STAFF REPORT FOR PLANNING COMMISSION MEETING OF APRIL 29, 2020

FILE NO: LU-2020-0009 **AGENDA ITEM:** E.1

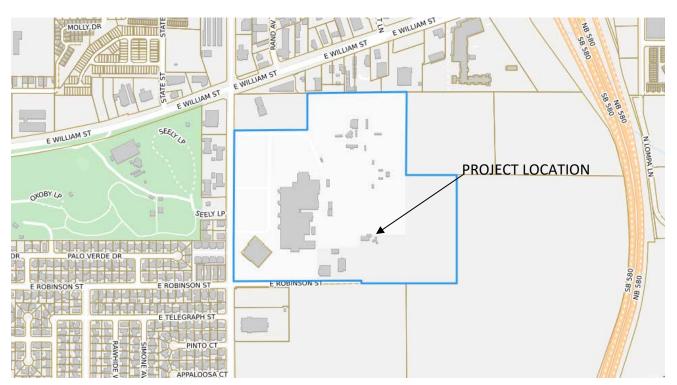
STAFF CONTACT: Heather Ferris, Associate Planner

AGENDA TITLE: For Possible Action: Discussion and possible action regarding a request to amend a Special Use Permit (SUP-10-014) to allow for a 400 square-foot outdoor classroom and a 124 square-foot office addition to serve the existing greenhouse on property zoned Public (P), located at 1111 North Saliman Road, APN 010-041-64. (Heather Ferris, hferris@carson.org)

Summary: On March 31, 2010, the Planning Commission approved a Special Use Permit (SUP-10-014) to allow for the construction of a greenhouse at Carson High School. The proposed outdoor classroom and office additions are intended to supplement the students' outdoor learning experience and existing Greenhouse Project operation by providing additional space for classes to be held and office space for teachers. A school is a conditional use which requires a Special Use Permit in the Public zoning district (CCMC 18.04.170). The addition of the outdoor classroom and office were not included in the original Special Use Permit for the greenhouse, therefore, an amendment to the Special Use Permit is required. The Planning Commission is authorized to approve an amendment to the Special Use Permit.

PROPOSED MOTION: "I move to approve Special Use Permit LU-2020-0009, based on the findings and subject to the conditions of approval contained in the staff report."

VICINITY MAP:



RECOMMENDED CONDITIONS OF APPROVAL:

Note: The base language in these conditions is the language from the conditions of approval approved on March 31, 2010 with SUP-10-014. Conditions that are code requirements have been stricken as they are required to be met and not part of the discretionary decision. Language proposed to be added appears in bold with an underline. Language proposed to be deleted appears with a strikethrough.

The following shall be completed prior to commencement of the use: Standard Conditions of Approval per CCMC 18.02.105 (1):

- The applicant must sign and return the Notice of Decision / conditions of approval within 10 days of receipt of notification. If the Notice of Decision is not signed and returned within 10 days, the item will be rescheduled for the next Planning Commission meeting for further consideration.
- 2. The applicant shall meet all the conditions of approval and commence the use (obtain and maintain a valid building permit) for which this permit is granted within twelve months of the date of final approval. A single, one-year extension of time may be granted if requested in writing to the Planning and Community Development Division thirty days prior to the one-year expiration date. Should this permit not be initiated within one year and no extension granted, the permit shall become null and void.

Conditions required to be incorporated into the proposed development plan.

- 3. All development shall be substantially in accordance with the development plans approved with this application, except as otherwise modified by the conditions of approval herein.
- 4. All <u>exterior</u> lighting must be directed downward. The design of the light standards must include cutoffs and shields, if necessary, to prevent any spillover of light or glare on to adjacent properties.
- 4.5. All improvements shall conform to City standards and requirements.
- A Sign Permit is required prior to the placement or erection of any sign, or to install or alter any electrical wiring or fixture. See the Planning and Community Development Division for information and standards. Development Standards, Division 4.
- 7. Provide color swatches of proposed exterior colors. Exterior building colors should blend with surrounding development and not cause abrupt changes. Primary building surfaces (excluding trim areas) should be muted or earth-tone in color.
- 8. Trash enclosures shall be designed to meet or exceed minimum size and location requirements as determined by the sanitation company and shall be located to provide unobstructed access to refuse vehicles. All trash, refuse or recycled material shall be stored in containers within its walled enclosure

The following shall be submitted or included as part of a building permit application:

