

**STAFF REPORT FOR PLANNING COMMISSION MEETING OF JANUARY 30, 2019**

**FILE NO:** VAR-18-179

**AGENDA ITEM:** 1.2

**STAFF CONTACT:** Kathe Green, Assistant Planner

**AGENDA TITLE:** For Possible Action: To consider a request for a Variance to establish setbacks for RV garages and maximum building heights for Silver Oak Phases 23A and B, located at the east end of Radcliff Drive, on property zoned Single Family 12,000-Planned Unit Development (SF12-P), APN 007-552-42.

**STAFF SUMMARY:** The applicant is seeking to amend the development standards, referred to as variances at time of approval, so as to establish a setback for RV garages, and maximum building heights.

**PROPOSED MOTION:** I move to approve VAR-18-179 based on findings and subject to conditions of approval contained in the staff report.

**VICINITY MAP:**



**RECOMMENDED CONDITIONS OF APPROVAL:**

1. The applicant must sign and return the Notice of Decision within 10 days of receipt of notification. If the Notice of Decision is not signed and returned within 10 days, the item may be rescheduled for the next Planning Commission meeting for further consideration.
2. The applicant shall meet all the conditions of approval (obtain a valid building permit) for which this permit is granted within twelve months of the date of approval. A single, one-year extension of time may be granted if requested in writing to the Planning Division thirty days prior to the one-year expiration date. Should this permit not be initiated within one year and no extension granted, the permit shall become null and void.
3. All development shall be substantially in accordance with the development plans approved with this application, except as otherwise modified by the conditions of approval herein.
4. All improvements shall conform to City standards and requirements.
5. The supplemental dimensional criteria approved is as follows:

Front setback: 12 feet

Rear setback: 10 feet along a golf course, not including covered patios and decks

15 feet if not along a golf course, not including covered patios and decks.

Side setback: 5 feet, not including covered patios and decks

Street side setback: 10 feet, not including covered patios and decks

Maximum building height: 28 feet utilizing the methodology of the building code

Minimum driveway length for front loading garages on rectangular lots from property line to garage door shall be 18 feet. Garage pop-outs may encroach into the 18 foot setback as long as the garage door averages 18 feet from property line.

On irregular shaped lots, minimum driveway length for front loading garages from property line to garage door must average 18 feet. Garage pop-outs may encroach into the 18 foot setback as long as the garage door averages 18 feet from the property line.

Side load garages do not have a minimum driveway length but must follow the 12 foot minimum from front property line to residential structure.

RV garage storage bays must be 12 feet from the property line. Homes with RV garages must have no less than two driveway parking stalls that are 18 feet in minimum length. RV garage storage bays are defined as a garage bay with a door height of 10 feet minimum and interior depth minimum of 25 feet.

Notwithstanding the above, development standards for lots adjacent to University Heights residential lots will have a 20 foot setback from the shared property line with the residential lot at University Heights, be limited to one story in height, and have a maximum building height of 22 feet.

6. The final map shall reference this variance in the notes, and clearly state the setbacks, building heights, and driveway requirements for the phase.

**LEGAL REQUIREMENTS:** CCMC 18.02.050 (Review) and 18.02.085 (Variances).

**MASTER PLAN DESIGNATION:** Medium Density Residential (MDR)

**ZONING DISTRICT:** Single Family 12,000-Planned Unit Development (SF12-P) in the proposed Silver Oak Planned Unit Development, Phases 23A and B.

**KEY ISSUES:** Can the proposed setbacks, modification of building height and driveway lengths be supported by the required findings?

**SURROUNDING ZONING AND LAND USE INFORMATION:**

NORTH: Single Family 12,000-Planned Unit Development (SF12-P)/Silver Oak Golf Course

SOUTH: Single Family 12,000-Planned Unit Development (SF12-P)/Silver Oak Golf Course

WEST: Single Family 12,000-Planned Unit Development (SF12-P)/Silver Oak Golf Course

EAST: Single Family 21,000-Planned Unit Development (SF21-P)/University Heights Planned Unit Development, residences

**ENVIRONMENTAL INFORMATION:**

FLOOD ZONE: X-shaded

SLOPE/DRAINAGE: The area is flat

EARTHQUAKE: Severe/ moderate

**SITE DEVELOPMENT INFORMATION:**

PARCEL: 35.3 acres

EXISTING LAND USE: Vacant. Tentative Map is approved, and a final map with 54 lots is pending. The developer states this area will be residential lots created as Silver Oak Phases 23A and B.

VARIANCE: Requested variances are shown below for Phases 23 A and B.

Front setback:

Existing regulation:	Lots under 12,000 square feet	12 feet
	Lots 12,000 – 17,000 square feet	15 feet

Proposed: 12 feet regardless of lot size

Rear setback:

Existing regulations:	Lots under 12,000 square feet	15 feet not including covered patios and decks
	Lots 12,000 – 17,000 square feet	20 feet not including covered patios and decks

Proposed: 10 feet along a golf course, not including covered patios and decks  
15 feet if not along a golf course, not including covered patios and decks.

Side setback:

Existing regulation:	Lots under 9000 square feet	5 feet not including covered patios and decks
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Lots 9000 - 12,000 square feet      8 feet not including covered patios and decks

Lots 12,000 – 17,000 square feet      10 feet not including covered patios and decks

Proposed:                      5 feet regardless of lot size not including covered patios and decks

Street Side setback:

Existing regulation:      Lots under 9000 square feet      10 feet not including covered patios and decks

Lots 9000 - 12,000 square feet      13 feet not including covered patios and decks

Lots 12,000 – 17,000 square feet      15 feet not including covered patios and decks

Proposed:                      10 feet regardless of lot size not including covered patios and decks

Maximum building height

Existing regulation      26 – 28 feet from finished grade to the ridgeline (non-periphery lots)

Proposed:                      28 feet measured from average finished floor to mid-point of the roof.

