283-7380.

Sincerely;

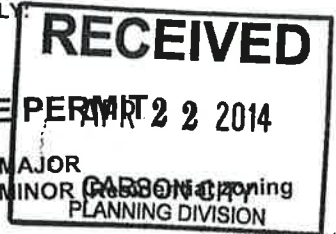
Mark Irwin  
Environmental Control Officer 3

c: Kelly Hale, Environmental Control Supervisor

Carson City Planning Division  
 108 E. Proctor Street • Carson City NV 89701  
 Phone: (775) 887-2180 • E-mail: planning@carson.org

FOR OFFICE USE ONLY

CCMC 18.02



**SPECIAL USE PERMIT 2 2 2014**

FEE: \$2,450.00 MAJOR  
 \$2,200.00 MINOR (Carson City Planning districts)  
 CARSON CITY PLANNING DIVISION

+ noticing fee and CD containing application digital data (all to be submitted once the application is deemed complete by staff)

**SUBMITTAL PACKET**

- 8 Completed Application Packets (1 Original + 7 Copies) including:
- Application Form
- Written Project Description
- Site Plan
- Building Elevation Drawings and Floor Plans
- Proposal Questionnaire With Both Questions and Answers Given
- Applicant's Acknowledgment Statement
- Documentation of Taxes Paid-to-Date (1 copy)
- Project Impact Reports (Engineering) (4 copies)

Application Reviewed and Received By:

Submittal Deadline: See attached PC application submittal schedule.  
 Note: Submittals must be of sufficient clarity and detail such that all departments are able to determine if they can support the request. Additional Information may be required.

FILE # SUP - 14 - 027

Nevada State Railroad Museum 775-687-6953

APPLICANT PHONE #

2180 S Carson Street, Carson City, NV 89701

MAILING ADDRESS, CITY, STATE, ZIP

gfackerman@nevadaculture.org

EMAIL ADDRESS

State of Nevada, Division of State Lands 775-684-2720

PROPERTY OWNER PHONE #

901 S Stewart Street, Suite 5003, Carson City, NV 89701

MAILING ADDRESS, CITY, STATE, ZIP Peter Barton

dmarlow@lands.nv.gov - Dave Marlow

EMAIL ADDRESS

Frank Ackerman, 775-687-6953

APPLICANT AGENT/REPRESENTATIVE PHONE #

2180 S Carson Street, Carson City, NV 89701

MAILING ADDRESS, CITY, STATE ZIP

gfackerman@nevadaculture.org

EMAIL ADDRESS

Project's Assessor Parcel Number(s):

0330202

Street Address ZIP Code

2180 S Carson Street, 89701

Project's Master Plan Designation

Public/Quasi-Public

Project's Current Zoning

Public

Nearest Major Cross Street(s)

Fairview Dr and S Carson St/US 395

Briefly describe your proposed project: (Use additional sheets or attachments if necessary). In addition to the brief description of your project and proposed use, provide additional page(s) to show a more detailed summary of your project and proposal. In accordance with Carson City Municipal Code (CCMC) Section: \_\_\_\_\_, or Development Standards, Division \_\_\_\_\_, Section \_\_\_\_\_, a request to allow as a conditional use is as follows:

PROPERTY OWNER'S AFFIDAVIT

I, CHARLES DONOHUE, ACTING ADMINISTRATOR, DIVISION OF STATE LANDS, THE STATE OF NEVADA IS, being duly deposed, do hereby affirm that I am the record owner of the subject property, and that I have knowledge of and I agree to, the filing of this application.

Signature Charles Donohue

Address 901 S. STEWART ST #5003

Date 7/3/14

Use additional page(s) if necessary for other names.

STATE OF NEVADA  
 COUNTY CARSON CITY

On April 3, 2014, Charles Donohue personally known (or proved) to me to be the person whose name is subscribed to the foregoing document.

Notary Public



NOTE: If your project is located within the historic district, airport area, or downtown area, it may need to be scheduled before the Historic Resources Commission, the Airport Authority, and/or the Redevelopment Authority Citizens Committee prior to being scheduled for review by the Planning Commission. Planning personnel can help you make the above determination.



~~NRS 278B.050~~

341.  
Comply local zoning codes

**NRS 278.580 Building codes: Adoption; fees for permits; applicability to State and Nevada System of Higher Education; authorization of use of materials and technologies that conserve resources in construction and use of solar or wind energy; adoption of seismic provisions and standards.**

1. Subject to the limitation set forth in NRS 244.368, the governing body of any city or county may adopt a building code, specifying the design, soundness and materials of structures, and may adopt rules, ordinances and regulations for the enforcement of the building code.

2. The governing body may also fix a reasonable schedule of fees for the issuance of building permits. A schedule of fees so fixed does not apply to the State of Nevada or the Nevada System of Higher Education, except that such entities may enter into a contract with the governing body to pay such fees for the issuance of building permits, the review of plans and the inspection of construction. Except as it may agree to in such a contract, a governing body is not required to provide for the review of plans or the inspection of construction with respect to a structure of the State of Nevada or the Nevada System of Higher Education.

3. Notwithstanding any other provision of law, the State and its political subdivisions shall comply with all zoning regulations adopted pursuant to this chapter, except for the expansion of any activity existing on April 23, 1971.

4. A governing body shall amend its building codes and, if necessary, its zoning ordinances and regulations to permit the use of:

(a) Straw or other materials and technologies which conserve scarce natural resources or resources that are renewable in the construction of a structure; and

(b) Systems which use solar or wind energy to reduce the costs of energy for a structure if such systems and structures are otherwise in compliance with applicable building codes and zoning ordinances, including those relating to the design, location and soundness of such systems and structures,

→ to the extent the local climate allows for the use of such materials, technologies, resources and systems.

5. The amendments required by subsection 4 may address, without limitation:

(a) The inclusion of characteristics of land and structures that are most appropriate for the construction and use of systems using solar and wind energy.

(b) The recognition of any impediments to the development of systems using solar and wind energy.

(c) The preparation of design standards for the construction, conversion or rehabilitation of new and existing systems using solar and wind energy.

6. A governing body shall amend its building codes to include:

(a) The seismic provisions of the *International Building Code* published by the International Code Council; and

(b) Standards for the investigation of hazards relating to seismic activity, including, without limitation, potential surface ruptures and liquefaction.

[Part 34:110:1941; 1931 NCL § 5063.33]—(NRS A 1959, 500; 1971, 957; 1975, 226; 1993, 2583; 1995, 710, 1925; 1999, 1064; 2003, 1895; 2005, 1823; 2007, 3098)

Not sure if this helps  
Telle

AGD

97-29 - NRS-278B.050



STATE OF NEVADA  
OFFICE OF THE ATTORNEY GENERAL

100 N. Carson Street  
Carson City, Nevada 89701-4717  
Telephone (702) 687-4170  
Fax (702) 687-5798

FRANKIE SUE DEL PAPA  
*Attorney General*

BROOKE A. NIELSEN  
*Assistant Attorney General*

December 31, 1997

OPINION NO. 97-29

IMPACT FEES: FEES: TAXES: The State of Nevada is exempt from the payment of impact fees and transportation taxes to local governments. The State of Nevada is subject to reasonable fees assessed by utility purveyors for expansion and construction of facilities.

Eric Raecke  
Manager  
Public Works Board  
505 East King St., #301  
Carson City, Nevada 89701

Dear Mr. Raecke:

You have requested our legal opinion on whether the State of Nevada is subject to certain development fees charged by local governments and public utilities.

QUESTION ONE

Is the State of Nevada exempt from payment of impact fees and transportation taxes to local governments?

ANALYSIS OF QUESTION ONE

The Nevada Legislature has authorized local governments to charge certain fees and taxes on new development to cover the costs of capital improvement, facility expansion, and improvement of transportation necessitated by the new development.

NRS 278B.050 defines the term "impact fee" as follows: "Impact fee" means a charge imposed by a local government on new development to finance the costs of a capital improvement or facility expansion necessitated by and attributable to the new development.

The term does not include a tax for the improvement of transportation imposed pursuant to NRS 278.710.”

NRS 278B.160(1) provides:

A local government may by ordinance impose an impact fee in a service area to pay the cost of constructing a capital improvement or facility expansion necessitated by and attributable to new development. Except as otherwise provided in NRS 278B.220, the cost may include only:

- (a) The estimated cost of actual construction;
- (b) Estimated fees for professional services;
- (c) The estimated cost to acquire the land; and
- (d) The fees paid for professional services required for the preparation or revision of a capital improvements plan in anticipation of the imposition of an impact fee.

2. All property owned by a school district is exempt from the requirement of paying impact fees imposed pursuant to this chapter.

NRS 278.710(1) and (4) provide:

1. A board of county commissioners may by ordinance, but not as in a case of emergency, impose a tax for the improvement of transportation on the privilege of new residential, commercial, industrial and other development pursuant to paragraph (a) or (b) as follows:

(a) After receiving the approval of a majority of the registered voters of the county voting on the question at a special election or the next primary or general election, the board of county commissioners may impose the tax throughout the county, including any such development in incorporated cities in the county. A county may combine this question with a question submitted pursuant to NRS 244.3351, 365.203, 371.045 or 377A.020, or any combination thereof.

(b) After receiving the approval of a majority of the registered voters who reside within the boundaries of a transportation district created pursuant to NRS 244A.252, voting on the question at a special or general district election or primary or general state election, the board of county commissioners may impose the tax within the boundaries of the district. A county

may combine this question with a question submitted pursuant to NRS 244.3351.

4. The tax imposed pursuant to this section must be collected before the time a certificate of occupancy for a building or other structure constituting new development is issued, or at such other time as is specified in the ordinance imposing the tax. If so provided in the ordinance, no certificate of occupancy may be issued by any local government unless proof of payment of the tax is filed with the person authorized to issue the certificate of occupancy. Collection of the tax imposed pursuant to this section must not commence earlier than the first day of the second calendar month after adoption of the ordinance imposing the tax.

The general and well-established rule is that the state is not subject to taxation. "There is a presumption that the legislature does not intend to subject publicly owned property to taxation by the state and local governments, and that such property is impliedly immune from taxation unless an intention to tax such property is clearly manifested." Op. Nev. Att'y Gen. No. 96-17 (July, 1996).

In *State v. Lincoln Co. Power Dist.*, 60 Nev. 401, 407; 11 P.2d 528, 530 (1941), the court held:

. . . it is stated to be the general rule that in the absence of any constitutional prohibition the state may tax its own property, the presumption is always against an intention to do so, and such property is impliedly immune from taxation unless an intention to include it is clearly manifested; which immunity rests upon public policy and the fundamental principles of government.

Some things are always presumptively exempted from the operation of general tax laws because it is reasonable to suppose they were not within the intent of the legislature in adopting them. Such is the case with property belonging to the state and its municipalities and which is held by them for public purposes. COLEY ON TAXATION, 4th Ed. vol. 2, sec. 621.

The meaning of taxation must be kept in view, and that is: a charge levied by the sovereign power upon the property of its subject. It is not a charge upon its own property, nor upon property over which it has no dominion.

It was held in *People v. Doe G.* 1,034, 36 Cal. 220, that the constitution and laws on the subject of taxing property refer to private property and persons, not public property of the state. . .

When public property is involved, exemption is the rule and taxation is the exception.

A transportation tax is by definition a tax. An impact fee is also a tax. *Douglas County Contractors Ass'n v. Douglas County*, 112 Nev. 1452, 929 P. 2d 253 (1996); *Hillis Homes, Inc. v. Snohomish County*, 650 P.2d 193 (Wash 1982). If the state is not subject to taxation, neither can it be subject to impact fees and transportation taxes.

Generally, when the legislature has chosen to subject the state to a particular fee, assessment or restriction imposed by a local governing body, it has done so specifically, *e.g.* NRS 268.433 (state subject to special assessment) and NRS 278.580(3) (state subject to zoning regulations adopted pursuant to chapter 278). Additionally, the absence of an express provision requiring state compliance has been interpreted as exempting the state from local regulation, *e.g.* Op. Nev. Att'y Gen. No. 140 (August 1973) (state not subject to local building codes). Clearly, if the legislature intended the State to be subject to a charge or fee imposed by its own political subdivision, it would have been a simple matter for the legislature to so provide. *See e.g. Penrose v. Whitacre*, 62 Nev. 239, 243, 147 P.2d 887, 889 (1944). Of course, a local government's authority to govern is derived exclusively and directly from the state itself, and it possesses only such powers as are expressly granted. *Ronnow v. City of Las Vegas*, 57 Nev. 332, 344, 65 P.2d 133, 136 (1937).

Numerous state courts have expressed the principle discussed above in even stronger terms. "The universal rule is that laws in derogation of sovereignty are construed strictly in favor of the state and are [not] permitted to divest it or its government of any prerogatives, unless intention to effect that object is clearly expressed." *People v. Centro-O-Mart*, 214 P.2d 378, 379 (Cal. 1950) (en banc). "It is a general principle that statutory laws of general application are not applicable to the state unless the legislature in the enactment of such laws made them specifically applicable to the state." *Big Island Small Ranchers Ass'n v. State*, 588 P.2d 430, 436 (Haw. 1978).

Further, NRS 278B.230(3) provides, "the impact fee may be collected at the same time as the fee for issuance of a building permit for the service unit or at the time a certificate of occupancy is issued for the service unit . . . ." Similarly, NRS 278.710(4) provides for collection of the transportation tax before issuance of a certificate of occupancy. Under NRS 341.145, the State of Nevada Public Works Board "has final authority for approval as to the architecture of all buildings, plans, designs, types of construction, major repairs and designs of landscaping" and therefore is not required to obtain local building permits, submit to inspections by the local building department personnel, or to receive certificates of occupancy from local governments. Since the impact fee statute and transportation tax statute provide for a time for collection that will never occur for a state public works project, it can reasonably be inferred that the legislature never intended for the State to pay impact fees or transportation taxes.

### CONCLUSION TO QUESTION ONE

The State of Nevada is exempt from the payment of impact fees and transportation taxes to local governments.

### QUESTION TWO

Is the State of Nevada subject to fees assessed by utility purveyors for expansion and construction of facilities?

### ANALYSIS OF QUESTION TWO

The rates charged by Nevada's regulated utilities are subject to approval by the Public Utilities Commission of Nevada (PUC). The Commission's authority to regulate these utilities is found in chapters 703, 704, and, to a lesser extent, 706 of the NRS. A utility regulated by the PUC must furnish reasonably adequate services at just and reasonable rates. See NRS 704.040. If a utility's rate is found to be unjust or unreasonable, the PUC may substitute rates which it believes are just and reasonable after a hearing and investigation. See NRS 704.120. Likewise, the Commission has authority to substitute rates which the Commission has found to be unjustly discriminatory or preferential. *Id.* In other words, unless a specific statutory exemption indicates otherwise, a regulated utility is prohibited from charging rates which unfairly discriminate among its customers.