- 9. The applicant shall obtain a building permit from the Carson City Building and Safety Division for the proposed construction.
- <u>5</u>10. The applicant shall submit a copy of the Notice of Decision / conditions of approval, signed by the applicant and owner.
- 611. Details of the any proposed exterior light standards must be submitted with the building permit. All exterior lighting must be directed downward. The design of the light standards must include cutoffs and shields, if necessary, to prevent spillover of light or glare onto adjacent properties.
- 12. Dust control measures must be employed during the construction period.
- 13. The applicant shall obtain a Certificate of Occupancy and/or final inspection and approval for all required improvements.
- 7.14. Any domestic water laterals that do not have reduced pressure principal assembly backflow preventers must have them installed with this project. The construction drawings must show more detailed information on the water and sewer connections, and there may be a reduced pressure assembly required, if none is on the site.
- 15. A completed commercial water and sewer connection fee worksheet will be required with submittal of the building permit application. The connection fees will be payable upon issuance of the building permit. Contact the Engineering Division to obtain the most current version (October 2009) of the worksheet.
- 16. A fire flow analysis is required with building permit submittal. Fire Department will require a fire hydrant within 250 feet and 1500 gpm minimum flow.
- 17. The site is identified on the FEMA flood map as being in an AE Flood Plain. All pertinent flood plain information must be submitted with the application for permit. The proposed greenhouse and restrooms and any appurtenances will comply with CCMC 12.09 Flood Protection Ordinance and will mitigate their impacts by balancing the cut and fill areas. This will create a zero net impact to the flood plain. The required vertical datum is NAVD 1988.
- 18. Food Regulation: Produce grown in the greenhouse will be subject to all requirements in Nevada Administrative Code (NAC) 446, regarding food establishments. A "Certified Growers Certificate" will be required to be obtained from the Nevada Department of Agriculture in order to distribute food from this site.
- 19. Facility requirements: The building itself will be required to adhere to all school regulation requirements as stated in the Nevada Administrative Code (NAC) 444.
- **LEGAL REQUIREMENTS:** CCMC 18.02.080 (Special Use Permits); 18.04.170 (Public Zoning District); 18.04.195 (Non-Residential Districts Intensity and Dimensional Standards).

MASTER PLAN DESIGNATION: Public/Quasi-public

PRESENT ZONING: Public

KEY ISSUES: Will the proposed outdoor classroom and office have an adverse impact on the

surrounding area?

SURROUNDING ZONING AND LAND USE INFORMATION:

NORTH: General Commercial/ retail uses EAST: General Commercial SPA/ vacant

SOUTH: Single Family 1 Acre and Single Family 6,000 SPA/ vacant

WEST: General Commercial, Public Regional, Multifamily Apartments, and Residential

Office/ retail uses, park, apartments.

ENVIRONMENTAL INFORMATION:

1. FLOOD ZONE: X-shaded

2. EARTHQUAKE FAULT: Beyond 500 feet

3. SLOPE/DRAINAGE: Flat

SITE DEVELOPMENT INFORMATION:

1. LOT SIZE: 64.42 acres

2. PROPOSED STRUCTURE SIZE: 400 s.f. outdoor classroom; 144 s.f. office

3. PROPOSED STRUCTURE HEIGHT: 12 +/- feet

5. REQUIRED SETBACKS: Established with approval of the Special Use Permit

6. VARIANCES REQUESTED: None

DISCUSSION:

The subject property is zoned Public and is the site of the Carson City High School. A Special Use Permit is required prior to commencing uses within the Public zoning district. All development standards relative to the development of the use are to be established in the Special Use Permit.

On March 31, 2010 the Planning Commission approved a Special Use Permit for a Greenhouse Project at the existing high school. The greenhouse facility includes a 2,160 square foot greenhouse, restrooms, trash enclosure, and 3,050 square feet of garden. The facility is used for vocational education in horticulture as part of the high school's Career and Technical Education Program.

The applicant is seeking approval for a new outdoor classroom and office addition which will be used to supplement the existing greenhouse program. The proposed outdoor classroom will be 400 square feet and the proposed office will be 144 square feet in size. Both will be located adjacent to the existing greenhouse facility which is located in the southern portion of the Carson High School property.