Driveways

Existing regulations:      none

Proposed:                      Minimum driveway length for front loading garages on rectangular lots from property line to garage door shall be 18 feet. Garage pop-outs may encroach into the 18 foot setback as long as the garage door averages 18 feet from back of curb.

On irregular shaped lots, minimum driveway length for front loading garages from property line to garage door must average 18 feet. Garage pop-outs may encroach into the 18 foot setback as long as the garage door averages 18 feet from the back of curb.

Side load garages do not have a minimum driveway length but must follow the 12 foot minimum from front property line to residential structure.

RV garage storage bays must be 12 feet from the property line. Homes with RV garages must have no less than two driveway parking stalls that are 18 feet in minimum length. RV garage storage bays are defined as a garage bay with a door height of 10 feet minimum and interior depth minimum of 25 feet.

All development standards for lots adjacent to residential lots at University Heights will be per the existing regulations, specifically 20 feet from the property line shared with University Heights residential lot, limited to a single story, and limited to a maximum height of 22 feet.

Note the applicant included in his request language regarding setbacks for irregularly shaped lots. The proposed language is the same as the language approved under Ordinance 1995-5. Therefore, it does not constitute a change.

**SITE HISTORY:** The Silver Oak Planned Unit Development (PUD) Tentative Map was approved by the Board of Supervisors on September 16, 1993, and covered 683 acres of land. The development was approved with 308 acres of open space, 79 acres of commercial area, 13.6 acres for a school/park site, 225 acres for single family and cluster development, for a total of 1,181 lots, and 60 acres of roadways. In January of 1998 the Silver Oak PUD was amended to include 24 additional dwelling units, providing for a total of 1,205 dwelling units, rather than the originally approved 1,181 dwelling units.

In January of 1994 the Carson City Board of Supervisors approved an ordinance including a development agreement with Silver Oak Development which set out the conditions and terms of the approval relating to the approved Silver Oak PUD. On June 16, 1994 an addendum was approved by the Board of Supervisors and recorded July 1, 1994. On January 2, 1995 the Board approved a second addendum to the development agreement between Carson City and Silver Oak Development Company Limited Partnership to modify certain previously approved setback variances and other related matters. In 1997 there was a revised development agreement proposed by Silver Oak, but that agreement was not completed or recorded.

Over the years there were several changes to the Silver Oak PUD, resulting in the reduction of the number of lots proposed for the development. As an example, it is noted Carson Tahoe Hospital purchased a section of the Silver Oak Development area for completion of the Carson Tahoe Hospital Campus.

City staff and the applicant met in August 2005 to discuss the options regarding the setback inconsistencies in the Silver Oak Development. It was decided at that time that a Variance application would allow City staff and the Silver Oak Development to develop a plan for consistent implementation and review of setbacks to be utilized on parcels which would be developed in future development phases of parcels recorded under Silver Oak Phases listed as 16, 17 and 18 under VAR-05-195. Eventually, Phase 20 was also allowed to vary from the original setback requirements under VAR-14-016. When Phase 21 was recorded, as FPUD-16-012 the developer was allowed to use a variation of the required setbacks in conjunction with the recording of the map. Setbacks in Phase 22 were modified under VAR-17-195. Staff has supported consistency in setbacks for the individual phases within this development.

**DISCUSSION:**

A variance is a zoning procedure that grants a property owner relief from certain provisions of a zoning ordinance when, because of the particular circumstances applicable to the property, compliance would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, self-imposed hardship or a desire to realize monetary gain and/or excessive profit.

VAR-05-195, VAR-016, TPUD-16-012 and VAR-171-95 were previously approved to allow development of several phases of lots in the Silver Oak Development area with modifications to

the required setbacks. The properties involved were entirely contained within specific geographical areas, providing a consistent appearance of the lots with the phases under review when they were developed. The tables showing the setbacks approved for these phases are shown below:

VAR-05-195 (Phases 16, 17, 18):

Type	Height to Ridgeline	Front
12,000 square feet and under	36 feet	12 feet to residential structure from property line; Minimum driveway length on rectangular lots from back of curb to garage door shall be 18 feet; On irregular shaped lots, minimum driveway length must average 18 feet
12,001 square feet to 17,000 square feet	36 feet	15 feet to residential structure from property line; Minimum driveway length on rectangular lots from back of curb to garage door shall be 22 feet; On irregular shaped lots, minimum driveway length must average 22 feet
17,001 square feet to 45,000 square feet	36 feet	20 feet to residential structure from property line; Minimum driveway length on rectangular lots from back of curb to garage door shall be 25 feet; On irregular shaped lots, minimum driveway length must average 25 feet

Type	Height to Ridgeline	Rear
12,000 square feet and under	36 feet	Not including covered patios and decks, 15 feet minimum Lots whose rear yards are adjacent to the golf course, the full length of the rear property line shall be a minimum of 10 feet
12,001 square feet to 31,000 square feet	36 feet	Not including covered patios and decks 20 feet minimum Lots whose rear yards are adjacent to the golf course, the full length of the rear property line shall be a minimum of 10 feet
+31,000 square feet	36 feet	Not including covered and uncovered patios and decks, 30 feet minimum

VAR-14-016 (Phase 20):

Type	Height to Ridgeline	Front
12,000 square feet and under	36 feet	12 feet to residential structure from property line; Minimum driveway length on rectangular lots from back of curb to garage door shall be 18 feet; On irregular shaped lots, minimum driveway length must average 18 feet