There are very few exemptions from the general principles discussed above. (*E.g.*, see NRS 704.075 which allows gas utilities to enter into special contracts with customers; also, see NRS 706.351 which allows a common carrier to provide free or reduced rates for transportation to certain persons.) There does not appear to be any statute or regulation exempting governmental agencies from fees assessed by utilities for expansion and construction of facilities for a state agency.

The methodology for recovering these fees are found in utility tariffs. Again, these tariffs are subject to review and approval by the PUC, and the rates contained in these tariffs are presumed to be lawful. See NRS 704.130. There is no statute which specifically states that these fees must be limited to direct hook-up and service fees. Tariffs are designed to recover the incremental cost associated with the expansion of facilities. That is, utility hook-up charges should recover only those additional costs of the new facilities required for the expansion. If a customer is dissatisfied with such a cost estimate, the customer may complain to the PUC or petition for a revision to the tariff. The procedures for both processes are found in chapters 703 and 704 of the NRS and NAC.

Eric Raecke  
December 31, 1997  
Page 6


CONCLUSION TO QUESTION TWO

The State of Nevada is subject to reasonable fees assessed by utility purveyors for expansion and construction of facilities.

Sincerely,

FRANKIE SUE DEL PAPA  
Attorney General

By:

  
JONATHAN L. ANDREWS  
Chief Deputy Attorney General  
Civil Division  
687-3517

JLA:sl

*Nevada State Railroad Museum Sign Replacement  
March 23, 2014*

**Written Project Description**

The replacement of the Nevada State Railroad Museum sign located at the southwest corner of S. Carson St/US 395 and Fairview Drive is being done in conjunction with other landscaping improvements (e.g. pruning trees, removing invasive willows, removing decorative boulders near sign, refreshing the crushed gravel along the railroad tracks). Only the replacement of the existing sign with a new sign requires a Special Use Permit from the Carson City Planning Division.

The scope of the sign replacement includes:

**Sign and Electrical**

*Option A:*

- Remove existing sign and demolish concrete foundation.
  
- Install new NSR Museum sign in the same location as the previous sign. The new sign will have a dynamic LED display. The overall dimensions of the new sign are approximately 11' high, by 10' wide, and 2'-6" deep. (See Plan Set, Sheet L4 for sign details.)

*Option B:*

- Remove existing sign but leave concrete foundation in place and cover with several inches of soil so it will not be visible. The purpose of leaving the foundation in place is to save money and prevent the infiltration of noxious weeds in the disturbed soil.
  
- Install new NSR Museum sign a few feet to the south of the original sign location. The new sign will have a dynamic LED display. The overall dimensions of the new sign are approximately 11' high, by 10' wide, and 2'-6" deep.



## SPECIAL USE PERMIT APPLICATION QUESTIONNAIRE

### GENERAL REVIEW OF PERMITS

*Source: CCMC 18.02.080. (1) The Planning Commission, and possibly the Board of Supervisors, in reviewing and judging the merit of a proposal for a special use permit shall direct its considerations to, and find that in addition to other standards in this title, the following conditions and standards are met:*

**QUESTION 1.** How will the proposed development further and be in keeping with, and not contrary to, the goals of the Master Plan Elements?

#### **Explanation**

**A.** The Master Plan Policy Checklist identifies five themes that look at how a proposed development can help achieve the goals of the Carson City Master Plan. Because this project is not a “development” but a small scale project that will replace an existing sign, some of the principles are not applicable.

#### **Themes from Master Plan Policy Checklist:**

1. Meet the provisions of the Growth Management Ordinance (1.1d, Municipal Code 18.12)?

*Not applicable. The project will not affect growth of Carson City.*

2. Use sustainable building materials and construction techniques to promote water and energy conservation (1.1e, f)?

*The new sign will use energy efficient LED lights.*

3. Located in a priority infill development area (1.2a)?

*Not applicable.*

4. Provide pathway connections and easements consistent with the adopted Unified Pathways Master Plan and maintain access to adjacent public lands (1.4a)?

*The project will not affect existing pathway connections or easements.*

5. Protect existing site features, as appropriate, including mature trees or other character-defining features (1.4c)?

*The project will not affect mature trees or other character defining features. The Nevada Historic Preservation Office has reviewed the project to ensure that it does not diminish the qualities and characteristics of the setting that could have an adverse impact to the historic Wabuska Depot.*

**QUESTION 2. Will the effect of the proposed development be detrimental to the immediate vicinity? To the general neighborhood?**

**Explanation**

**A.** The project vicinity is within the Nevada State Railroad Museum grounds and bordered on the east side by South Carson Street/US 355, a busy four-lane highway. The Nevada State Railroad Museum grounds include a museum building, two historic buildings that have been moved to the site (the Wabuska Depot and the Nelson House), a replica water tank, train tracks, and a storage area for rolling stock. Nevada State Museum grounds are zoned "Public."

- To the north of the property is vacant land zoned "Public."
- To the northeast are businesses, including CVS Pharmacy and Q's Barbeque Restaurant, on land zoned for "Commercial" use.
- To the southeast are apartments on land zoned "Multi-Residential."
- And to the south is Valley Glass on property zoned "General Commercial."

**B.** The replacement of the existing Nevada State Railroad Museum sign with a new sign will not generate any noise, dust, odors, vibrations, fumes, glare, or physical activity that could affect neighboring property owners. Excavation for the installation of the new sign is minimal. The footprint of the sign measures 1'-6" by 10'. There will be minimal dust generated during installation. Any disturbed ground remaining after the sign is installed will be reseeded with native vegetation to prevent the invasion of noxious weeds.

The project will replace an existing sign with a new sign of similar dimensions and within a few feet of the original sign's location. South Carson St/US 395 is a business corridor and the presence of a sign is in keeping with existing development in the neighborhood.

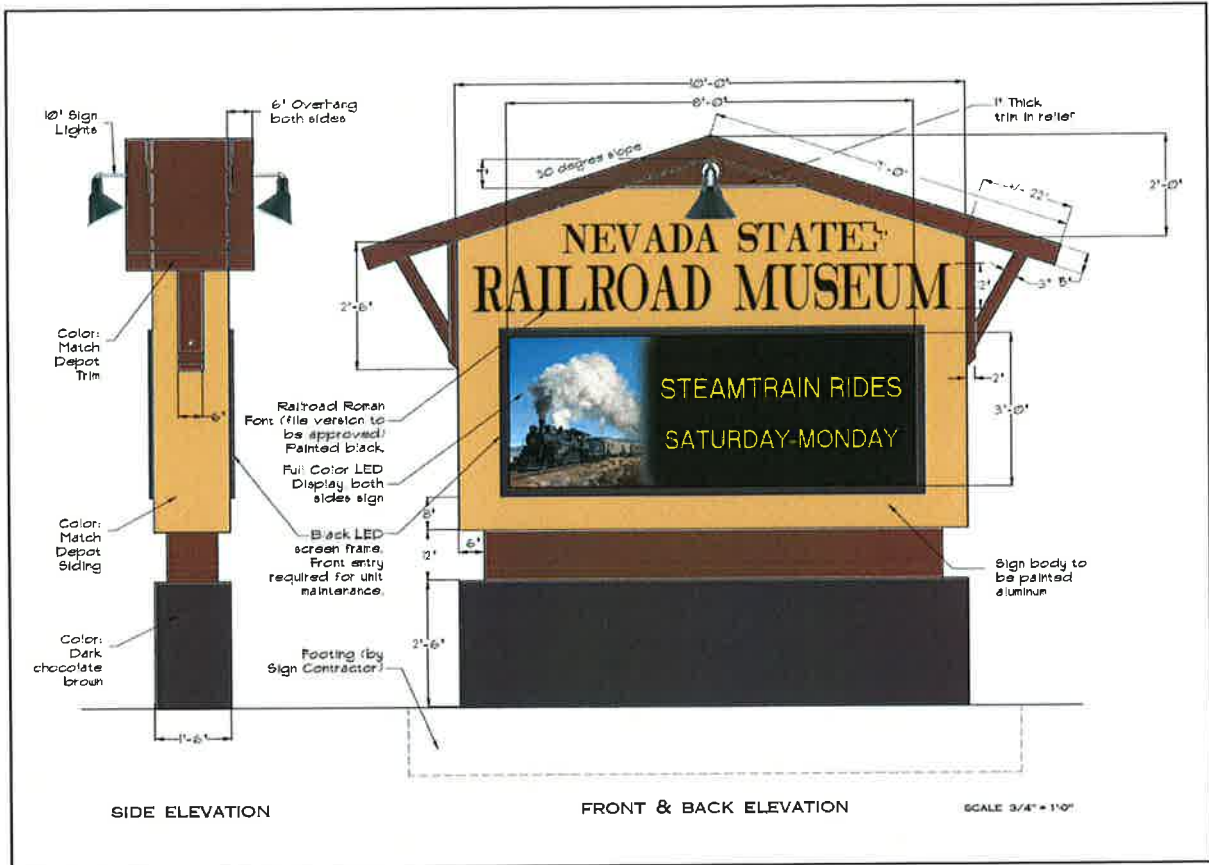


Figure 1. Dimensions of the proposed sign.

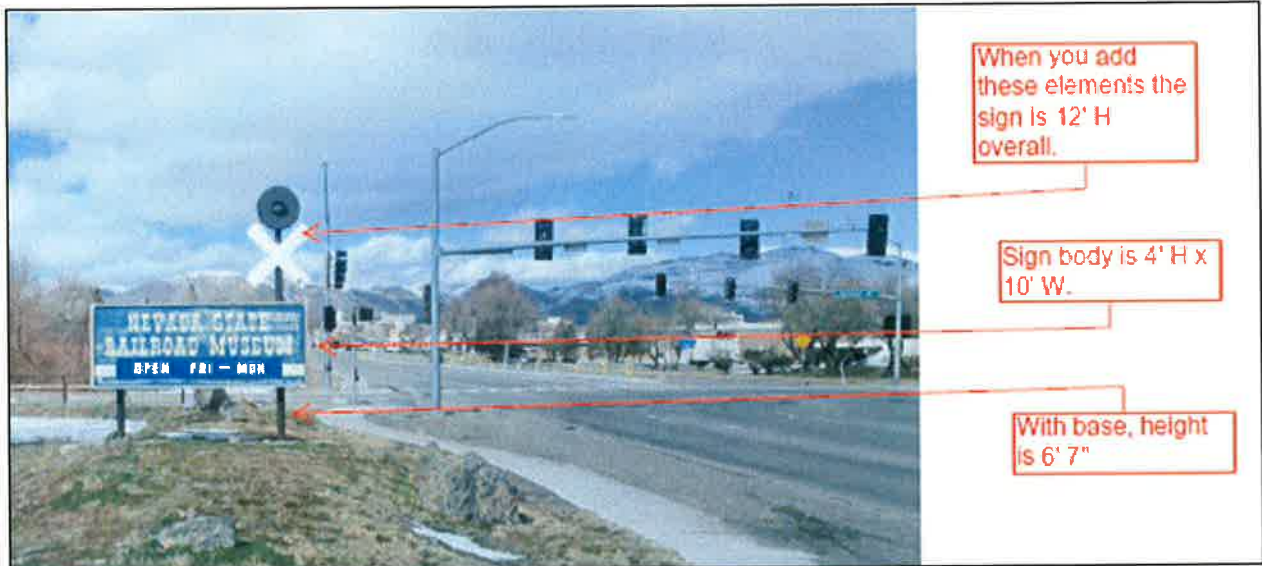


Figure 2: Dimensions of the existing sign.



**Figure 3: Simulation of proposed sign.**

**C.** The replacement of the existing sign will not be detrimental to the use, peaceful enjoyment or development of surrounding properties and the general neighborhood. The sign will generate no noise, atmospheric effects, or induce additional activities. The design of the sign has been reviewed by the State Historic Preservation Office to ensure that it will be complementary to the historic Wabuska Depot which is within the viewshed of the sign. The new sign will be an improvement over the existing sign which is in disrepair, not aesthetically pleasing, and does not reflect the professional level of museum displays, and nationally significant artifacts that are housed at the Nevada State Railroad Museum.

**D.** The replacement of a sign will not cause traffic to increase in the neighborhood. The project does not require or include additional walkways or traffic lights. One of the goals of the new sign will be to advertise the presence of the Nevada State Railroad Museum to drivers. The dimensions of the sign and lettering have been designed to be legible from motorists driving at approximately 35-40 miles an hour.

**E.** The short term benefits of the new sign will be to increase awareness of the Nevada State Railroad Museum and upcoming special events so that Carson City residents and visitors can enjoy and learn about our railroad history. The long term benefits are that increased numbers of visitors to the museum will generate much needed income to maintain the museum and ensure that Carson City can keep beneficial public institutions, like the Railroad Museum, open for current and future residents.

**QUESTION 3. Has sufficient consideration been exercised by the applicant in adapting the project to existing improvements in the vicinity?**

**Explanation**

**A.** There are no foreseeable effects that the project could have on the school district. The project will not add to the student population. There are no foreseeable effects that the project could have to the Sheriff's Office.