As noted above, the Public zoning district (CCMC 18.04.170) requires approval of a Special Use Permit prior to commencing any use. The original Special Use Permit for the Greenhouse project did not include the proposed outdoor classroom and office, therefore, the applicant

has requested an amendment to the original Special Use Permit (SUP-10-014) to incorporate the proposed outdoor classroom and office buildings.

PUBLIC COMMENTS: Public notices were mailed to 146 property owners within 900 feet of the subject site on April 17, 2020. As of the date of writing of this report no public comments have been received regarding this application. Any comments that are received after this report is completed will be submitted to the Planning Commission prior to or at the meeting on April 29, 2020 depending on the date of submission of the comments to the Planning Department.

OTHER CITY DEPARTMENTS OR OUTSIDE AGENCY COMMENTS:

Plans were routed to commenting agencies and the following comments were received. Comments have been incorporated into the conditions of approval as appropriate. **Engineering Division:**

RECOMMENDATION:

The Engineering Division has no preference or objection to the special use request provided that the following conditions are met:

- The project must meet all applicable municipal codes, development standards, and standard details including the following:
 - Any domestic water laterals that do not have reduced pressure principal assembly backflow preventers must have them installed with this project.

ENGINEERING DISCUSSION:

The Engineering Division has reviewed the application within our areas of purview relative to adopted standards and practices and to the provisions of CCMC 18.02.080, Conditional Uses. The Engineering Division offers the following discussion:

C.C.M.C. 18.02.080 (5a) - Master Plan

The request is not in conflict with any \overline{E} ngineering Master Plans.

C.C.M.C. 18.02.080 (5b) – Use, Peaceful Enjoyment, Economic Value, Compatibility Development Engineering has no comment on this finding.

<u>C.C.M.C. 18.02.080 (5c) - Traffic/Pedestrians</u>

The proposed project has a negligible impact on pedestrian and vehicle circulation.

<u>C.C.M.C. 18.02.080 (5d) - Public Services</u>

The project will have a negligible impact to existing sewer, water, and storm drain infrastructure.

C.C.M.C. 18.02.080 (5e) – Title 18 Standards

Development Engineering has no comment on this finding.

C.C.M.C. 18.02.080 (5f) - Public health, Safety, Convenience, and Welfare

The project meets engineering standards for health and safety.

C.C.M.C. 18.02.080 (5g) - Material Damage or Prejudice to Other Property

Development Engineering has no comment on this finding.

<u>C.C.M.C. 18.02.080 (5h) – Adequate Information</u>

The plans and reports provided were adequate for this analysis.

Fire Department:

Project must comply with the 2018 IFC and northern Nevada fire code amendments as adopted by Carson City.

FINDINGS: Staff's recommendation is based upon the findings as required by CCMC Section 18.02.080 (Special Use Permits) enumerated below and substantiated in the public record for the project.

1. Will be consistent with the master plan elements.

The primary uses in the Public/Quasi Public master plan designation primarily includes schools, government offices, community centers, and other similar facilities. The proposed outdoor classroom and office will enhance the existing greenhouse project which is part of Carson High School's Career and Technical Education Program; therefore, the proposed amendment to the special use permit is consistent with the master plan.

 Will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and will cause no objectionable noise, vibrations, fumes, odors, dust, glare or physical activity.

The school is existing with surrounding uses including apartments, a park, retail uses, and vacant parcels. The project is limited to the expansion of the greenhouse project to include a small outdoor classroom approximately 400 square feet in size and a 144 square foot office building. The project is limited in scope and is not anticipated to be detrimental to the use, peaceful enjoyment, economic value, or development of the surrounding properties or the general neighborhood. The project is required to be developed consistent with Carson City Development Standards.

3. Will have little or no detrimental effect on vehicular or pedestrian traffic.

The proposed project is a small expansion of the existing greenhouse facility. Due to the project's limited scope, there will be negligible effect on vehicular or pedestrian traffic.

4. Will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage, and other public improvements.

The construction of an outdoor classroom and office in association with the school's greenhouse project will have little to no impact on existing public water or sewer services. The applicant is required to install reduced pressure principal assembly backflow preventers

on any domestic water laterals that do not currently have them. The project is required to meet the development standards related to storm drain runoff and will have negligible impact to the natural drainage ways that serve the area. The Fire Department currently serves this site. The building permit will be reviewed for compliance with the Carson City Fire Code, Northern Nevada amendments (2018 IFC) and the 2018 International Wildland Urban Interface Code and northern Nevada Wildland Urban Interface amendments as adopted by Carson City.