Type	Height to Ridgeline	Rear
12,000 square feet and under	36 feet	Lots whose rear yards are adjacent to the golf course, the full length of the rear property line shall be a minimum of 10 feet

Type	Height to Ridgeline	Side	Street Side
10,101 square feet and under	36 feet	Not including covered or uncovered patios and decks, 5 feet minimum	5 feet minimum

FPUD-16-012 (Phase 21):

Type	Front	Side	Street Side	Rear	Height
Minimum Setback 5,000-11,000sf lots	20 feet	5 feet	10 feet (lots 1 & 31 use 15 feet)	10 feet	28 feet ridgeline (adjacent to existing residential on east limited to single story)

VAR-17-195 (Phase 22):

Height to Ridgeline	Front	Side	Rear
36 feet	12 feet to residential structure from property line; Minimum driveway length on rectangular lots from back of curb to garage door shall be 18 feet; On irregular shaped lots, minimum driveway length must average 18 feet Garage pop outs may encroach. Must provide adequate space to park an 18 foot long vehicle without impeding or blocking the offset sidewalk. Side loading garages must provide adequate space to park an 18 foot long vehicle without impeding or blocking the sidewalk, and meet a minimum 12 feet to the residence from the property line.	5 feet	15 feet 10 feet when full length is adjacent to the golf course

The request submitted with this application is for all lots in Silver Oak Phases 23A and B to have the same setbacks. It is noted that the lots will vary in size. Setbacks in the Single Family 12,000 square foot zoning district ordinarily have larger setbacks than those required in the Single Family 6,000 zoning district, but the proposal with this variance is to have the entire phase meet the same setbacks, regardless of lot size.

Proposed VAR-18-179 (Phase 23 A and B):

Height to Ridgeline	Front	Side	Rear
28 feet from average finished floor to mid-point of the roof; limited to single story when adjacent to University Heights PUD on the west	12 feet to residential structure from property line; Minimum driveway length on rectangular lots from back of curb to garage door shall be 18 feet; On irregular shaped lots, minimum driveway length must average 18 feet; Garage pop outs may encroach. Must provide adequate space to park an 18 foot long vehicle without impeding or blocking the offset sidewalk; Side loading garages must provide adequate space to park an 18 foot long vehicle without impeding or blocking the sidewalk, and meet a minimum 12 feet to the residence from the property line; Recreational Vehicle garage bays minimum 12 feet from back of curb, with a minimum of two other parking areas (driveways) on-site.	5 feet	15 feet 10 feet when full length is adjacent to the golf course

The driveway lengths are proposed in Phases 23 A and B at 18 feet for front loading garages on rectangular lots from property line to garage door. This driveway length is consistent with other phases in the Silver Oak Planned Unit Development. Modification of the length of the driveways is also proposed to allow averaging of the driveway length on irregularly shaped lots, as has also been approved in previous phases, with pop-outs that may encroach up to one foot into the 18 feet setback as long as the garage door averages 18 feet. The applicant is seeking to utilize back of curb for this measurement, and the staff recommends measurement from the property line to protect sidewalks. It is also proposed that side loading garages do not have a minimum

driveway length requirement, but must maintain a minimum 12 feet to the residence from the property line.

An additional request submitted with this phase is to allow an additional recreational vehicle storage garage bay, identified as a garage bay with a door height of a minimum 10 feet and interior depth of a minimum of 25 feet, to be located with a driveway a minimum of 12 feet from the property line. Homes with recreational vehicle garages must also have no less than two other on-site parking areas on a driveway that meet these requirements: a minimum of 18 feet in length, may have garage pop-outs of no more than one foot, may be averaged at 18 feet from the property line, or with adequate length and configuration of the driveway for parking of two 18 foot long vehicles outside the garage on the driveway without impeding the offset sidewalk area.

The maximum height requested for this phase is the similar to the original Silver Oak limitation of 28 feet, but suggests measuring from average finished floor. Staff supports the 28 foot height limit, but suggests utilizing the methodology of the building code which measure from average grade to mid-point of a roof as opposed to from average finished floor. Previous phases in Silver Oak have been allowed a height of 28 measured to the mid-point of the roof, with the exception of a restriction to 22 feet if the proposed residence in Silver Oak was adjacent to a non-Silver Oak residence in a neighboring subdivision. Height at 36 feet to the ridgeline was approved by the Planning Commission under VAR-05-195 and VAR-14-016 for Phases 16, 17, 18, and 20. Phases 19 and 21 were limited to a 28 foot height to the mid-point of the ridge. The standard height limitation under Title 18.04.190 for the Single Family 6,000, Single Family 12,000 zoning districts is 26 feet to the mid-point of the ridge.

Phases 23A and B will be part of the Silver Oak Planned Unit Development. Setbacks have recently been reviewed and established with the development of each phase. It is noted setbacks may have been based on the parcel size under previous variance requests in the past, but the request from the applicant at this time is to have the entire phase meet these requested setbacks rather than have setbacks attached to the size of the individual parcels. All houses in the phase would be constructed to meet these guidelines. It is noted the size of the lots in these phases range from 7,052 square feet to 17,349 square feet, with most of the larger parcels being adjacent to the existing development of University Heights Planned Unit Development located to the west of the proposal. Nine of the 59 lots proposed for these phases are lots which exceed 12,000 feet and of these, only three are proposed in locations other than adjacent to University Heights.