**B.** The project will not cover land with paving or a compacted surface and will not affect drainage.

**C.** The project requires no water supplies.

**D.** The project does not require sewage or septic services.

**E.** No road improvements are proposed or needed to accommodate the project.

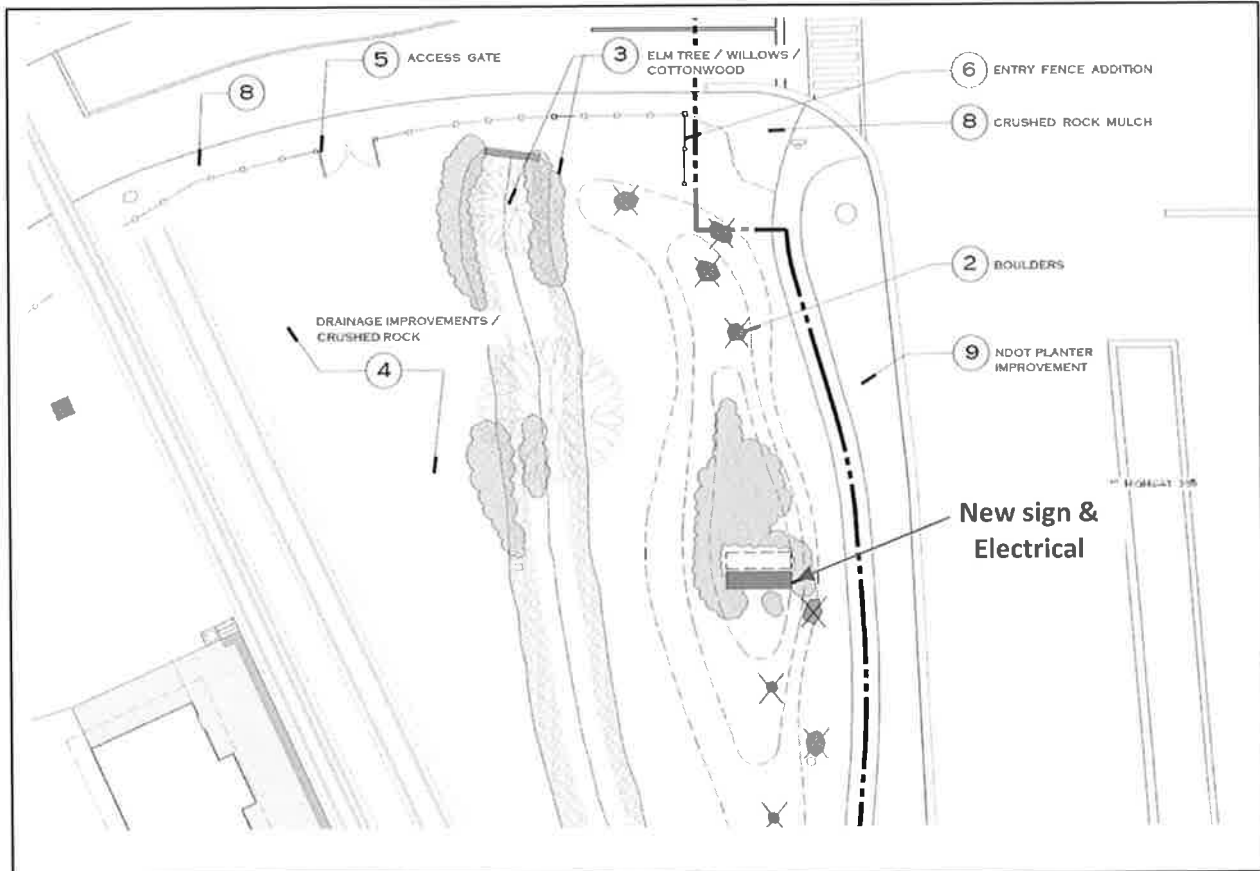
**F.** The source of the information provided is based on the attached plan set and logical conclusions.

**G.** The sign will be illuminated in two ways. There will be a 3' high by 8' wide LED screen on either side of the sign. The LED display will be programmed to display special events at the museum and hours of operation. The sign will also be lit with two vintage style light fixtures (one on each side) placed at the apex of the sign. The maximum wattage of the light fixtures is 200W. The light from the vintage style fixtures will be directed only at the sign.

**H.** There will be minimal change in the landscaping surrounding the sign. There are existing "decorative" boulders near the sign that will be removed. The native vegetation around the sign (sagebrush and salt grass) will be preserved. Please see attached site plan.

**I.** The project will not affect existing parking for the Nevada State Railroad Museum, therefore a parking plan is not included.

## SPECIAL USE PERMIT/VARIANCE



**OWNER:** State of Nevada, Division of State Lands  
 101 S Stewart Street  
 Carson City, NV 89701

**APPLICANT:** Nevada State Railroad Museum

**REQUEST:** To remove the existing Nevada State Railroad Museum sign and replace it with a new sign with an LED display.

**LOCATION:** 2180 S Carson St

**ZONING:** Public

**MASTER PLAN LAND USE DESIGNATION:**  
 Public/Quasi-Public

**APN:** 003-302-02

*Site plan adapted from 90% Plan Set prepared by  
 Sandra Wendall, & Associates*



**LOCATION MAP**



**DOCUMENTATION OF TAXES PAID TO DATE**

Not applicable. The Nevada State Railroad Museum is a state agency and does not pay taxes.

**PROJECT IMPACT REPORTS**

Not applicable. This submission does not have any project impact reports.

**ACKNOWLEDGMENT OF APPLICANT**

I certify that the forgoing statements are true and correct to the best of my knowledge and belief. I agree to fully comply with all conditions as established by the Planning Commission. I am aware that this permit becomes null and void if the use is not initiated within one-year of the date of the Planning Commission's approval; and I understand that this permit may be revoked for violation of any of the conditions of approval. I further understand that approval of this application does not exempt me from all City code requirements.





Applicant

Date





UTILITIES ALERT



NEVADA STATE RAILROAD MUSEUM  
GATEWAY IMPROVEMENT PROJECT  
2180 SOUTH CARSON STREET  
FEDERAL PROJECT # TAP-0529(002) - PROJECT # 73802



LOCATION MAP

**OWNER:**

STATE OF NEVADA  
NEVADA DEPT. OF TOURISM AND CULTURAL AFFAIRS  
DIVISION OF MUSEUMS & HISTORY  
CONTACT: FRANK ACKERMAN, MUSEUM DIRECTOR III  
2180 SOUTH CARSON STREET  
CARSON CITY, NEVADA 89701  
(775) 687-6953, EXT. 223 FAX (775) 687-8294  
gfackerman@nevadaculture.org

**LANDSCAPE ARCHITECT:**

SANDRA WENDEL & ASSOCIATES  
CONTACT: SANDRA WENDEL, PRINCIPAL  
1624 10TH STREET, SUITE 3  
MINDEN, NEVADA 89423  
(775) 782-8942  
sandra@swlsa.com

**ELECTRICAL ENGINEER:**

JENSEN ENGINEERING, INC.  
CONTACT: GERALD G. JENSEN, P.E.  
9655 GATEWAY DRIVE, SUITE A  
RENO, NEVADA 89521  
(775) 852-2288 FAX (775) 852-3388  
jeneng@nvcbell.net

**NEVADA DEPT. OF TRANSPORTATION:**

FEDERAL PROJECT NO.: TAP-0529(002)  
LOCAL PUBLIC AGENCY PROJECT NO.: 13802  
CONTACT: KIRSTEN E. KEHE, P.E.  
1263 STEWART STREET  
CARSON CITY, NEVADA 89712  
(775) 888-7669

**SHEET INDEX:**

LANDSCAPING

- L1 TITLE PAGE
- L2 EXISTING CONDITIONS PLAN
- L3 PROPOSED IMPROVEMENTS PLAN
- L4 SIGN DESIGN-BUILD SPECIFICATIONS
- L5 IMPROVEMENT DETAILS
- L6 IMPROVEMENT DETAILS

ELECTRICAL ENGINEERING

- E1 SPECS AND SCHEDULES
- E2 SITE PLAN

REVISION

DATE FEB. 3, 2014  
SCALE NO SCALE  
DRAWN SW  
CHECKED SW

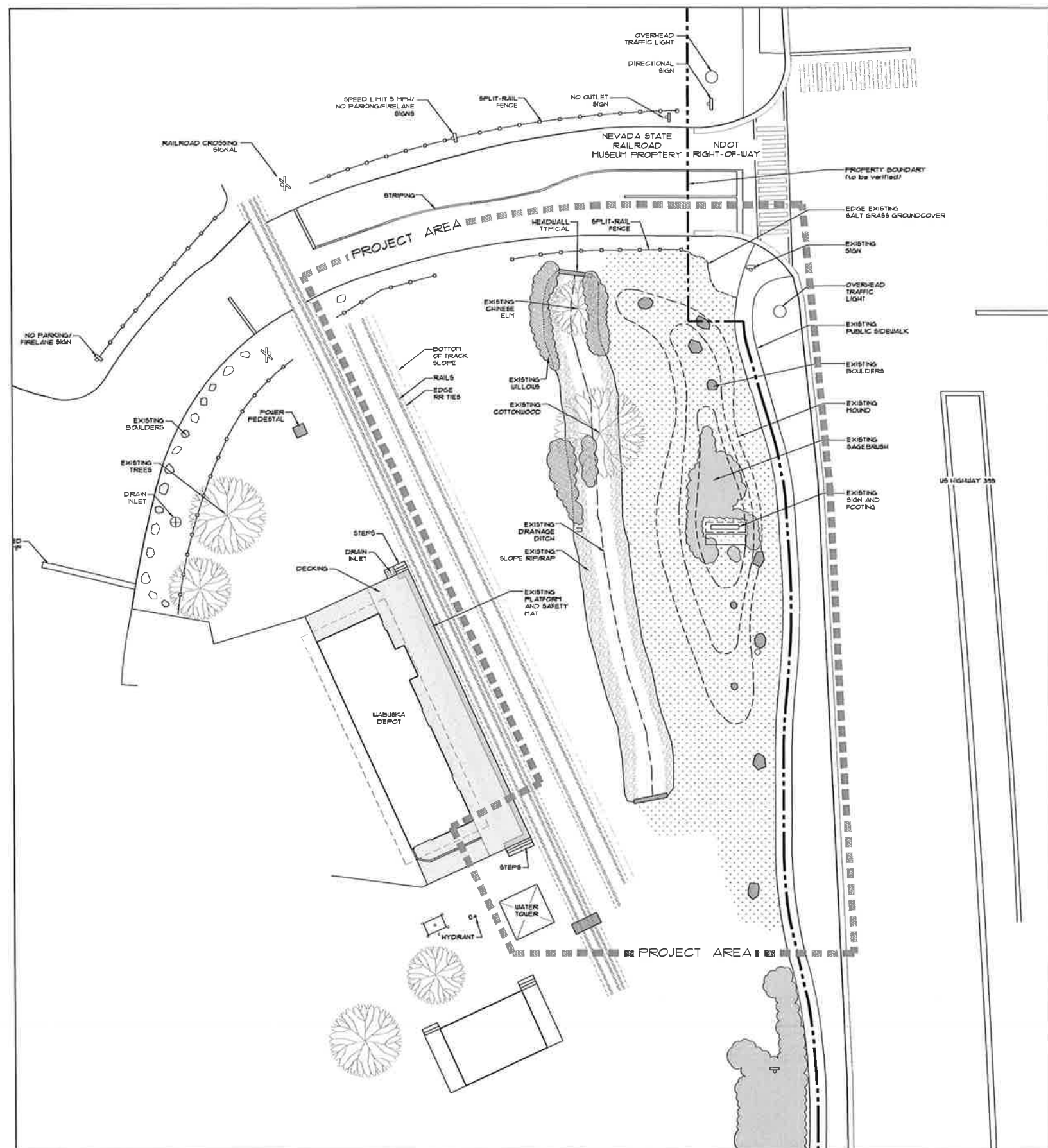
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SHEET:  
L1  
OF 6 SHEETS

TITLE SHEET

NO SCALE



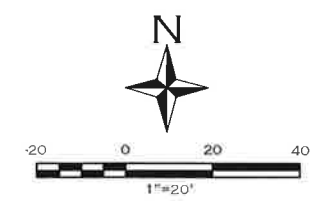
90% SUBMITTAL



**NOTES & CONSTRUCTION REQUIREMENTS**

1. An engineered survey was not required or prepared as part of this project. Maps have been prepared by the Landscape Architect based on google map projections and field verification. The Landscape Architect cannot be held responsible for measurements and field locations that are not 100% accurate. The Contractor shall bring any discrepancies to the attention of the Owner and Landscape Architect prior to beginning work.
2. All construction shall be done in accordance with these plans, the General Conditions and project specifications, The Standard Specifications for Public Works construction, Uniform Building Code or other local or state regulations that may apply - except as modified by these plans or Special Provisions.
3. Call Underground Service Alert '811' prior to initiating work. The existing lines shall be marked prior to digging or trenching. The Contractor shall protect all utilities and above grade features to remain from damage during all phases of construction. The Landscape Architect assumes no responsibility for the utilities not shown or not in the location shown on these plans.
4. The acquisition of all necessary permits associated with construction shall be the Contractor's responsibility.
5. The Contractor shall maintain all existing drainage facilities and grade elevations related to drainage and shall not erect any obstruction which shall interfere with drainage or storm drains.
6. It is understood that minor deviation may be necessary during the course of the project. These deviations may be done if approved by the Landscape Architect or Owner and if consistent with the original approved design.
7. No materials of any kind shall be stockpiled or construction equipment parked on concrete or asphalt surfaces. Stockpiling of materials and parking of vehicles or equipment should only occur in non-planted areas.
8. Excess or unsuitable material which cannot be used onsite shall be disposed of offsite at the sole expense of the Contractor.
9. The Contractor shall assume sole and complete responsibility of job site conditions during the course of construction for this project, including safety of all persons and property. This requirement shall apply continuously and not be limited to normal working hours.
10. The Contractor shall protect from damage existing improvements on and around the site including, but not limited to, pavement, curb and gutter, sidewalk, landscaping, signage, storm and sanitary sewers, utilities, telephone and cable television. The Contractor shall assume sole responsibility for the repair and/or replacement of any improvements (new or existing) damaged throughout the course of construction, either as a direct result of his activities or his failure to adequately protect the improvements, at no cost to the Owner.
11. It is the Contractor's responsibility to verify locations and/or elevations and areas of possible conflict prior to beginning construction. Should the Contractor find any discrepancies between the conditions existing in the field and the information shown on these drawings, he shall notify the Owner's representative before proceeding with construction.
12. 48 hours minimum notice shall be given to any parties involved in inspections.
13. Sign Warranty to be per the terms of the Owner-Purchaser Contract.
14. The Contractor shall provide copies of all Sign and Electrical Parts, Warranties, Operations and Maintenance Manuals used on the project and instruct the Owner in the proper usage of the Sign.
15. All submittals shall meet the approval of the Landscape Architect and Owner prior to the start of production or installation. Shop drawings are required per notes Sheet L4 that shall meet or exceed the stated requirements.