5. Meets the definition and specific standards set forth elsewhere in this title for such particular use and meets the purpose statement of that district.

Public uses such as schools, are a primary purpose of the Public zoning district. A school is a conditional use in the Public zoning district. As conditioned, the project will meet the definition and specific standards set forth in this title.

6. Will not be detrimental to the public health, safety, convenience and welfare.

The proposed outdoor classroom and office is an expansion of the existing greenhouse project and will help to enhance the school's Career and Technical Education Program. The project will not be detrimental to the public health, safety, convenience and welfare. The structures will require a building permit to ensure that the buildings are constructed to current standards.

7. Will not result in material damage or prejudice to other property in the vicinity.

This is an amendment to an existing Special Use Permit for the Carson High School greenhouse facility. The project includes a 400 square foot outdoor classroom and 144 square foot office which will be located on the Carson High School Campus adjacent to the existing greenhouse. The project will not result in material damage or prejudice to other property in the vicinity.

Attachments:

Application (LU-2020-0009)

FOR OFFICE USE ONLY: Carson City Planning Division 108 E. Proctor Street · Carson City NV 89701 CCMC 18.02.080 Phone: (775) 887-2180 • E-mail: planning@carson.org SPECIAL USE PERMIT FILE # FEE*: \$2,450.00 MAJOR APPLICANT PHONE # \$2,200.00 MINOR (Residential Carson City Schools, Mark Johnson zoning districts) + noticing fee - \$1,837 MAILING ADDRESS, CITY, STATE, ZIP *Due after application is deemed complete by 1402 W. King Street Carson City, NV 89703 **EMAIL ADDRESS** SUBMITTAL PACKET - 4 Complete Packets (1 Unbound mjohnson@carson.k12.nv.us Original and 3 Copies) including: PROPERTY OWNER Application Form Detailed Written Project Description Carson City Schools, Mark Johnson Site Plan MAILING ADDRESS, CITY, STATE, ZIP Building Elevation Drawings and Floor Plans Special Use Permit Findings 1402 W. King Street Carson City, NV 89703 Master Plan Policy Checklist **EMAIL ADDRESS** Applicant's Acknowledgment Statement Documentation of Taxes Paid-to-Date miohnson@carson.k12.nv.us Project Impact Reports (Engineering) APPLICANT AGENT/REPRESENTATIVE PHONE # CD or USB DRIVE with complete application in PDF Mark Rotter, Manhard Consulting 775-887-5205 Application Received and Reviewed By: MAILING ADRESS, CITY STATE, ZIP 3476 Executive Pointe Way, Carson City, NV 89706 Submittal Deadline: Planning Commission application **EMAIL ADDRESS** submittal schedule. mrotter@manhard.com Note: Submittals must be of sufficient clarity and detail for all departments to adequately review the request. Additional information may be required. Project's Assessor Parcel Number(s): Street Address 010-041-64 1111 N Saliman Road Project's Master Plan Designation Project's Current Zoning Nearest Major Cross Street(s) **Public** Public/Quasi-Public E William Street Please provide a brief description of your proposed project and/or proposed use below. Provide additional pages to describe your request in more detail. A modification to the Carson High School Greenhouse Special Use Permit (SUP-10-014), which was unanimously approved by Planning Commisssion on March 31, 2010, to allow for a 400 square foot outdoor classroom and 124 square foot office addition in association with the existing Greenhouse. PROPERTY OWNER'S AFFIDAVIT MARY LOTHNSON, being duly deposed, do hereby affirm that Lam the record owner of the subject property, and that I have knowledge of, and I agree to, the filing of this application. P.O. BOX 603, CAUSON CITY 3/17/2020 Address NV 89702 Date Use additional page(s) if necessary for additional owners. STATE OF NEVADA COUNTY Carson Citu on March 17 Mark Johnson ,2020 personally appeared before me, a notary public, personally known (or proved) to me to be the person whose name is subscribed to the foregoing document and who acknowledged to me that he/she executed the foregoing document. CONTROL OF STREET LINDA MCKENZIE NOTARY PUBLIC Notary Public STATE OF NEVADA NOTE: If your project is located within the Historic District or airport area, it is Not 1659 to scheduled be of the Historic Resources Commission or the Airport Authority in addition to being scheduled for review by the Planning Commission. Planning start can help you make this determination.