It is noted the following variations and modifications are currently approved per the Silver Oak Development and will continue to be in effect whether or not the requested variance is approved:

*For any irregular shaped lot (which is defined as a lot in which lot corners are not 90 degree angles), on the end of a cul-de-sac and "bulbs" a builder may utilize an average in calculating the rear and side yard setbacks provided the rear yard shall not be less than 10 feet under the averaging method and side yard shall be no less than 5 feet under the averaging method. The stamp, signature and date of the Silver Oak Architectural Review Board shall be conclusive evidence that builder has satisfied the setback requirement set forth herein. All construction must be a minimum of three feet from the property lines.*



*Patio areas and decks inclusive of covers and window awnings are allowable within rear, side and front yard setbacks, subject to Silver Oak Architectural Review Committee approval, and require stamp, signature and date. Construction is required to be a minimum of three feet from the property line.*

**PUBLIC COMMENTS:** Public notices were mailed on January 11, 2019 to 123 adjacent property owners within 600 feet of the subject site pursuant to the provisions of NRS and CCMC. Staff has received a number of inquiries related to the application, but has not received any written communication. Any comments that are received after this report is complete will be submitted prior to or at the Planning Commission meeting, depending on their submittal date to the Planning Division.

**OTHER CITY DEPARTMENT OR OUTSIDE AGENCY COMMENTS:** The following comments were received from various city departments. Recommendations have been incorporated into the recommended conditions of approval, where applicable.

**Engineering Division comments:**

Development Engineering has no objection to the variance request provided that the following conditions are met:

- Section 1.a.i.5) must be reworded to change the setback measurement to be from the lot line instead of from the back of curb.

**DISCUSSION:**

Development Engineering has reviewed the request within our areas of purview relative to adopted standards and practices and to the provisions of CCMC 18.02.085, Variances:

**CCMC 18.02.085 (2a) - Adequate Plans**

The information submitted by the applicant is adequate for this analysis.

**CCMC 18.02.085 (5a) – Site Constraints**

The proposed setbacks, with the change above, will allow for safe construction if development standards are met.

**CCMC 18.02.085 (5b) – Preservation and Enjoyment of Property Rights**

Development Engineering has no comment on this finding.

**CCMC 18.02.085 (5c) - Adverse Affects to the Public**

The proposed change to setbacks will have no adverse effect to pedestrian and traffic safety as long as the above condition of approval is met and development

**FINDINGS:** Staff recommends approval of the Variance based the findings below, pursuant to CCMC 18.02.085 (Variances), subject to the recommended conditions of approval, and further substantiated by the applicant's written justification.

- 1. That because of special circumstances applicable to the subject property, including shape, size, topography, and location of surroundings, strict application of the zoning ordinance would deprive the subject property of privileges enjoyed by other properties in the vicinity or under identical zone classifications.**

The applicant is requesting a modification of the setbacks which were approved in the original Silver Oak Development Agreements, consistent with the modifications also approved under VAR-05-195, VAR-14-016, FPUD-16-012 and VAR 17-195 for Phases 16, 17, 18, 20, 21 and 22 of the Silver Oak Development, as shown in the tables included above. Other properties in the vicinity are also owned or are deed restricted under Covenant, Conditions and Restrictions provided by Silver Oak Development. Proposed sales of lots for construction of homes in this phase would have the same general appearance and therefore meet the same size, style and general design of homes in similar phases by the same developer.

The setbacks proposed in this variance request would be the same for the all of Phases 23A and B. The driveway lengths would be the same as those approved under the Silver Oak Development Agreement for regular vehicles. It is required that parking of two vehicles per site be provided on driveways meeting the guidelines, with a request under this variance for approval of a third driveway parking area with a minimum length of 12 feet to accommodate a recreational vehicle storage bay on the same parcel.

The height of the houses requested with this Variance would be 28 feet, similar to heights approved in other phases of Silver Oak, while limiting the height to reflect the original Development Agreement, when adjacent to residential lots in University Heights. It is requested that the configuration of the lots in these phases would utilize the same setback requirements regardless of parcel size.

- 2. That the granting of the application is necessary for the preservation and enjoyment of substantial property rights of the applicant.**

An alternative to approval of the Variance process would be amending the Silver Oak Planned Unit Development. However, in 2005, staff and the developer agreed to utilize the Variance process to address modifications in setbacks and building height. The granting of the Variance can be supported, as this request is to continue the setback limitations as previously approved for several phases of the development. The continuation and desirability of these setbacks on these lots can be supported by the sales and development of those lots for single family construction in other phases under the terms of other variances approved for this development. There is an added request with this variance to allow parking on a third driveway area with a shorter length of 12 feet in conjunction with a recreational vehicle bay on the site. The applicant states garaging a recreational vehicle would improve the desirability of the parcels, and placing recreational vehicles inside a shelter rather than having it in open storage on the site would improve the appearance of the sites. These shorter driveway lengths would only be approved only in conjunction with the approval of two other driveway parking spaces on site, as well as a garage bay with a door height of a minimum of 10 feet and interior depth length of a minimum of 25 feet.

- 3. That the granting of the application will not, under the circumstances of the particular case, adversely affect to a material degree the health or safety of persons residing or working in the neighborhood of the subject property and will**

**be materially detrimental to the public welfare or materially injurious to property or improvements in the neighborhood of the subject property.**

Silver Oak Phases 23A and B have not been finalized and the phases have yet not been recorded. Therefore, no homes are presently on the parcels under review. Potential buyers of parcels created under these phases would be informed as to the required setbacks and limitations in this development, as well as having an opportunity to view the other parcels which were developed under the conditions included in other approved Variances for the development of parcels in Silver Oak. Potential owners would be informed of the appearance and restrictions of proposed homes in this phase prior to purchase. Development of these sites would be with the full knowledge of required setbacks prior to investment. The appearance and setbacks of the homes in this phase would be similar to those approved under Phases 16, 17, 18, 20, 21 and 22 of the Silver Oak Development.