**EXISTING CONDITIONS**



SANDRA WENDEL & ASSOCIATES  
 1624 10TH STREET, SUITE 3  
 WINDEN, NV 89433  
 P: 775-928-8842 F: 775-928-4643  
 NV #201 AND CA #2005  
 LANDSCAPE ARCHITECT

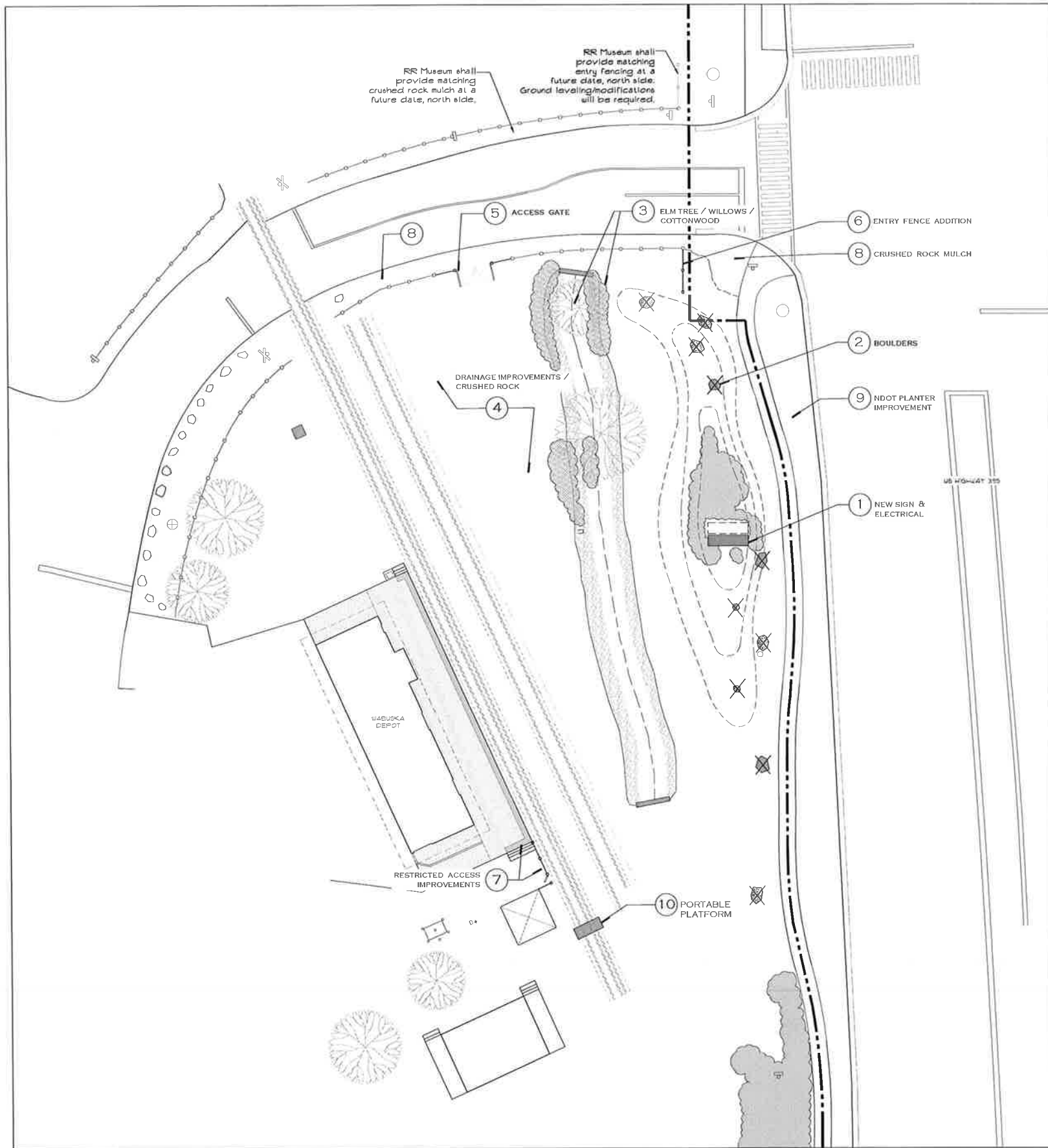


NEVADA STATE RAILROAD MUSEUM  
 GATEWAY IMPROVEMENT PROJECT  
 2180 SOUTH CARSON STREET  
 FEDERAL PROJECT # TAP-0529(002) - PROJECT # 73802

REVISION	
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5	

DATE FEB 3, 2014  
 SCALE 1" = 20'  
 DRAWN SW  
 CHECKED SW  
 90% SUBMITTAL

DRAWING TITLE OVERVIEW  
 SHEET: L2  
 OF 6 SHEETS



The following items have been determined by the Owner and site staff to be the most desirable aesthetic, safety and maintenance improvements. This plan has shown them not only for the purpose of the current budgeted improvement project, but to provide a future roadmap for work internally as additional funds become available.

**DESCRIPTION OF IMPROVEMENTS IN ORDER OF BID PRIORITY**

- 1 SIGN & ELECTRICAL**

  - a. Demolish existing sign, posts, everything but the concrete footing, and remove from site. Leave footing in place and cover with thin layer of soil to conceal.
  - b. Install new approved sign per design/build specifications Sheet L4. Install adjacent to and south of existing footing.
  - c. Install all digital and electronic features, including burial of all conduits as specified on the Electric Drawings Sheets E1 and E2.
  - d. Repair all decking disturbed during the underground installation of power and digital lines connecting the building to the grounds on the south side of the depot.
- 2 BOULDERS**

  - a. Remove the 10 existing boulders and stockpile in a location behind the railroad museum as directed by staff.
  - b. Do not disturb existing saltgrass or drive on vegetated areas during the removal of boulders.
  - c. Fill all voids or depressions with clean topsoil free of debris, rocks, chemicals or other contaminants and water to settle in.
- 3 ELM TREE / WILLOWS / COTTONWOOD**

  - a. Remove all above grade willows and below ground plant parts by mechanical means. Access shall be limited to the west side of the ditch to prevent disturbance of vegetation along the front of the site. Dispose of all material offsite.
  - b. Remove Elm tree completely.
  - c. Recompact disturbed slopes and mechanically stabilize. Install new or recycled fractured rock rip-rap on slopes to match existing. Spread approved pre-emergent granules in all disturbed areas to prevent weed seed germination.
  - d. Contract with certified Arborist/tree worker to prune existing Cottonwood for the purposes of tree health and improving visibility into the site.
- 4 DRAINAGE IMPROVEMENT / CRUSHED ROCK**

  - a. Fill voids where water accumulates east of the railroad tracks as shown on Sheet L5 with 3/4 inch minus crushed roadbase.
  - b. Add 2 inches of 1 1/2 inch fractured brown/black River Rock and thoroughly compact in areas shown.
  - c. Install 4 foot border of 3x10 fractured River Rock (color to match) along the edge of the level area adjacent to the west side of the drainage ditch.
  - d. Spread pre-emergent granules in all rocky areas to prevent weed seed germination and water in per manufacturer's specifications.
- 5 ACCESS GATE**

Construct new fencing and gates per details Sheets L5 to limited access to Museum staff. Fencing to match existing style and materials.
- 6 ENTRY FENCE ADDITION**

  - a. Construct new fencing per details Sheet L6 to improve site entry definition. Fencing to match existing style and materials.
- 7 RESTRICTED ACCESS IMPROVEMENTS**

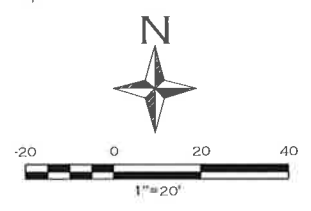
Construct new fencing and gate per details Sheet L6 to limited access to Museum staff and RR Engineers.
- 8 CRUSHED ROCK MULCH**

  - a. Add additional (one layer) 1 1/2 inch Nevada Gold fractured rock to the landscape border between the fencing and the roadway. Remove soil along the edge of the roadway so that the top of the rock mulch is flush with the top of the roadway and thus contained.
- 9 NDOT PLANTER IMPROVEMENT**

  - a. Remove and dispose of dirt and cinders to a depth of 3 1/2 inches in the area shown.
  - b. Add 3 inches of 1 1/2 inch Nevada Gold fractured rock keeping it 1/2 inch below the top of adjacent sidewalk and curbs.
  - c. Install approved heavy duty strength weed cloth prior to laying rock.
  - d. Rock shall be thoroughly washed prior to installation and again after placement.
  - e. Install approved pre-emergent granules and water in per Manufacturer's specifications over the improved area.
- 10 PORTABLE PLATFORM**

  - a. Construct moveable platform to allow for tourists/photographers to safely cross the rails to photograph the engine on special occasions. See Sheet L6.

**IMPROVEMENT PLANS**



SANDRA WENDEL & ASSOCIATES  
 1824 10th STREET, SUITE 3  
 MINCHEN, NV 89429  
 PH 775-782-8942 F 775-782-8943  
 sww@swa.com  
 NV 001, PLS 047886

LANDSCAPE ARCHITECT



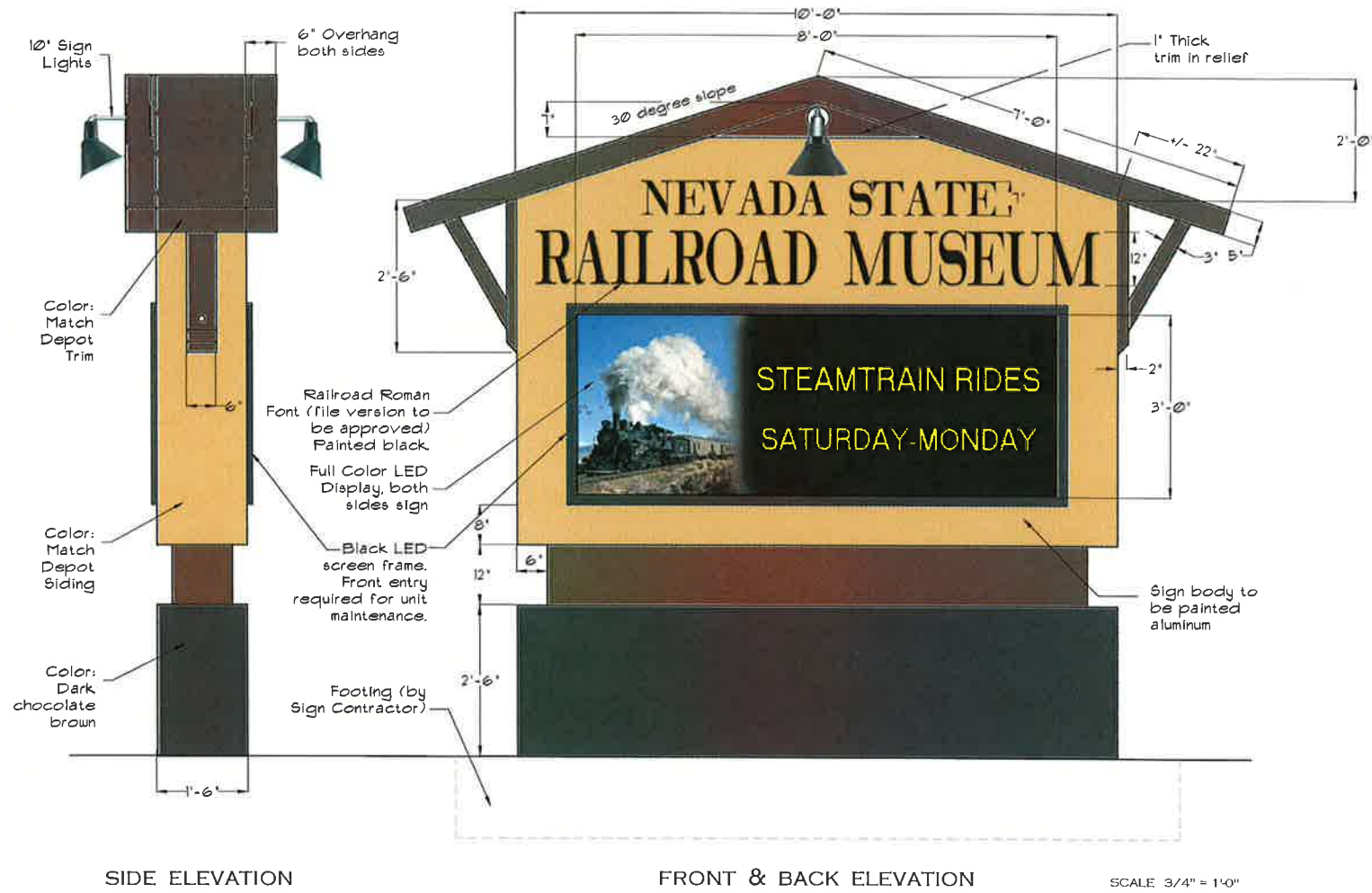
NEVADA STATE RAILROAD MUSEUM  
 GATEWAY IMPROVEMENT PROJECT  
 2180 SOUTH CARSON STREET  
 FEDERAL PROJECT # TAP-0529(002) - PROJECT # 73802

REVISION


DATE FEB 3, 2014  
 SCALE 1" = 20'  
 DRAWN SW  
 CHECKED SW

DRAWING TITLE  
 IMPROVEMENTS  
 SHEET:  
**L3**  
 OF 6 SHEETS

90% SUBMITTAL



PROPOSED SIGN STREET VIEW

**1 DESIGN / BUILD SIGN SPECIFICATIONS**

**SHOP DRAWING & CONSTRUCTION REQUIREMENTS:**

- Conceptual approval from the Nevada State Railroad Museum for the Sign shown in these drawings has been secured.
- Remove existing sign and footing completely. Care shall be taken to prevent damage to the surrounding landscape.
- Final design approval shall be obtained, based on detailed Shop Drawings submitted by the Sign Contractor.
- Physical submittals shall be supplied that clearly show key visual elements such as construction material, colors, and finishes, etc. The Contractor shall supply additional visual submittal if requested during the design/build process.
- Construction criteria include longevity in terms of materials ability to withstand climate, deterioration, vandalism, limited annual maintenance. All materials, paints, glues, finishes, lettering, fasteners and assembly shall be of the highest quality and conform to the best practices available.
- All notes and recommendations in the adjacent drawings are provided solely as design 'suggestions' based on the Landscape Architect's discussions with sign purveyors and construction professionals.
- The Contractor assumes full responsibility for final design/build features.
- Conformance to the visual, scaled representation is required.
- Colors to match existing Depot.
- Provide the Railroad Museum with unopened, one gallon cans of each type of stain, paint or finish used in sign construction.
- See Civil Drawings, Sheets E1 and E2 for electrical and cable requirements. The Sign Contractor shall verify that proposed electrical design will suffice for this project.
- The LED performance specifications shall be determined by the Sign Contractor and approved for use by the Owner.
- Sign Design and Construction shall meet all applicable Carson City Building Codes, including the following: 2012 Northern Nevada Amendments, 2012 International Building Code and the 2011 National Electrical Code.