If there is any additional information that would provide a clearer picture of your proposal that you would like to add for presentation to the Planning Commission, please be sure to include it in your detailed description.										
Please type and sign the statement on the following page at the end of your findings response.										
ACKNOWLEDGMENT OF APPLICANT										
I certify that the forgoing statements are true and correct to the best of my knowledge and belief. I agree to fully comply with all conditions as established by the Planning Commission. I am aware that this permit becomes null and void if the use is not initiated within one-year of the date of the Planning Commission's approval; and I understand that this permit may be revoked for violation of any of the conditions of approval. I further understand that approval of this application does not exempt me from all City code requirements.										
Mult W. M. Applicant's Signature	MARIC M. JOHNSON Print Name	317/2020 Date								
	Page 5 of 7									

CARSON HIGH SCHOOL OUTDOOR CLASSROOM & OFFICE ADDITION

SPECIAL USE PERMIT

MARCH 2020



Prepared For:



Prepared By:



241 Ridge Street, Suite 400 Reno, NV 89501

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APPENDICES

- SUP Application Form (includes Applicant's Acknowledgement)
- Master Plan Policy Checklist
- Documentation of Taxes Paid-to-Date
- Project Impact Reports
- Site Plan
- Building Elevations

PROJECT LOCATION

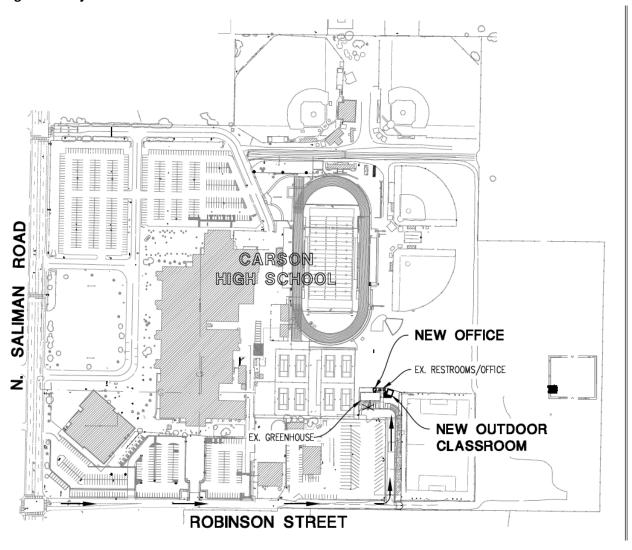
Carson High School is located at the southeast corner of E. William Street and N. Saliman Road; APN 010-041-64. The proposed additions are located within the school's campus, adjacent to the existing greenhouse.

Figure 1: School Location





Figure 2: Project Location



EXISTING CONDITIONS

Carson High School is 306,479 sq. ft. (as of 2011) and was constructed after a bond was passed in 1970 allowing the Carson City School District to purchase the property. There are currently +/- 2,257 students attending Carson High School in grades 9 through 12, along with 151 teachers, administrators and support staff members. School hours are 7:15 a.m. to 2:30 p.m.



Figure 3: Surrounding Property Designations

Directi on	Current Zoning	Master Plan	Current Land Use				
North:	 General Commercial (GC) General Commercial – SPA (GC-SPA) 	Community/Regional CommercialMixed-Use Commercial	ChurchRetail/Strip MallRestaurantAutomotive Repair				
East:	 General Commercial – SPA (GC-SPA) 	Mixed-Use CommercialOpen Space	 Undeveloped 				
South:	 Single Family 6,000- SPA (SF6-SPA) Single Family 1 Acre (SF1A) 	 Open Space Medium Density Residential Mixed-use Residential 	UndevelopedChurch				
West:	 Multi-Family Apartment (MFA) Residential Office (RO) Public Regional (PR) 	High Density ResidentialParks and Recreation	Multi-Family ResidentialMills Park				

MASTER PLAN AND ZONING DESIGNATIONS

The project site has a Master Plan designation of Public/Quasi Public and a zoning designation of Public (P). A school is a conditional use which requires a Special Use Permit in the Public zoning designation (Carson City Municipal Code Section 18.04.170). Carson High School has an existing SUP for the Greenhouse Project (SUP-10-014), which was unanimously approved by Planning Commission on March 31, 2010. This request is for a modification to the existing SUP.