Attachments:

Application (VAR-18-179)

**To:** Carson City Planning and Staff  
**From:** Silver Oak Development LP  
**Date:** Proposed setback language for Silver Oak Phase 23 to vary from PUD original approvals

Ladies and Gentlemen:

Silver Oak is requesting a setback variance for Phase 23A and 23B. This request closely mirrors previous similar requests (that were granted) for prior phases of Silver Oak, most recently Phase 22 Siena at Silver Oak. In this request we are asking to allow RV garage bay driveways to be a minimum length of 12' from front property line. This request is to encourage and incentivize the construction and use of RV garages for the storage of RV's in this phase of Silver Oak to improve neighborhood aesthetics. It is our belief that the appearance of the neighborhood will be improved by storing RV's indoors in a garage rather than outside on the lots, especially on smaller golf course lots. There is also language contained herein that is designed to be protective of our neighbors to the west in University Heights Subdivision. We have been in contact with these neighbors regarding this matter.

**1. SILVER OAK PHASE 23, Red Leaf at Silver Oak.**

(1) Front, Rear, and Side Yard Setbacks

(a) Front yard

(i) All lots

1. 12 feet to residential structure from the property line.
2. Minimum driveway length for front loading garages on rectangular lots from back of curb to garage door shall be 18 feet. Garage pop-outs may encroach into the 18' setback as long as the garage door averages 18' from the back of curb.
3. On irregular shaped lots, minimum driveway length for front loading garages from back of curb to the garage door must average 18 feet. Garage pop-outs may encroach into the 18' setback as long as the garage door averages 18' from the back of curb.
4. Side load garages do not have a minimum driveway length but must follow the 12 foot minimum from front property line to residential structure.
5. RV Garage storage bays 12 foot minimum from back of curb. Homes with RV garages must have no less than two driveway parking stalls that are 18 feet in minimum length. RV garage storage bays are defined as a garage bay with a door height of 10' minimum and interior depth minimum of 25'

(b) Rear Yard

(i) All lots

1. not including covered patios and decks 15 feet minimum
2. lots whose rear yards adjoin the golf course the full length of the rear property line 10 foot minimum.

(c) Side yard

(i) All lots

1. Not including covered or uncovered patios and decks a 5 foot minimum.

(2) Irregular Lots

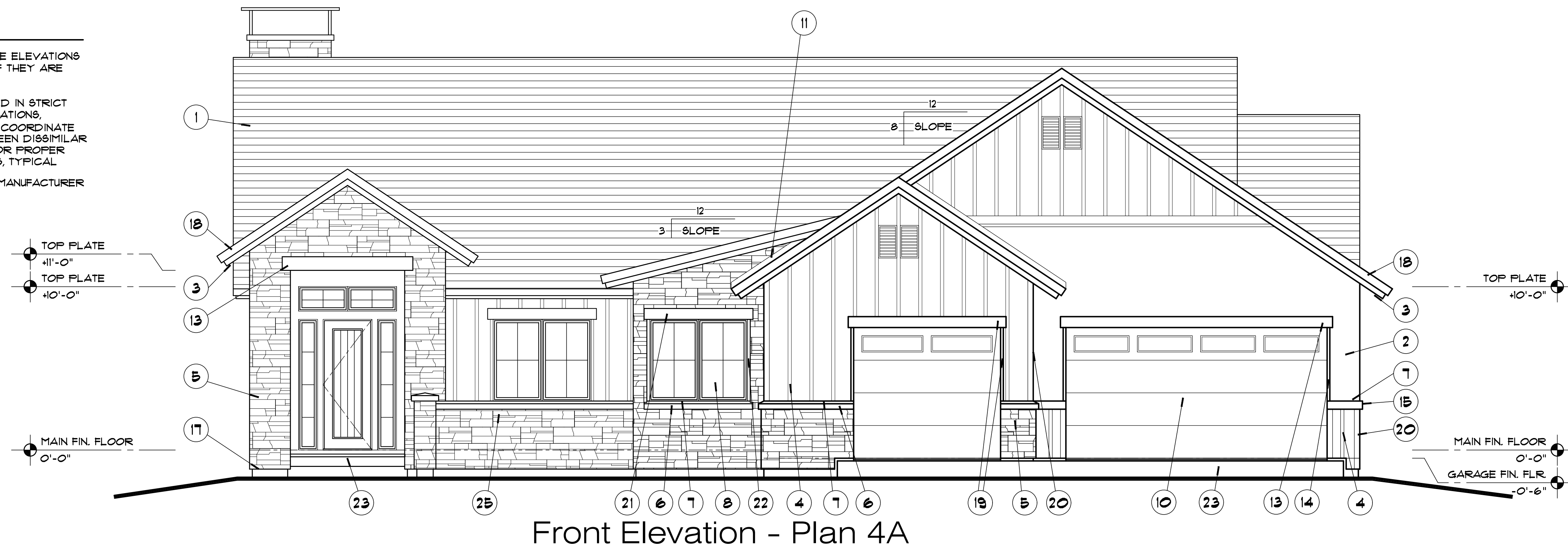
- (a) All Silver Oak lots in the “remaining residential area” (non-cluster area) shall be considered either “rectangular” or “irregular”. For any irregular shaped lot, defined as a lot that is not a rectangle (four 90 degree angle corners), on a cul de sac and “bulb lots” a builder may use an average in calculating set backs provided that the rear yard shall at no point be less than 10 feet from the structure using the averaging method and the side yard shall at no point be less than 5 feet from the structure using the averaging method. The stamp of the Silver Oak Architectural Review Committee shall be conclusive evidence that the builder has satisfied the set back requirement set forth herein.