**LIGHT SHADE SPECIFICATIONS:**

- Fixture: Frontier Angle Shade
- Supplier: Barnlight Electric (or approved equal)
- Color: Black
- G16 Gooseneck Arm



EXISTING SIGN TO BE REMOVED

SANDRA WENDEL & ASSOCIATES  
 1024 10TH STREET, SUITE 3  
 WUCOEN, NV 89423  
 PH: 775-786-8642 FX: 775-782-6843  
 NY #201 AND CA #22608  
 LANDSCAPE ARCHITECT



NEVADA STATE RAILROAD MUSEUM  
 GATEWAY IMPROVEMENT PROJECT  
 2180 SOUTH CARSON STREET  
 FEDERAL PROJECT # TAP-0529(002) - PROJECT # 73802

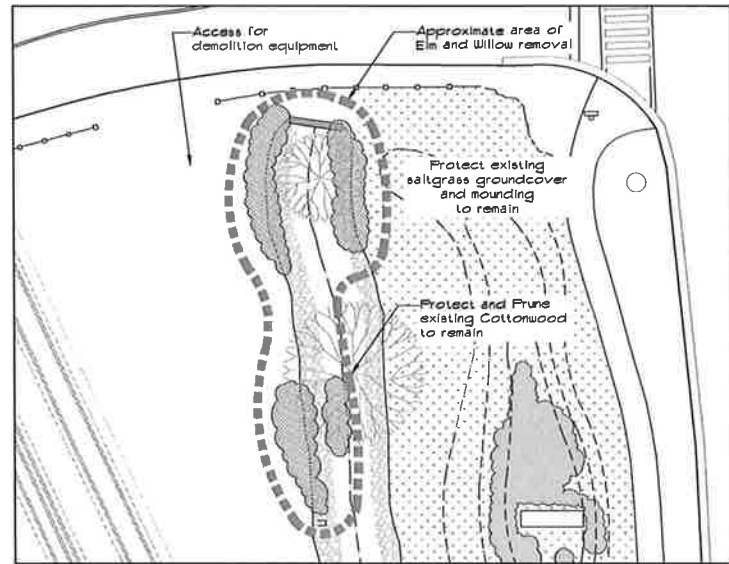
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DRAWING TITLE SIGN  
 SHEET: L4  
 OF 6 SHEETS

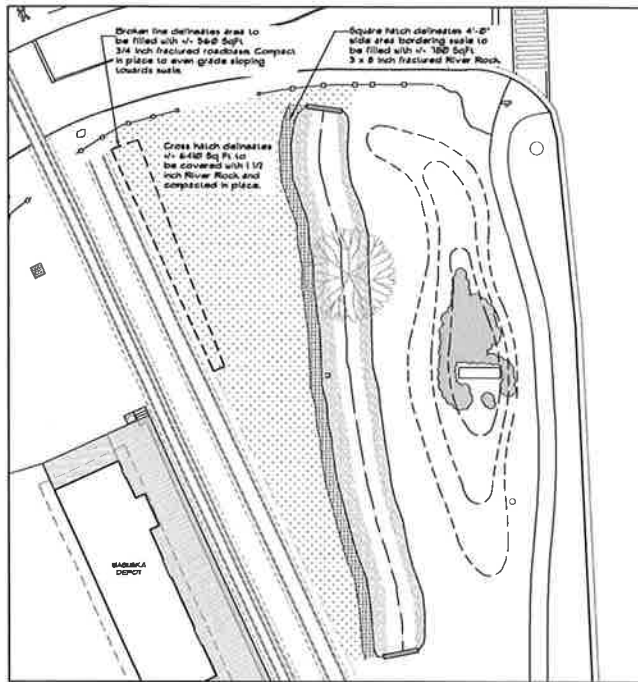
**SIGN DESIGN-BUILD SPECIFICATIONS**

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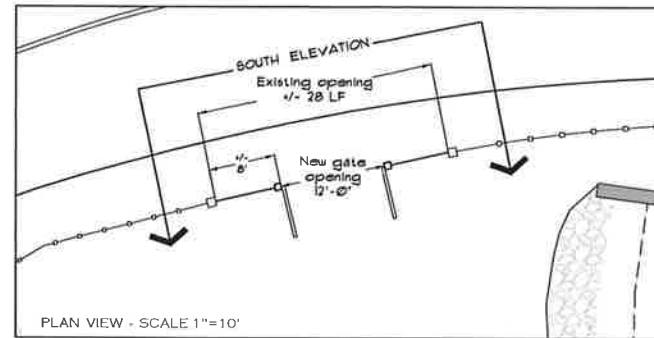
3 ELM TREE / WILLOW REMOVAL

SCALE 1"=20'

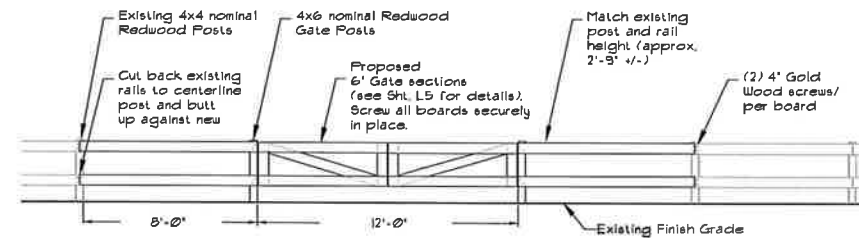


4 DRAINAGE IMPROVEMENT / CRUSHED ROCK

SCALE 1"=30'

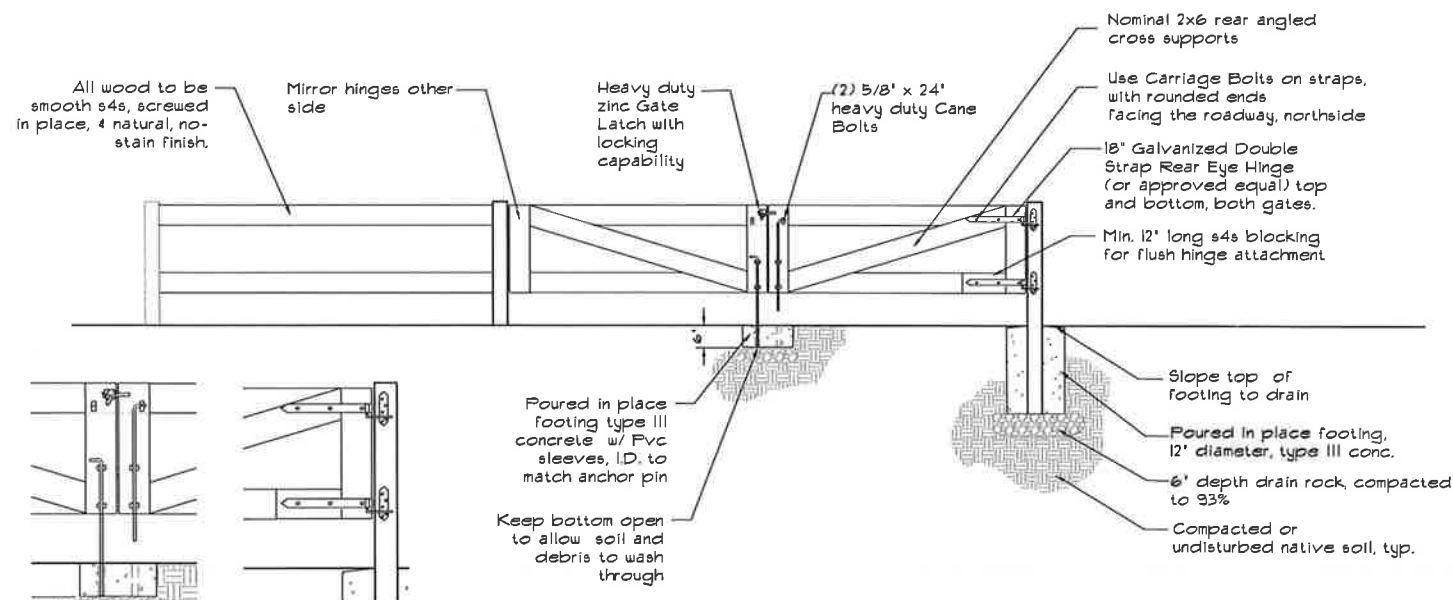


PLAN VIEW - SCALE 1"=10'



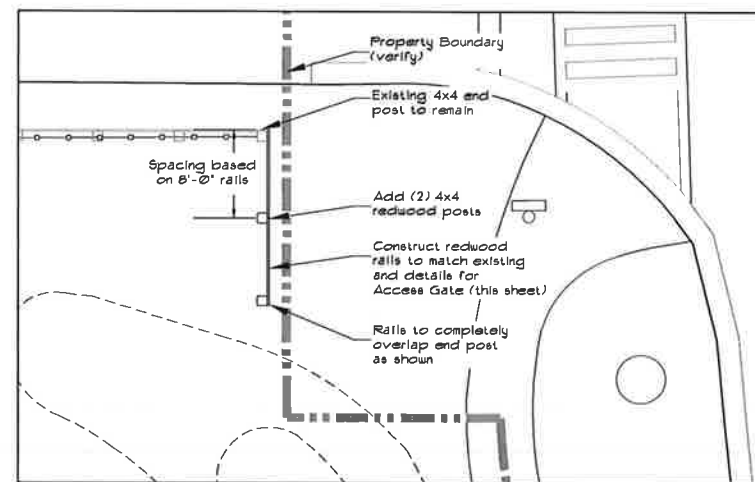
SOUTH (OUTSIDE) ELEVATION - SCALE 1"=4'-0"

5 ACCESS GATE - PLAN VIEW & ELEVATION



5 ACCESS GATE - CONSTRUCTION DETAILS

NORTH (INSIDE) ELEVATION - SCALE 1/2"=1'-0"

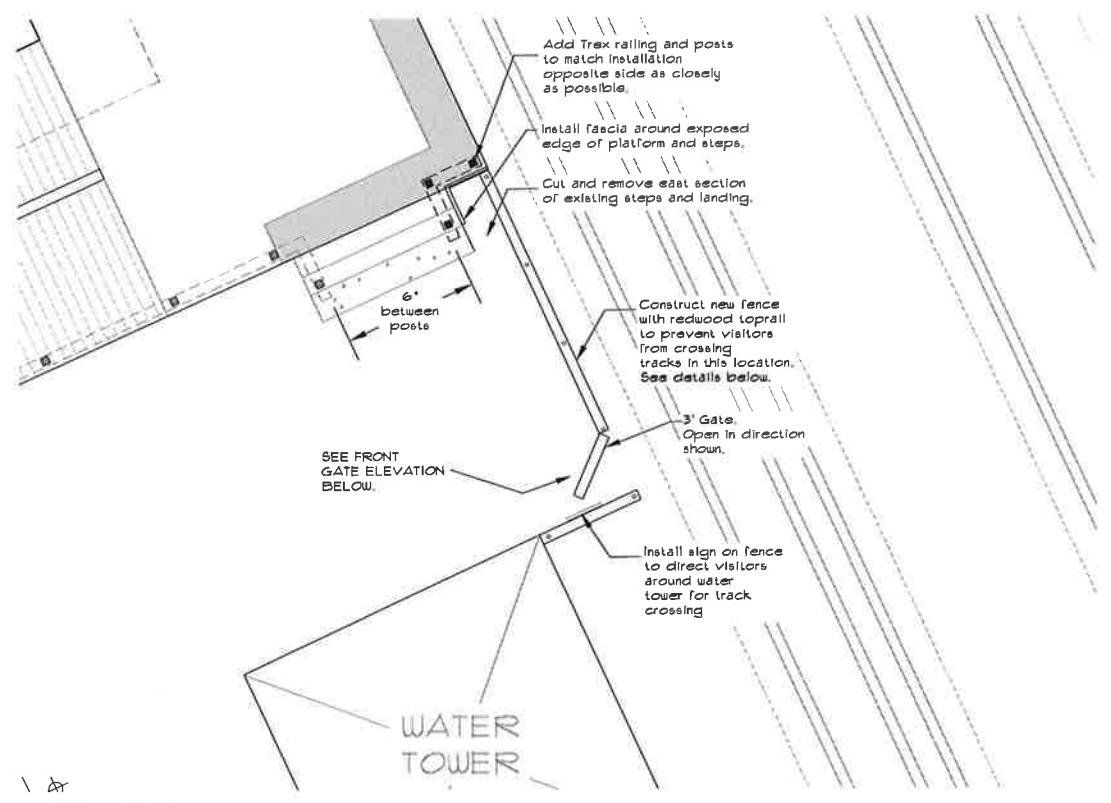


6 ENTRY FENCE ADDITION

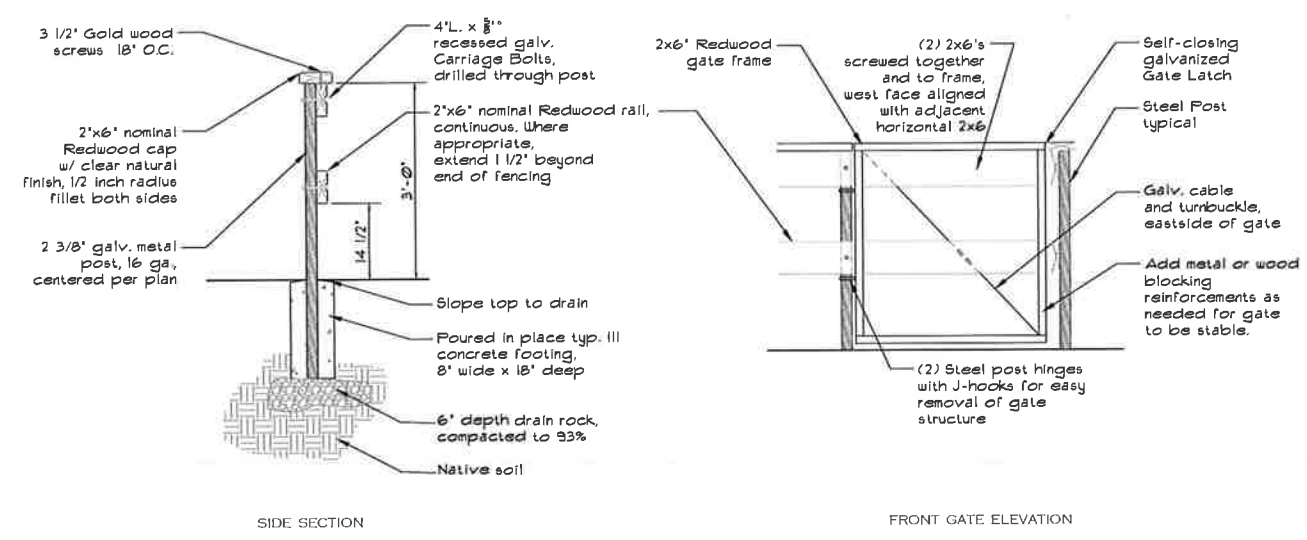
SCALE 1"=8'-0"