Figure 4: Master Plan Designation

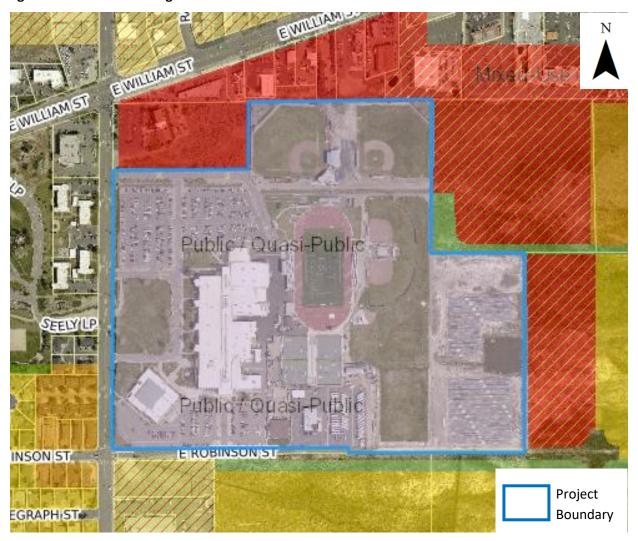
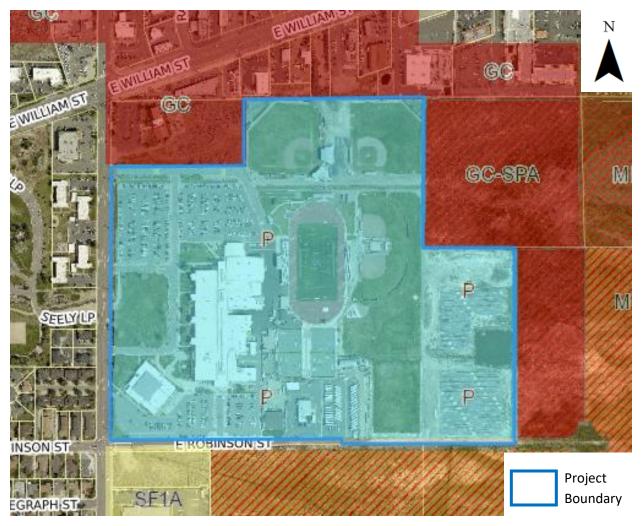


Figure 5: Zoning Designation



APPLICATION REQUEST

The enclosed application is for:

1. SPECIAL USE PERMIT for an outdoor classroom and office addition at Carson High School. A school is a conditional use in the Public (P) zoning designation (CCMC Section 18.04.170(3)).



PROJECT DESCRIPTION AND JUSTIFICATION

The request is for a modification to the Carson High School Greenhouse Project Special Use Permit (SUP-10-014), which was unanimously approved by Planning Commission on March 31, 2010. This modification to the SUP will allow for a 400 square foot outdoor classroom and 144 square foot office addition in association with the school's Greenhouse Project.

The existing greenhouse is part of Carson High School's Career and Technical Education (CTE) program, which has gained popularity among students and the community since it's conception. The proposed outdoor classroom and office additions are intended to supplement the students outdoor learning experience and existing Greenhouse Project operation by providing additional space for classes to be held and office space for teachers. Students who participate in the Greenhouse CTE program receive a practical education in plant propagation, cultivation, harvesting, marketing and distribution. They also learn about nutrition and the rewards of civic engagement. The food produced is used in the school culinary program and local food banks. The flowers produced at the facility are sold at the Carson City Farmer's market and on campus in the student run floral shop.

The site is an infill site within the high school campus and is adjacent to the existing greenhouse. The greenhouse and outdoor classroom work together to promote water and energy conservation. The additions will not generate any additional faculty members or students, and will not have an impact on existing parking, traffic, or utilities. The outdoor classroom and office addition do not require water or sewer fixtures, and this project will use solar power, to promote energy conservation.

Please note that the site plan, building elevations, and floor plans may change slightly due to final design.