(3) Height of structures

- (a) Maximum roof height from average finished grade to ridge line is 36 feet. Lots sharing a property line with University Heights Subdivision residential lots (not open space) will have a maximum roof height from average finished grade to middle roofline of 24 feet. Two story homes will not be permitted on lots sharing a property line with University Heights residential lots.

Elevation Notes:

1. ALL MATERIALS AND FINISHES INDICATED ON THESE ELEVATIONS ARE TYPICAL TO ALL ELEVATIONS REGARDLESS IF THEY ARE NOTED AS SUCH OR NOT
2. ALL EXTERIOR FINISH MATERIAL MUST BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION GUIDELINES, TYPICAL. COORDINATE ALL TRANSITIONS AND DETAILING REQUIRED BETWEEN DISSIMILAR MATERIALS WITH THE RELATED MANUFACTURERS FOR PROPER WEATHERSEALING, TRANSITIONS AND TERMINATIONS, TYPICAL
3. CONFIRM ALL FLATE AND HEEL HEIGHTS w/ TRUSS MANUFACTURER CALCULATIONS, TYPICAL

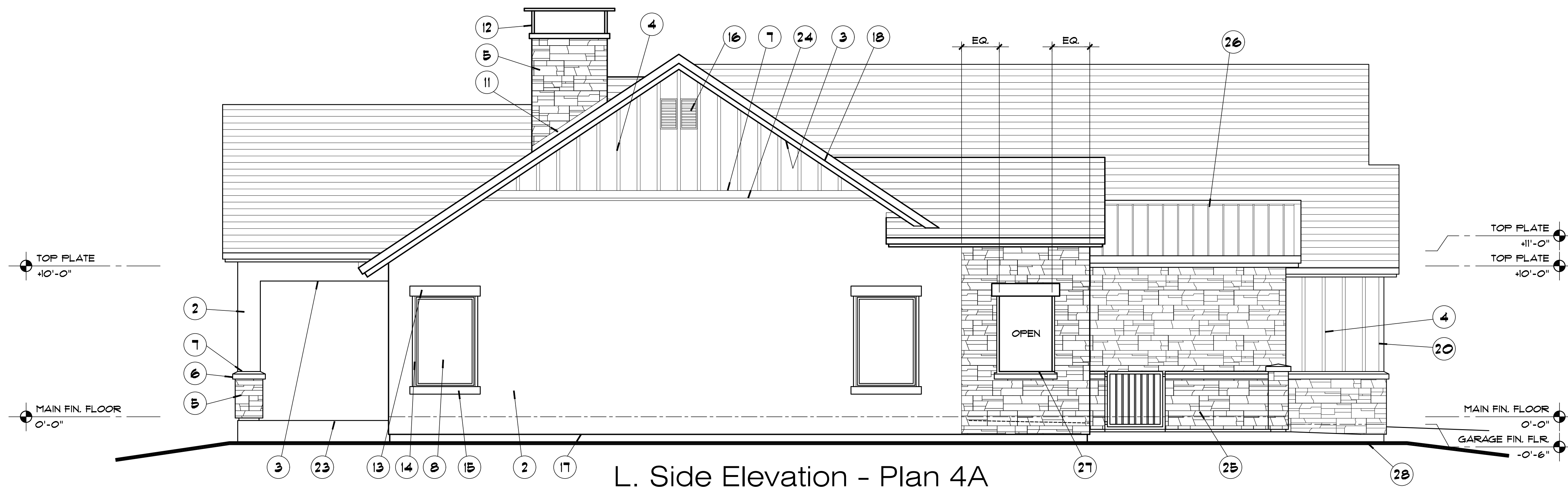


Front Elevation - Plan 4A

1/4"=1'-0"