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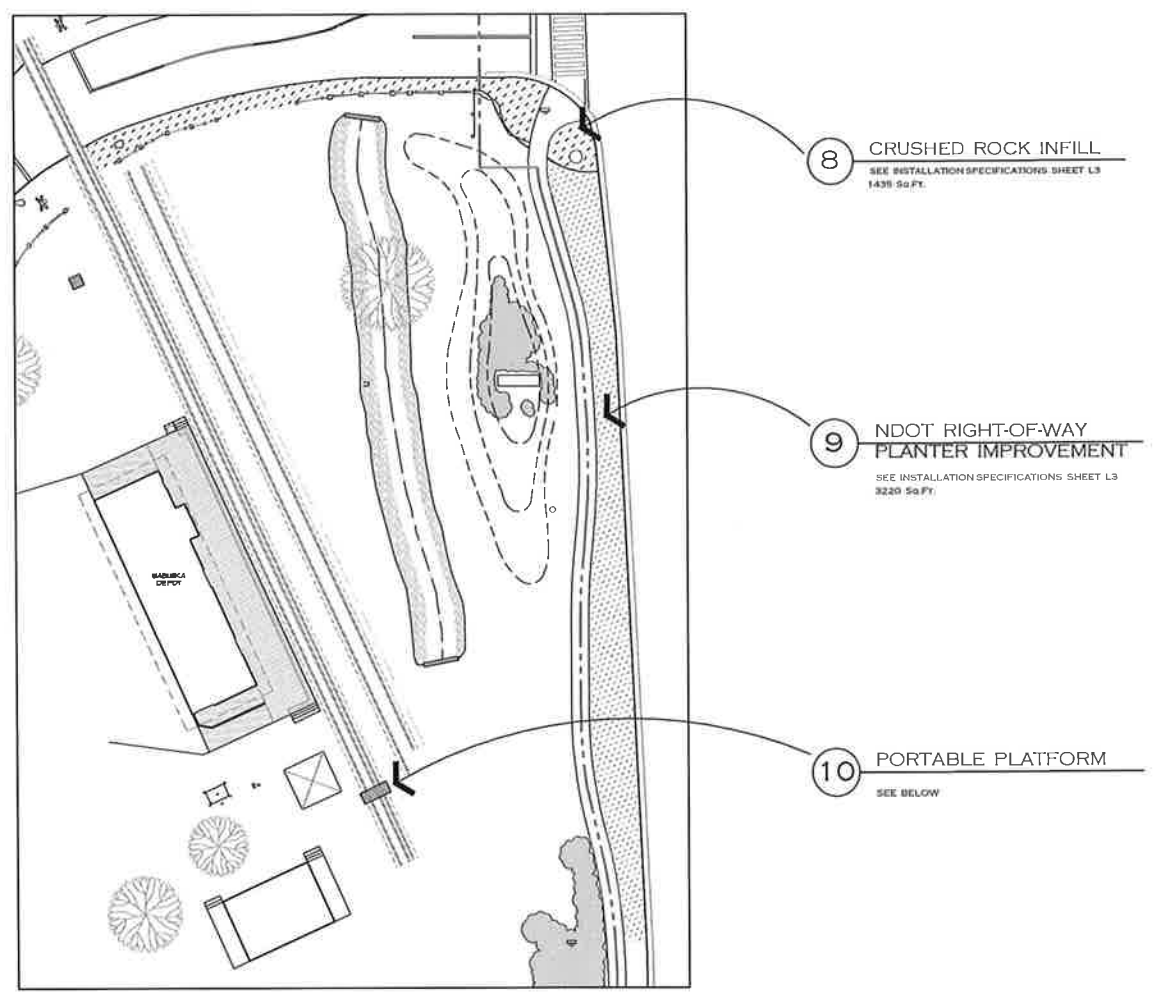
DATE FEB. 3, 2014  
 SCALE VARIES  
 DRAWN SW  
 CHECKED SW



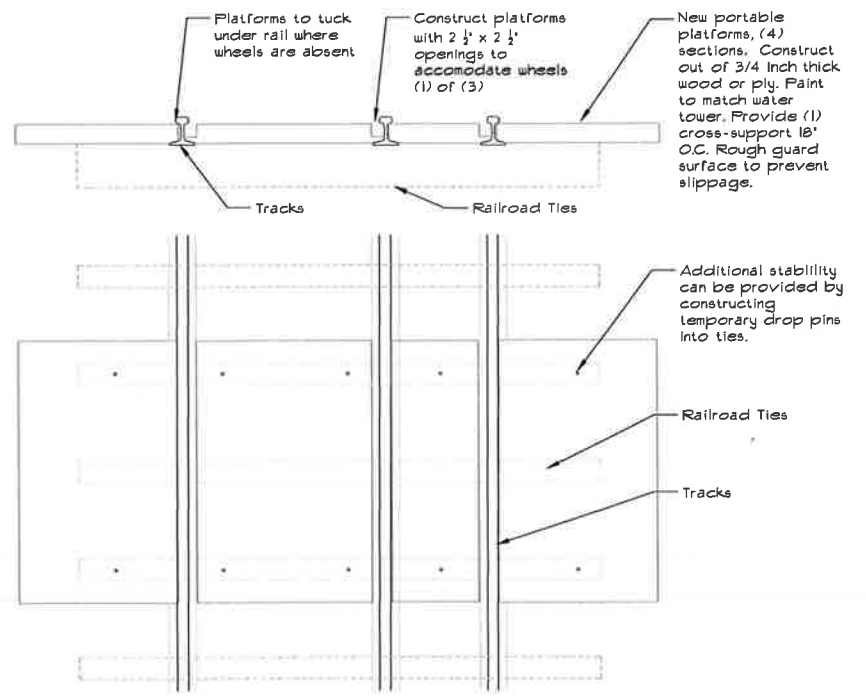
SCALE 1" = 4'-0"



7 RESTRICTED ACCESS IMPROVEMENTS SCALE 3/4" = 1'-0"



SCALE 1" = 30'-0"



10 PORTABLE PLATFORM SCALE 3/4" = 1'-0"

SANDRA WENDEL & ASSOCIATES  
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LANDSCAPE ARCHITECT



NEVADA STATE RAILROAD MUSEUM  
GATEWAY IMPROVEMENT PROJECT  
2180 SOUTH CARSON STREET  
FEDERAL PROJECT # TAP-0529(002) - PROJECT # 73802

REVISION	DATE

DATE FEB. 3, 2014  
SCALE VARIES  
DRAWN SW  
CHECKED SW

DRAWING TITLE DETAILS  
SHEET: L6  
OF 6 SHEETS

SECTION 16000 - ELECTRICAL SPECIFICATIONS

- 1.0 GENERAL PROVISIONS  
CONSIDER THE GENERAL CONTRACT REQUIREMENTS AS PART OF THE SPECIFICATIONS. WHERE REQUIREMENTS OF THESE SPECIFICATIONS DO NOT COINCIDE WITH GENERAL CONTRACT REQUIREMENTS, THE STRICTER REQUIREMENTS WILL GOVERN.
- 2.0 WORK INCLUDED  
PROVIDE ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, APPARATUS, ETC. INCLUDING THOSE REASONABLY INFERRED, AS REQUIRED FOR A COMPLETE INSTALLATION OF ALL ELECTRICAL WORK SHOWN WITHIN THESE ELECTRICAL CONSTRUCTION DOCUMENTS, OR DETAILED IN THE ELECTRICAL SPECIFICATIONS. ALL ELECTRICAL WORK SHALL BE PERFORMED BY LICENSED ELECTRICIANS AND TECHNICIANS. REPAIRS AND REPLACEMENTS FOR DEFECTIVE EQUIPMENT OR MATERIALS AS COVERED BY WARRANTY/GUARANTEE SHALL BE CONSIDERED WITHIN THE SCOPE OF WORK AND SHALL BE PERFORMED AT NO ADDITIONAL COST (EXCEPTION: LIGHTING LAMPS).
- 3.0 RELATED WORK SPECIFIED ELSEWHERE  
ELECTRICAL CONSTRUCTION DOCUMENTS AND GENERAL CONTRACT REQUIREMENTS SHALL BE CONSIDERED AS A WHOLE. ALL ELECTRICAL WORK SHALL ACCOMMODATE THE REQUIREMENTS OF THIS DIVISION TO ENSURE PROPER PERFORMANCE OF THE ELECTRICAL WORK REQUIRED.
- 4.0 SITE INVESTIGATION  
ELECTRICAL CONTRACTOR SHALL THOROUGHLY INVESTIGATE ALL EXISTING CONDITIONS AT THE PROJECT SITE PRIOR TO SUBMITTING A BID. NO EXTRA PAYMENT WILL BE MADE FOR FAILURE TO OBSERVE EXISTING CONDITIONS EVIDENT DURING THE SITE VISIT.
- 5.0 REGULATIONS AND STANDARDS  
ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST ADOPTED EDITIONS OF: THE NATIONAL ELECTRICAL CODE (NEC); THE NATIONAL LIFE SAFETY CODE; THE INTERNATIONAL BUILDING CODE (IBC); OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS (OSHA); AND THE WASHOE-RTC STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (ORANGE BOOK). ADDITIONALLY, ALL STATE AND LOCAL CODES AND ORDINANCES SHALL BE UPHOLD. CONTRACTOR SHALL NOT OMIT ANY COMPONENT OR PORTION OF THESE ELECTRICAL CONSTRUCTION DOCUMENTS WHICH MAY EXCEED THE LISTED STANDARDS. NO ELECTRICAL WORK DETAILED IN THE ELECTRICAL CONSTRUCTION DOCUMENTS OR ELECTRICAL SPECIFICATION SECTION SHALL BE INTERPRETED TO PERMIT WORK WHICH FAILS TO CONFORM TO THESE REQUIREMENTS. WHERE CONFLICTS OCCUR, HIGHER STANDARDS SHALL GOVERN. RULINGS AND INTERPRETATIONS BY GOVERNING AGENCIES SHALL BE CONSIDERED A PART OF THIS DIVISION IF COMMONLY IMPOSED UPON THE TRADE PRIOR TO SUBMISSION OF BID.
- 6.0 FEES  
ELECTRICAL CONTRACTOR SHALL INCLUDE ALL FEES AND ROYALTIES FOR TESTING IN THE BID.
- 7.0 DRAWINGS AND SPECIFICATIONS
  - 7.1 ELECTRICAL CONTRACTOR SHALL VERIFY THE EXACT LOCATIONS, ELEVATIONS, AND INSTALLATION REQUIREMENTS OF ALL ELECTRICAL EQUIPMENT PRIOR TO "ROUGH-IN". LOCATIONS SHALL BE VERIFIED FOR APPROPRIATE SPACE (LENGTH, WIDTH, AND HEIGHT) AND CLEARANCE PRIOR TO FABRICATING OR ORDERING ANY EQUIPMENT OR MATERIALS. ANY DISCREPANCIES SHALL BE REPORTED TO THIS ENGINEER IMMEDIATELY. FINAL CONNECTIONS TO EQUIPMENT SHALL BE MADE IN ACCORDANCE WITH MANUFACTURER'S APPROVED WIRING DIAGRAMS, DETAILS AND INSTRUCTIONS.
  - 7.2 ELECTRICAL CONTRACTOR SHALL SUBMIT WRITTEN REQUEST-FOR-INFORMATION (RFI) DOCUMENTS TO THIS ENGINEER PRIOR TO PERFORMING ANY WORK WHERE AMBIGUITY ARISES. ELECTRICAL CONTRACTOR SHALL NOT PERFORM ANY FIELD MODIFICATIONS OR DEVIATIONS FROM THE ELECTRICAL CONSTRUCTION DOCUMENTS AND/OR SPECIFICATIONS WITHOUT APPROVED WRITTEN RESPONSE FROM THIS ENGINEER THROUGH AN APPROPRIATELY SUBMITTED RFI.
  - 7.3 ELECTRICAL CONTRACTOR SHALL PERFORM ELECTRICAL WORK PER MANUFACTURER'S DIRECTIONS WHERE SAID DETAILS ARE NOT SPECIFICALLY COVERED OR INDICATED BY THESE ELECTRICAL CONSTRUCTION DOCUMENTS AND ELECTRICAL SPECIFICATIONS. WHEN CONFLICT ARISES, SECTION 7.2 OF THIS SPECIFICATION SHALL DICTATE PERFORMANCE.
  - 7.4 ALL SERVICES RENDERED BY THIS ENGINEER ARE PROFESSIONAL OPINIONS AND RECOMMENDATIONS, ONLY. UNDER NO CIRCUMSTANCE IS IT THE INTENT OF THIS ENGINEER TO DIRECTLY CONTROL THE PHYSICAL ACTIVITIES OF THE CONTRACTOR OR HIS EMPLOYEES.
- 8.0 MATERIALS
  - 8.1 APPEARANCE AND FINISH OF MATERIALS SHALL BE OF THE HIGHEST STANDARDS. ALL MATERIALS AND EQUIPMENT SHALL BE NEW, OPERATING NORMALLY, AND SHALL BE OF HIGHEST AVAILABLE QUALITY. ANY DEFECTIVE MATERIALS SHALL BE IDENTIFIED AND REMOVED FROM SITE, IMMEDIATELY.
  - 8.2 PROVIDE UNDERWRITERS LABORATORY (UL) LISTED MATERIALS AND EQUIPMENT WHEREVER STANDARDS FOR SAID ITEMS HAVE BEEN ESTABLISHED. UNLISTED DEVICES SHALL BE INSTALLED IN EQUIPMENT NORMALLY LISTED OR LABELED, AND SHALL CONFORM TO 'LISTED' STANDARDS AS FAR AS POSSIBLE.
- 9.0 CLEAN WORK  
REGULARLY REMOVE DEBRIS FROM THE PROJECT SITE, AS REQUIRED, DURING CONSTRUCTION. CLEAN ALL RACEWAYS, FIXTURES, AND OTHER EQUIPMENT PRIOR TO FINAL ACCEPTANCE BY OWNER.
- 10.0 CLOSING IN OF UNINSPECTED WORK  
ELECTRICAL CONTRACTOR SHALL NOT CLOSE IN OR CONCEAL ANY ELECTRICAL WORK PERFORMED PRIOR TO INSPECTION AND APPROVAL.
- 11.0 STANDARD FIELD TESTS
  - 11.1 ELECTRICAL CONTRACTOR SHALL PERFORM POWER CONDUCTOR INSULATION TESTING.
  - 11.2 CONDUCTOR INSULATION SHALL BE TESTED USING A 1000 VOLT DC INSULATION TESTER. TEST POWER CONDUCTORS ACCORDING TO TEST EQUIPMENT MANUFACTURER'S RECOMMENDED TESTING PROCEDURES. TEST POWER CONDUCTORS DISCONNECTED IN PLACE. MINIMUM RESISTANCE VALUES FOR BRANCH CIRCUIT CONDUCTORS SHALL BE 100 MEGOHMS. PROMPTLY REPORT ANY LOWER VALUE TO THE ENGINEER.
  - 11.3 PERFORM POLARITY TESTS FOR ALL UTILIZATION EQUIPMENT.
  - 11.4 PROVIDE WRITTEN TABULATED RESULTS OF CONDUCTOR INSULATION TESTING, TO THE ENGINEER, PROMPTLY AFTER TESTING AND PRIOR TO ENERGIZING OF CONDUCTORS.
  - 11.5 ANY WORK WHICH FAILS TO MEET THE REQUIREMENTS OF THESE ELECTRICAL CONSTRUCTION DOCUMENTS, OR ANY OF THE ABOVE-LISTED TESTING SHALL BE CONSIDERED DEFECTIVE AND SHALL BE PROMPTLY CORRECTED OR REMOVED FROM SITE.
- 12.0 IDENTIFICATION  
ELECTRICAL CONTRACTOR SHALL PROVIDE AND INSTALL IDENTIFICATION TAGS ON CONDUCTORS AT ALL PULLBOXES AND AT EQUIPMENT SERVED. IDENTIFICATION TAGS SHALL INDICATE DEVICE DESIGNATION, EQUIPMENT SERVED, VOLTS/PHASE/WIRE, AND PANEL / CIRCUIT NUMBER.
- 13.0 PENETRATIONS  
PROVIDE AND INSTALL COMMERCIALY ACCEPTED METHODS FOR WATER-TIGHT PENETRATION OF EXTERIOR WALL. CONSULT OWNER REPRESENTATIVE FOR DETERMINATION OF EXACT PENETRATION LOCATIONS FOR EXTERIOR WALL.
- 14.0 EXCAVATION AND BACKFILL
  - 14.1 PROVIDE ALL EXCAVATION, BACKFILL, TRENCHING, HORIZONTAL DIRECTIONAL BORING, COMPACTION, PATCHING ETC. REQUIRED FOR THE ELECTRICAL WORK DETAILED IN THE ELECTRICAL CONSTRUCTION DOCUMENTS AND THIS ELECTRICAL SPECIFICATION. ELECTRICAL WORK SHALL CONFORM TO REQUIREMENTS OF THE WASHOE-RTC STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (ORANGE BOOK).
  - 14.2 INSTALL RACEWAYS AND CONDUIT PROMPTLY. PERFORM BACKFILL PROMPTLY UPON INSPECTION AND APPROVAL.
  - 14.3 UNDERGROUND ELECTRICAL WORK SHALL BE PERFORMED WITH CONSIDERATION FOR EXISTING SERVICES. ELECTRICAL CONTRACTOR SHALL PROMPTLY AND COMPLETELY REPAIR OR REPLACE ANY SYSTEMS DISRUPTED DURING ELECTRICAL INSTALLATION AND RETURN TO WORKING ORDER.
  - 14.4 BACKFILL SHALL CONFORM TO REQUIREMENTS OF WASHOE-RTC STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (ORANGE BOOK).