Figure 6: Site Plan

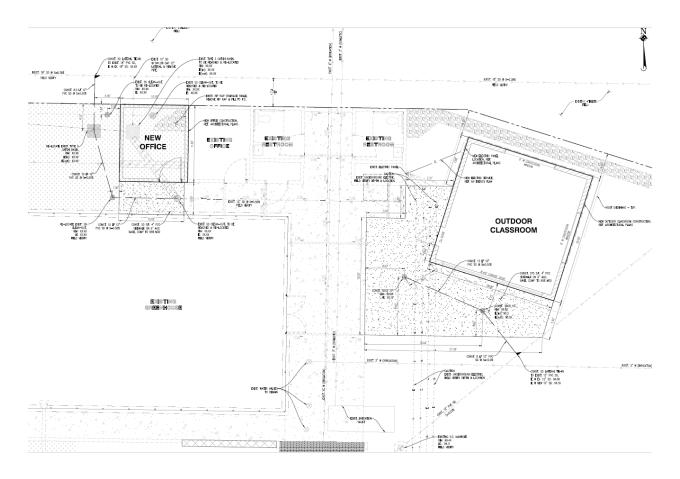
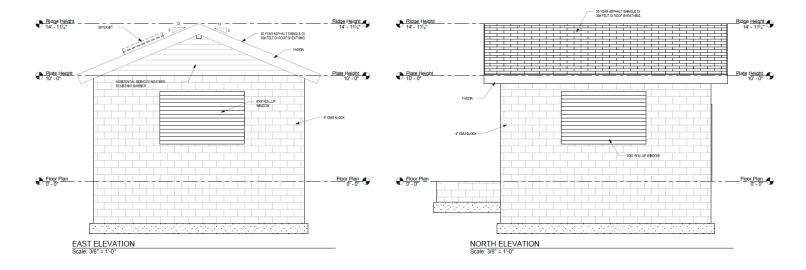
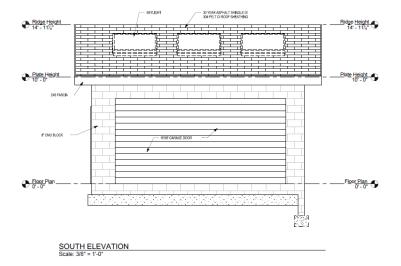
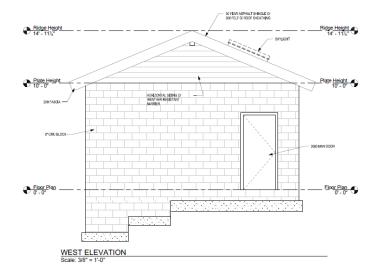




Figure 7: Building Elevations









Development Standards

The proposed additions will not impact existing setbacks because the additions are located within the High School campus, adjacent to the existing greenhouse. A vicinity map is provided in figure 2.

The Carson City Municipal Code does not set development standards in the Public zoning district (Section 18.04.195). Building height, building setbacks, minimum area, and maximum lot depth are determined by special use permit. The following development standards are based on the existing greenhouse structure constructed at the school site:

Building Height:.....+/- 15 ft. (as measured from the ridgeline of the roof) **Building Setbacks:** Front:+/- 1,200 ft. (existing building setback from N. Saliman Road) Side:+/- 1,300 ft. (proposed setback to addition area) Street Side:.....+/- 400 ft. (proposed setback to addition area) Rear:.....+/- 800 ft. (proposed setback from addition area to rear property line)

Maximum Lot Depth: +/- 2,010 ft. (deepest parcel of the parcel)

Parking

The proposed project will not generate any additional faculty members or students and will not have an additional impact on parking. Staff and visitor parking is provided in three parking areas located along the west side of the school site along N. Saliman Road, and to the south along E. Robinson Street. The three parking lots include +/-793 off-street spaces. There are 6 additional off-street parking spaces adjacent to the existing greenhouse, and a drop off/pick up area also at the front of the school. Carson City Municipal Code requires "2 spaces for every 3 employees or faculty members plus 1 space for every 4 students" (CCMC Appendix Division 2, 2.2).

Landscaping

The additions do not propose additional landscaping and will not have an impact on existing landscaping. Public uses are required to comply with Division 3, Landscaping, of the Carson City Municipal Code. The existing Greenhouse Project includes a large amount of outdoor garden plots as part of its operation.

Utilities (Please see detailed Project Impact Statements included with this application)

Water- The proposed building additions for the Greenhouse Project consist of one 400 square foot outdoor classroom building and one 144 square foot office room. There are no planned additional sinks, toilets, hose bibb faucets, or fire hydrants. There will be no increase in water demand based on fixture units and therefore no increase in water demand.



Sewer- The new building additions are located east and west of the existing office room and restrooms. The proposed building additions do not require an increase in sewer fixtures therefore there is no increase in sewer flow.