Elevation Legend

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|--|---|--|---|
| <p>1 COMPOSITION ASPHALT ROOFING OVER 30# FELT UNDERLAYMENT PROVIDE GRACE ICE AND WATER SHIELD LOCATIONS SPECIFIED IN ARCHITECTURAL SPECIFICATIONS SHEET A.O. INSTALL IN COMPLIANCE WITH IBC CODE SECTION 505 FOR FIRESTOPPING AT ROOF EDGE. INSTALL/FASTEN ROOFING PER MANUFACTURER SEVERE WEATHER INSTRUCTIONS AND 130 MPH WIND ATTACHMENT INSTRUCTIONS PER 2012 IRC SECTION 301.2(1). CERTAINTED 40 YEAR OR EQUAL</p> <p>2 2 COAT STUCCO FINISH OVER PAPER BACKED METAL LATH, OMEGA OR EQUAL. INSTALL PER MANUFACTURER OVER TYVEK STUCCOWRAP AND PAPER BACKED METAL LATH. GLACIER FINISH</p> <p>3 2 COAT STUCCO FINISH OVER SELF FURRING METAL LATH AT TYP. AT ALL SOFFITS, U.N.O. INSTALL PER MANUFACTURER</p> <p>4 JAMES HARDIE, HARDIEPANEL OR EQUAL CONT. VERTICAL SIDING w/ 3/4" x 2.5" VERTICAL BATTENS AT 16" O.C. INSTALL PER MANUF. OVER TYVEK HOUSEWRAP</p> <p>5 STONE VENEER. ELDORADO STONE OR EQUAL. INSTALL PER MANUF</p> <p>6 HIGH DENSITY FOAM SILL w/ 4" FACE AND 6/12 MIN. TOP SLOPE, PROTRUDE MIN. 2" BEYOND FACE OF STONE VENEER. STUCCO FINISH PER ITEM 2</p> <p>7 CONT. 24 GA. PRE-FINISHED SHEET METAL FLASHING. 4" BELOW STUCCO/SIDING AND LAP o/ TOP EDGE OF SILL/GABLE TRIM DETAIL w/ 1-1/2" DRIP EDGE, TYPICAL AT STONE LOCATIONS. AT WINDOW LOCATIONS EXTEND FLASHING BELOW WINDOW FRAME AS RECOMMENDED BY MANUFACTURER</p> | <p>8 COMPOSITE FRAME INSULATED GLASS WINDOW UNITS, MILGARD ESSENCE OR EQUAL, INSTALL PER MANUFACTURER</p> <p>9 COMPOSITE FRAME INSULATED GLASS DOOR UNITS, MILGARD ESSENCE OR EQUAL, INSTALL PER MANUFACTURER</p> <p>10 SECTIONAL GARAGE DOOR PER PLAN. INSULATED STEEL WITH EMBOSSED WOOD GRAIN. CLOFAY OR EQUAL PRE-FINISHED</p> <p>11 SHEET METAL (24 GA. MIN.) FLASHING AND COUNTER-FLASHING AT ALL ROOF TRANSITIONS AND WALL TO ROOF TRANSITIONS. 8" MIN. BELOW SIDING MATERIAL AND 8" MIN. LAP ONTO ROOF. PAINT TO MATCH ROOFING</p> <p>12 PREFAB METAL CHIMNEY CAP WITH APPROVED SPARK ARRESTOR AT CHIMNEY PIPE INSTALL PER MANUFACTURER. PROVIDE 24 GA. SHEET METAL FLASHING AND DRIP EDGE AT TOP OF FRAMING w/ FLASHING AND COUNTERFLASHING AT ROOF TRANSITIONS, TYPICAL</p> <p>13 2" x 8" HIGH DENSITY FOAM HEAD TRIM w/ 6/12 SLOPE AT TOP EDGE FOR DRAINAGE. PROVIDE STUCCO PER ITEM 2 (2" x 10" AT ENTRY)</p> <p>14 2" x 2" HIGH DENSITY FOAM JAMB TRIM. PROVIDE STUCCO FINISH PER ITEM 2</p> <p>15 2" x 6" HIGH DENSITY FOAM SILL TRIM w/ 6/12 SLOPE AT TOP EDGE FOR DRAINAGE. PROVIDE STUCCO PER ITEM 2</p> | <p>16 24 GA SHEET METAL (12" x 24") GABLE END SCREENED ATTIC VENT DETAIL. INSTALL PER MANUFACTURER</p> <p>17 24 GA. MINIMUM GALV. SHEET METAL WEEP SCREED. INSTALL PER MANUFACTURER AND CURRENT IRC. PAINT TO MATCH STUCCO/STONE</p> <p>18 JAMES HARDIE, 5/4" x 3.25" FASCIA BOARD w/ 5/4" x 5.5" SHINGLE MOLD, HARDIETRIM OR EQUAL. PROVIDE 24 GA. SHEET METAL FLASHING w/ 1 1/2" DEEP DRIP EDGE</p> <p>19 JAMES HARDIE, HARDIETRIM RUSTIC OR EQUAL, 5/4" x 7.25" HEAD TRIM, 5/4" x 2.0" JAMB TRIM AND 5/4" x 5.5" SILL TRIM. INSTALL PER MANUF</p> <p>20 JAMES HARDIE, HARDIETRIM RUSTIC OR EQUAL CORNER TRIM 5/4 x 3.5". INSTALL PER MANUFACTURER</p> <p>21 4" x 8" HIGH DENSITY FOAM HEAD TRIM w/ 6/12 SLOPE AT TOP EDGE FOR DRAINAGE. PROTRUDE 1" MIN. BEYOND FACE OF STONE VENEER. PROVIDE STUCCO PER ITEM 2</p> <p>22 2" REVEAL AT WINDOW/DOOR JAMB AT STONE VENEER LOCATIONS. PROVIDE STUCCO PER ITEM 2 AT REVEAL</p> <p>23 PAVER DRIVEWAY, COURTYARD, PATIOS AND WALKS. INSTALL PER MANUF. -SEE PLAN FOR CONFIGURATIONS</p> | <p>24 2" x 6" HIGH DENSITY FOAM GABLE TRIM DETAIL w/ 6/12 SLOPE AT TOP EDGE FOR DRAINAGE OVER 4" x 2" HIGH DENSITY FOAM SUB TRIM w/ 6/12 SLOPE AT TOP EDGE FOR DRAINAGE. PROVIDE STUCCO PER ITEM 2</p> <p>25 SCREEN WALL: 8" CMU WALL TO MIN. +36" w/ COLUMNS AT +42" ABOVE PATIO w/ STONE VENEER FINISH PER ITEM 5 AND SLOPED CAP PER ITEM 6. STONE VENEER AT EXTERIOR FACES ONLY. INTERIOR STUCCO PER ITEM 2</p> <p>26 PRE-FINISHED SHEET METAL ROOFING o/ GRACE ULTRA, INSTALL MEMBRANE AS RECOMMENDED FOR METAL ROOFING INSTALLATION PER MANUFACTURER. INSTALL ROOFING, CAPS, RIMS, FLASHING, ETC. PER ROOFING MANUFACTURER STANDARD DETAILS AND SPECS. PROVIDE GRACE ULTRA PER ARCHITECTURAL SPECIFICATIONS -SHEET A.O. METAL ROOFING: 16" WIDE x x 1-1/2" HIGH RIBS, 24 GA. MINI-BATTEN, MSM SHEET METAL OR EQUAL. INSTALL IN COMPLIANCE w/ IBC CODE SECTION 505 FOR FIRESTOPPING AT ROOF EDGE. INSTALL/FASTEN ROOFING PER MANUFACTURER SEVERE WEATHER INSTRUCTIONS AND 130 MPH WIND ATTACHMENT INSTRUCTIONS PER 2012 IRC SECTION 301.2</p> <p>27 STUCCO FINISH AT SOFFIT, RETURNS AND PLATFORM AT OPENING. SLOPE PLATFORM TO EXTERIOR FOR DRAINAGE, MIN 6/12</p> <p>28 PROPOSED FINISH GRADE. REFER TO SITE PLAN</p> |
|--|---|--|---|