SECTION 16000 - ELECTRICAL SPECIFICATIONS (CONTINUED)

- 15.0 SUPPORTS AND FASTENINGS  
ELECTRICAL CONTRACTOR SHALL PROVIDE AND INSTALL SUPPORTS AND HANGARS FOR ALL RACEWAYS, CABINETS, BOXES, BACK-BOXES, AND EQUIPMENT. SUPPORTS AND HANGARS SHALL BE SECURELY ATTACHED TO STRUCTURE USING: (a) STRUCTURAL CHANNEL, BEAM-CLAMPS, THREADED HANGAR RODS FOR STEEL STRUCTURE (b) EXPANSION BOLTS FOR SOLID MASONRY, (c) CONCRETE PRESET INSERTS FOR EXPANSION BOLTS FOR CONCRETE, (d) MACHINE SCREWS, OR BOLTS AND BEAM CLAMPS FOR METAL.
- 16.0 RECORD DRAWINGS  
ELECTRICAL CONTRACTOR SHALL PROVIDE A NEAT AND COMPLETE SET OF "AS-BUILT" RECORD DRAWINGS TO THE OWNER WITHIN TEN (10) DAYS OF FINAL ACCEPTANCE OF WORK. RECORD DRAWINGS SHALL INDICATE ALL DEVIATIONS FROM THE ELECTRICAL CONSTRUCTION DOCUMENTS, LOCATIONS OF STUB-OUTS AND CONCEALED ITEMS (PER FIELD DIMENSIONS) RECORD DRAWINGS SHALL BE OF EQUAL TO OR HIGHER QUALITY THAN THESE ELECTRICAL CONSTRUCTION DOCUMENTS (INCLUDING SIZE, CLARITY AND MEDIUM). ALL MAINTENANCE AND OPERATING MANUALS AS WELL AS ANY ADDITIONAL INSTRUCTIONS, SHALL BE CONSIDERED A PART OF THE RECORD DRAWINGS.
- 17.0 ELECTRICAL SUBMITTALS  
ELECTRICAL CONTRACTOR SHALL SUBMIT FOUR (4) COPIES OF FACTORY DATA SHEETS FOR ELECTRICAL MATERIALS PROPOSED FOR THIS PROJECT TO THE ENGINEER. ELECTRICAL CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FROM THE ENGINEER, FOR ALL PROPOSED DATA SHEETS. ELECTRICAL CONTRACTOR SHALL ORDER AND/OR RELEASE ANY MATERIALS PROMPTLY AFTER SUBMITTAL APPROVAL. NO SUBSTITUTIONS OR ALTERNATE METHODS SHALL BE ACCEPTED AS A RESULT OF UNTIMELY WORK.
- 18.0 OWNERSHIP OF DOCUMENTS  
THESE ELECTRICAL CONSTRUCTION DOCUMENTS AND SPECIFICATIONS, AND ALL RELATED DOCUMENTS CONSTITUTE COPYWRITTEN MATERIALS OF JENSEN ENGINEERING, INC. ALL RIGHTS RESERVED. THESE MATERIALS SHALL REMAIN THE SOLE PROPERTY OF JENSEN ENGINEERING, INC. AND MAY NOT BE REPRODUCED, DISTRIBUTED, OR USED FOR ANY PURPOSE WITHOUT THE EXPLICIT WRITTEN CONSENT OF JENSEN ENGINEERING, INC.
- 19.0 ONGOING OPERATIONS  
ELECTRICAL CONSTRUCTION WORK SHALL BE PERFORMED WITH DUE CONSIDERATION FOR ONGOING OPERATIONS AT THE PROJECT SITE AND SHALL MINIMIZE DISRUPTIONS IN EVERY RESPECT. PROVIDE AND INSTALL BARRICADES, DUST CONTAINMENT, NOISE ABATEMENT, ETC. TO ENSURE SAFETY OF NON-CONSTRUCTION PERSONNEL ON THE PROJECT SITE. ANY INTERRUPTIONS TO EXISTING SERVICES SHALL BE COORDINATED WITH THE OWNER PRIOR TO ENGAGEMENT. DISRUPTIONS SHALL BE TEMPORARY AND MUST BE SCHEDULED 2 WEEKS IN ADVANCE.
- 20.0 TEMPORARY POWER  
ANY TEMPORARY CONSTRUCTION POWER SYSTEM SHALL COMPLY WITH THE REQUIREMENTS OF THE NEC, AS WELL AS OSHA. COSTS FOR TEMPORARY POWER EQUIPMENT ARE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR.
- 21.0 MATCH EXISTING  
IDENTIFY ANY COMPONENTS WHERE DIRECTED TO MATCH EXISTING; PROVIDE AND INSTALL THE ITEM(S) EXACTLY. WHERE EXACT REPLACEMENT IS NOT AVAILABLE, NEW EQUIPMENT SHALL MATCH EXISTING EQUIPMENT IN FUNCTION AND APPEARANCE, AND MUST BE OF EQUAL OR GREATER QUALITY THAN EXISTING EQUIPMENT. WHERE SCOPE OF WORK OCCURS AT AN EXISTING FACILITY, ALL MATERIALS AND WORKMANSHIP SHALL BE OF GREATER QUALITY THAN EXISTING. TRANSITIONS FROM NEW WORK AREAS TO EXISTING AREAS SHALL BE SEAMLESS IN APPEARANCE AND FUNCTION.
- 22.0 CONDUCTORS  
ALL CONDUCTORS SHALL CONFORM TO THE REQUIREMENTS STATED UNDER SECTION 5.0 OF THIS ELECTRICAL SPECIFICATION, AND UL LISTING STANDARDS. ALL CONDUCTORS SHALL BE COPPER, STANDARD AMERICAN WIRE GAUGE, SOFT-DRAWN, CONCEALED IN CONDUIT. CONDUCTOR INSULATION SHALL BE 600 VOLT, 90°C RATED TYPE THHN/THWN. CONDUCTORS SHALL BE CONTINUOUS FROM ORIGIN TO EQUIPMENT WITHOUT SPLICES, PER NEC. WHERE REQUIRED, SPLICES SHALL OCCUR IN SPLICE BOXES OR WIREWAYS PER PLAN. WIRE/CABLE SHALL BE HANDLED TO AVOID DAMAGE TO BOTH CONDUCTOR AND INSULATION. WIRE/CABLE SHALL BE DELIVERED IN STANDARD COILS OR REELS WITH SUITABLE PROTECTION FROM WEATHER AND DAMAGE DURING STORAGE, HANDLING, AND INSTALLATION. ELECTRICAL CONTRACTOR SHALL COLOR CODE CONDUCTORS CONSISTENTLY THROUGHOUT THE PROJECT ACCORDING TO THE FOLLOWING OUTLINE:  

VOLTAGE	PHASE A	PHASE B	PHASE C	NEUTRAL	GROUND
120/208V	BLACK	RED	BLUE	WHITE	GREEN
- 23.0 CONDUIT SYSTEMS
  - 23.1 CONDUIT ROUTES SHOWN ON THESE DOCUMENTS SHALL BE FOLLOWED AS CLOSELY AS POSSIBLE.
  - 23.2 TYPE RMC (GRS) CONDUIT SHALL BE USED FOR ALL EXPOSED LOCATIONS.
  - 23.3 TYPE RMC (PVC SCHEDULE 40) CONDUIT SHALL BE USED FOR ALL UNDERGROUND AND UNDER CONCRETE SLAB APPLICATIONS. ABOVE GRADE AND EXPOSED RISERS SHALL BE TYPE RMC. UNDERGROUND CONDUITS SHALL BE BURIED IN SAND ENVELOPE, MINIMUM OF 24" (TWO FEET) BELOW FINISHED GRADE. PROVIDE AND INSTALL GREEN INSULATED GROUNDING CONDUCTORS IN ALL NON-METALLIC CONDUITS.
  - 23.4 TYPE FMC CONDUIT (INCLUDING TYPE 'MC' CABLE) IS NOT PERMITTED.
  - 23.5 TYPE LFMC CONDUIT IS NOT PERMITTED.
  - 23.6 TYPE LFNC CONDUIT IS NOT PERMITTED.
  - 23.7 TYPE ENT CONDUIT IS NOT PERMITTED.
  - 23.8 TYPE NM & MM-C CABLE IS NOT PERMITTED.
  - 23.9 PROVIDE AND INSTALL 200# PULL STRING IN ALL EMPTY OR SPARE CONDUITS.
- 24.0 TERMINATIONS AND SPLICES  
CONNECTORS, SPLICES, AND LUGS SHALL BE LISTED FOR THE APPLICATION. CHECK ALL BUS CONNECTIONS FOR PROPER CONTACT PRESSURE. COMPLETE MECHANICAL LUG CONNECTIONS USING A CALIBRATED TORQUE WRENCH (OR SCREWDRIVER) ACCORDING TO LUG MANUFACTURER'S TIGHTENING RECOMMENDATIONS.
- 25.0 VANDAL PROTECTION  
ALL ELECTRICAL WORK THAT IS ACCESSIBLE TO THE PUBLIC SHALL BE TAMPER-PROOF AND VANDAL RESISTANT. ALL EQUIPMENT WITH OPERABLE-DOOR ENCLOSURES SHALL BE LOCKING TYPE, OR PAD-LOCKING.
- 26.0 GROUNDING AND BONDING  
PROVIDE AND INSTALL GROUNDING FOR ALL EQUIPMENT IN ACCORDANCE WITH NEC ARTICLE 250.
- 27.0 FINAL OBSERVATION  
UPON ACCEPTANCE OF OPERATION AND MAINTENANCE INSTRUCTIONS AND RECORD DRAWINGS, THIS ENGINEER SHALL MAKE A FINAL OBSERVATION OF THE PROJECT AND GENERATE A PUNCH-LIST OF ANY UNACCEPTABLE ITEMS. FINAL PROJECT ACCEPTANCE SHALL NOT BE CONSIDERED UNTIL ALL ITEMS ON THE PUNCH-LIST HAVE BEEN CORRECTED.
- 28.0 PRELIMINARY OPERATION  
IF THE OWNER DEMANDS THAT ANY PORTION OF THE ELECTRICAL SYSTEM BE OPERATED PRIOR TO FINAL COMPLETION AND ACCEPTANCE OF THE WORK, THE CONTRACTOR SHALL CONSENT, AND SUCH OPERATION SHALL BE PERFORMED UNDER SUPERVISION AND DIRECTION OF THE CONTRACTOR. ALL OPERATING EXPENSE THEREOF SHALL BE PAID BY THE OWNER. PRELIMINARY OPERATION AND PAYMENT THEREOF SHALL NOT BE CONSTRUED AS ACCEPTANCE OF WORK.
- 29.0 WARRANTY/GUARANTEE  
ELECTRICAL CONTRACTOR SHALL PROVIDE A GUARANTEE OF THE ELECTRICAL WORK TO BE FREE FROM DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE. LIGHTING LAMPS ARE EXEMPT FROM THIS REQUIREMENT, HOWEVER, LAMPS SHALL BE NEW AND IN PERFECT OPERATING CONDITION AT THE TIME OF FINAL ACCEPTANCE.

ELECTRICAL SYMBOLS AND NOMENCLATURE

SYMBOL	DESCRIPTION
⊕	DOUBLE-OUTLET 'DUPLEX' RECEPTACLE
⊕	THREE-PHASE (3Φ) RECEPTACLE (CONFIGURATION AS NOTED)
⊕	SPECIAL RECEPTACLE (VOLTAGE/CONFIGURATION AS NOTED)
⊕	JUNCTION BOX
⊕	SAFETY DISCONNECT SWITCH (SIZE/VOLTAGE/CONFIGURATION AS NOTED)
---	ABOVE GRADE CONDUITS AND WIRING AS NOTED
---	UNDERGROUND CONDUITS AND WIRING AS NOTED
Ⓢ	SHEET NOTE INDICATOR
Δ	REVISION 'DELTA' NOTE INDICATOR
'48'	48' MOUNTING HEIGHT AFF. (ACTUAL HEIGHT AS NOTED)
A.F.F.	ABOVE FINISHED FLOOR
A.F.G.	ABOVE FINISHED GRADE
A.T.S.	AUTOMATIC TRANSFER SWITCH
C	CONDUIT
CB	CIRCUIT BREAKER
(E)	EXISTING
F.B.O.	FURNISHED BY OTHERS
GFI	GROUND FAULT INTERRUPTING TYPE
LTG	LIGHTING
LV	LOW VOLTAGE
MCB	MAIN CIRCUIT BREAKER
'MSB'	MAIN SWITCH BOARD
(N)	NEW
TYP	TYPICAL
UG	UNDER GROUND
WP	WEATHER PROOF
TRANS	TRANSFORMER

Panel Schematics by Jensen Engineering Inc.

PANEL 'E1' 100 / 240 VOLT 3 PHASE 4 WIRE 100 AMPERE MAIN L.O. : 200 AMPERE BUS

LOCATION (E) AT DEPO WEST WALL MOUNTING SURFACE INTERRUPTING (E) A.I.C.

LINE #	LOAD			CIRCUIT BREAKER	LOAD DESCRIPTION	LOAD
	LINE A	LINE B	LINE C			
1				20		2
2				20		4
3				20		6
4					BLANK	8
5						10
6						12
7				15		14
8				20		16
9				20		18
10						20
11						22
12				20		24
13						26
14						28
15	200			20	(N) SIGNAL LIGHTING (1)	30
16						32
17					BLANK	34
18						36
19						38
20						40
21				20		42
22						
23						
24						
25				100		
26				100		
27						
28						
29						
30						
31				15		
32				15		
33						
34						
35						
36						
37				20		
38				20		
39				20		
40						
41						
42						

SUB TOTALS

LINE TOTALS

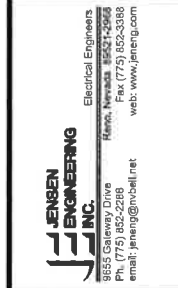
LINE AMPS TOTAL RYA LOAD

BUS MATERIAL: NEW: N EXISTING: Y

NOTES:

KEYED NOTES: (THIS SHEET ONLY)

- ① PROVIDE AND INSTALL NEW 20A / 1-POLE BREAKER IN EXISTING PANEL AT POSITION 15, AND CONNECT TO POWER NEW SIGN.



90% REVIEW SET



1/27/14

NEVADA STATE RAILROAD MUSEUM  
GATEWAY IMPROVEMENT PROJECT  
2180 SOUTH CARSON STREET  
FEDERAL PROJECT # TAP-0529(002) - PROJECT # 73802

REVISION

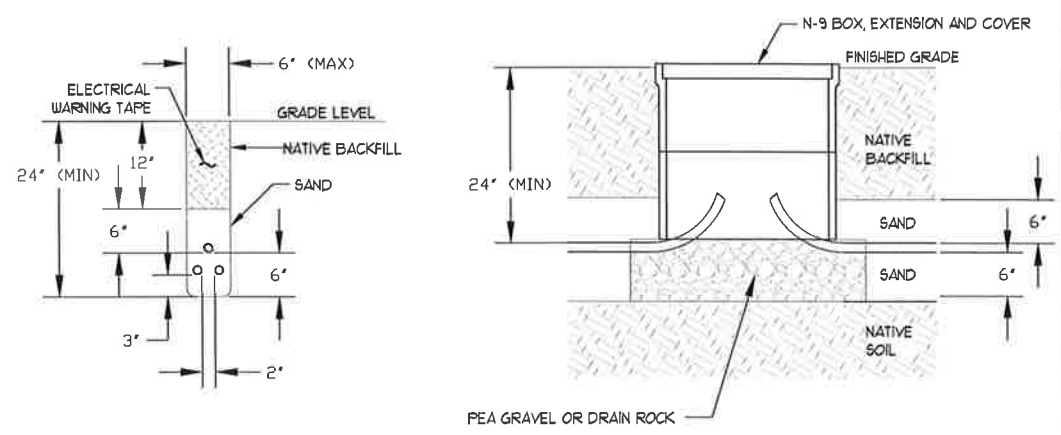
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DATE: 1-27-14  
SCALE: AS SHOWN  
DRAWN: SCB  
CHECKED: G.G.J.

DRAWING TITLE: SPECS & SCHEDULES  
SHEET: E1  
OF 1 SHEETS 2

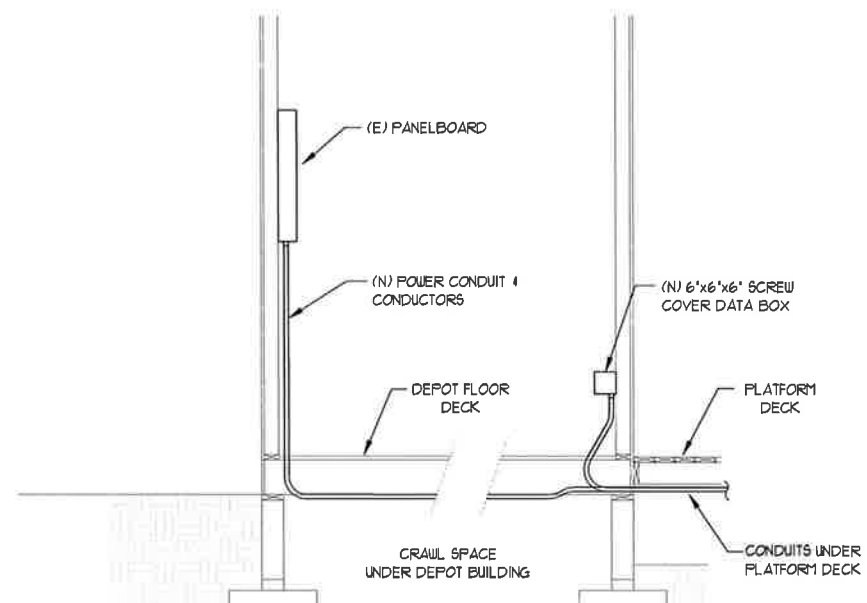


**NEVADA STATE RAILROAD MUSEUM**  
**GATEWAY IMPROVEMENT PROJECT**  
**2180 SOUTH CARSON STREET**  
 FEDERAL PROJECT # TAP-0529(002) - PROJECT # 73802

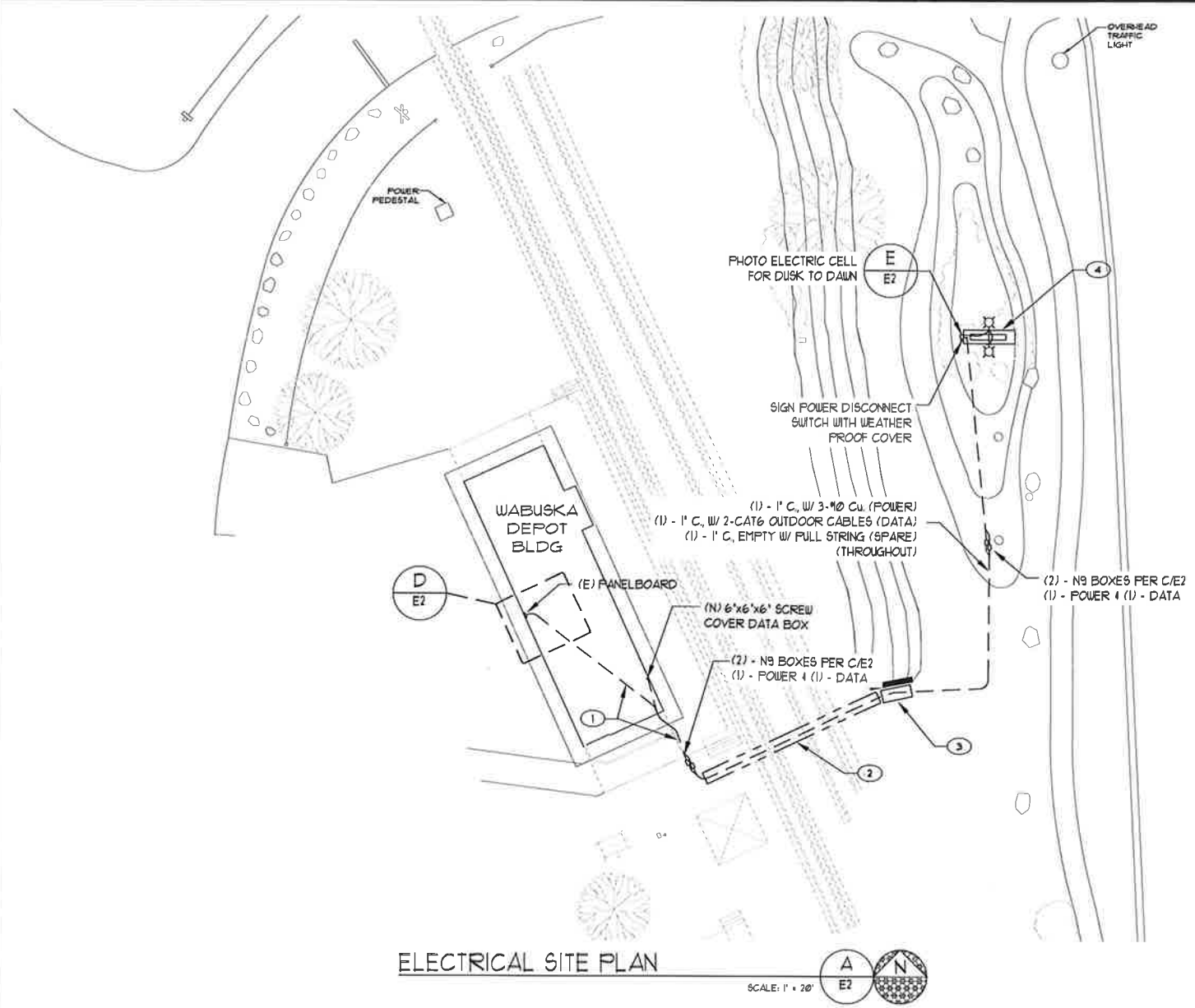


ELECTRICAL CONDUIT TRENCH SECTION DETAIL (B) SCALE: 1" = 1'

TYPICAL N-9 HANDHOLE SECTION DETAIL (C) SCALE: 1" = 1'



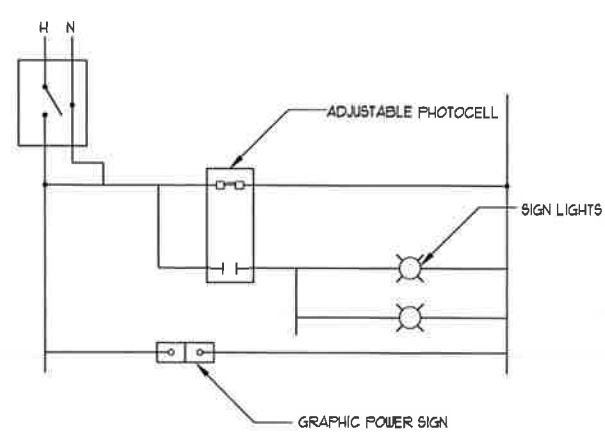
DEPOT BUILDING SECTION DETAIL (D) SCALE: 1/2" = 1'



ELECTRICAL SITE PLAN (A) SCALE: 1" = 20'

**KEYED NOTES: (THIS SHEET ONLY)**

- 1 RUN CONDUITS THROUGH CRAWL SPACE UNDER DEPOT BUILDING AND OUT UNDER THE PLATFORM DECK. TRANSITION CONDUITS TO UNDERGROUND UNDER THE PLATFORM DECK WITH OUT EXPOSING TO PUBLIC VIEW. REMOVE AND REINSTALL TREX DECK PLANKING AS NECESSARY TO INSTALL CONDUITS. SEE C/E2.
- 2 INSTALL CONDUITS UNDER RAILROAD TRACKS USING HORIZONTAL DIRECTIONAL DRILLING. BORING UNDER TRACKS SHALL BE A MINIMUM OF 5' BELOW FINISHED GRADE AND SHALL EXTEND A MINIMUM OF 15' ON EACH SIDE OF NEAREST TRACK RAIL.
- 3 PROVIDE CONCRETE ENCASUREMENT OF CONDUITS WHERE THE CONDUITS CROSS THE EXISTING CULVERT AND RISE TO LESS THAN 24' BELOW FINISHED GRADE.
- 4 EXISTING MUSEUM SIGN TO BE REMOVED AND REPLACED WITH NEW PROGRAMMABLE ELECTRIC SIGN. CONNECT NEW POWER AND DATA SYSTEMS TO NEW SIGN AND CONNECT COMPLETE PER SIGN MANUFACTURERS SHOP DRAWINGS. PROVIDE AND INSTALL 20A RATED SWITCH FOR POWER DISCONNECTING MEANS.
- 5 TRENCH FORM RAIL ROAD TRACKS TO SIGN SHALL BE ACCOMPLISHED USING A WALK-BEHIND SLOT TYPE TRENCHER TO MINIMIZE DAMAGE TO SURROUNDING LANDSCAPE.



**LIGHTING CONTROL SCHEMATIC NOTES:**

1. LIGHTING CONTACTOR(S) SHALL BE 30A, 600V, 4-POLE, NEMA ENCLOSED
2. PHOTOCELL SHALL BE INTERMATIC \*K4100/4200 OR EQUIVALENT.
3. LOCATE OUTSIDE LIGHTING CONTROLS (H.O.A, CLOCKS AND CONTACTORS) ADJACENT TO ELECTRICAL PANEL. LOCATE PHOTOCELL OUTSIDE FACING WEST.

LIGHTING CONTROL DIAGRAM (E) SCALE: NOT TO SCALE

REVISION	DATE
1	1-27-14

SCALE: AS SHOWN  
 DRAWN: SCB  
 CHECKED: GGJ