L. Side Elevation - Plan 4A

1/4"=1'-0"

revisions

Silver Oak - Phase 23

A Semi-Custom Development  
Carson City, Nevada

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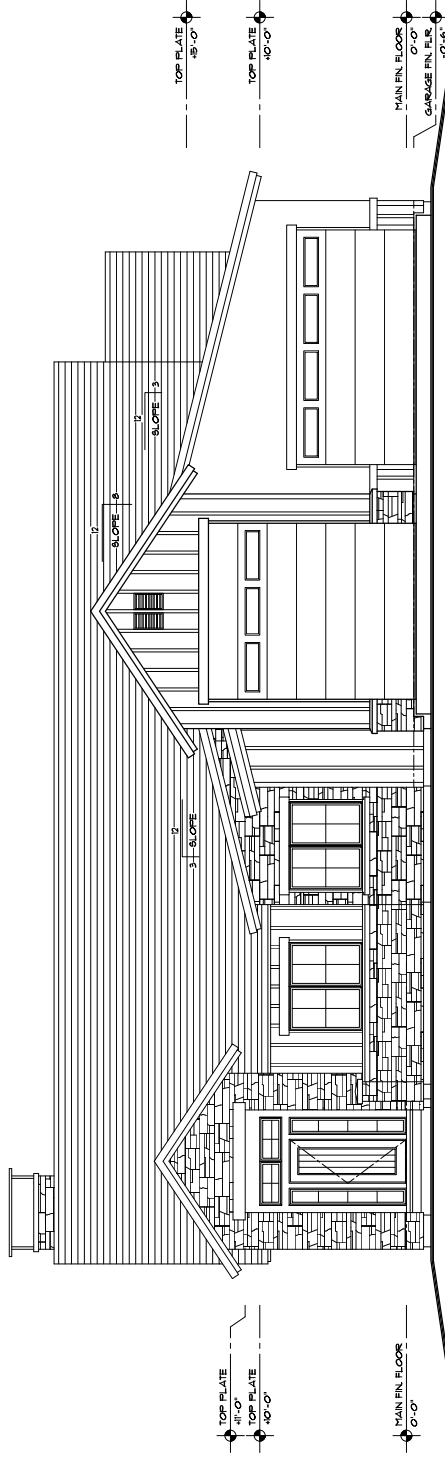
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Plan 4

date October 9, 2018  
job no. 964

A4.3a

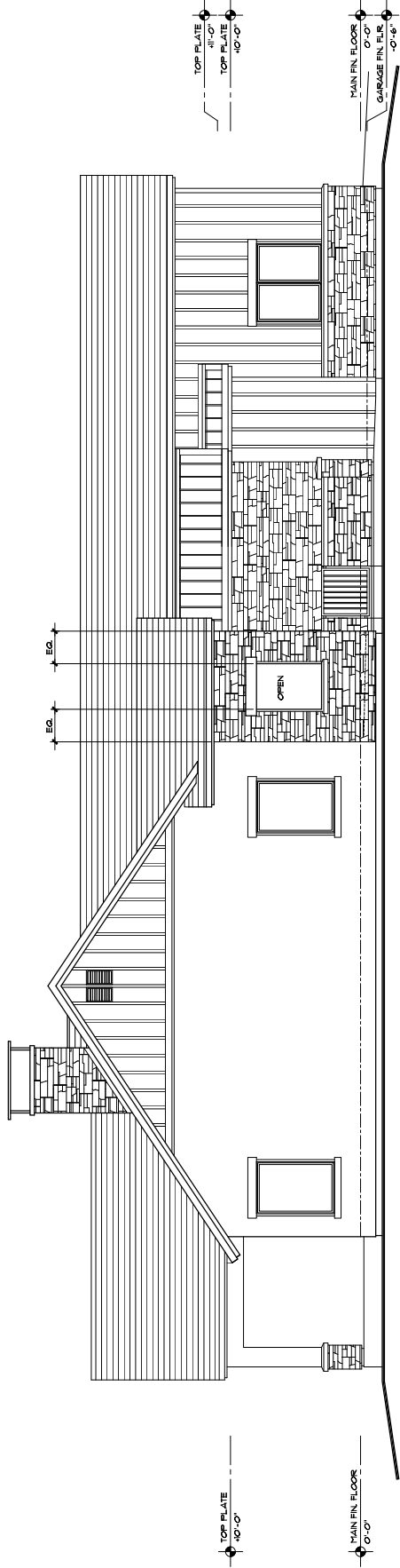


Front Elevation - Plan 4A - Option

1/4"=1'-0"

Elevation Notes:

- 1. REFER TO SHEET A4.3B FOR TYPICAL MATERIAL CALL OUTS AND ELEVATION LEGEND



L. Side Elevation - Plan 4A - Option

1/4"=1'-0"

revisions

Silver Oak - Phase 23

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Plan 4

Date: October 8, 2018  
Job No. 084

A4.3C