Drainage- The new building additions are located east and west of the existing office room and restrooms. The additional drainage generated by the outdoor classroom building and office room will be mitigated by the existing drainage patterns. We do not anticipate any new site retention/detention as part of the proposed buildings.

FINDINGS

In accordance with Carson City Municipal Code Section 18.02.080, this project has been designed to consider the following:

Findings from a preponderance of evidence must indicate that the proposed use:

1. Will be consistent with the objectives of the Master Plan elements.

The addition of an outdoor classroom and office at Carson High School is consistent with the objectives of the Carson City Master Plan elements because it improves an existing public facility. The Master Plan Policy Checklist is included in this application package with additional information.

2. Will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties of the general neighborhood; and is compatible with and preserves the character and integrity of adjacent development and neighborhoods or includes improvements or modifications either on-site or within the public right-of-way to mitigate development related to adverse impacts such as noise, vibrations, fumes, odors, dust, glare, or physical activity.

The school use is existing in this location. The surrounding neighborhood is comprised of Multi-Family Residential, Residential Office uses, churches, Mills Park, General Commercial uses and undeveloped Single-Family Residential parcels. The project will not have additional impact or be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties of the general neighborhood.

Any outdoor lighting installed on the exterior of the building will be shielded from neighboring property through height, placement, and wattage. Outdoor lighting will be indicated on improvement plans.

3. Will have little or no detrimental effect on vehicular or pedestrian traffic.

The project will not have additional impact on the existing street network, sidewalks, or parking.



4. Will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage, and other public improvements.

As demonstrated in the Project Impact Reports, the project will not contribute to or overburden existing public services and facilities. The project is not expected to contribute any additional vehicular trips per day. Comments will be incorporated as appropriate in Improvement Plans to ensure that the facility does not overburden existing public services and facilities.

5. Meets the definition and specific standards set forth elsewhere in this Title for such particular use and meets the purpose statement of that district.

The addition of an outdoor classroom and office at Carson High School, part of the Carson City School District, meets the definition of a school as "an institution of learning which offers instruction in the several branches of learning required to be taught in public and private schools of the state of Nevada" (CCMC Section 18.03.010). A school is a conditional use in Public (P) zoning designation (CCMC Section 18.04.170(3)). The school use is existing in this location and the facility will be improved through this project.

6. Will not be detrimental to the public health, safety, convenience and welfare.

Expanding the existing school facility will benefit the public health, safety, and welfare by providing an upgraded facility to Carson City School District students.

7. Will not result in material damage or prejudice to other property in the vicinity, as a result of proposed mitigation measures.

The school is an existing use in the neighborhood. The improvements to the facilities will not result in material damage or prejudice to other property in the vicinity.

MASTER PLAN POLICY CHECKLIST

The purpose of the Master Plan Policy Checklist is to provide a list of answers that address whether a development proposal is in conformance with the goals and objectives of the 2006 Carson City Master Plan that are related to this SUP application. This project complies with the Master Plan and accomplishes the following objectives:

Chapter 3: A Balanced Land Use Pattern

- 1. N/A- the additions do not represent a level of growth. However, the location of the school is consistent with the Master Plan Land Use Map in location and density. (1.1a)
- 2. It promotes growth within areas already served by community water and wastewater facilities as it is already served by existing infrastructure. (1.1b)
- 3. It meets the provisions of the Growth Management Ordinance. (1.1d, Municipal Code 18.12)
- 4. The school facility is adequately served by city services including fire and sheriff services, and, as part of the School District, will serve to ensure adequate provision of schools in Carson City. (1.5d)



- 5. The existing school provides for a mix of uses in the neighborhood. (2.1a)
- 6. Friction Zones are not created. (2.1d)
- 7. The existing school facility is not located on a hillside. (3.2a)
- 8. Mitigation measures will be incorporated regarding floodplain development; the site is situated away from geologic hazards area. (3.3d,e)
- 9. Does not create land use conflicts; the existing school facility is situated in a neighborhood with single family residential and multi-family residential (duplexes).

Chapter 4: Equitable Distribution of Recreational Opportunities

1. The school facility does not create demand for new park facilities; the school provides additional recreational opportunities in the playground area. (4.1b)

Chapter 5: Economic Vitality

- 1. The school facility provides educational opportunities for the development and/or upgrade of skills required for employment, advancement, and entrepreneurship. (5.1e)
- 2. The school is a public service and facility necessary to sustain a high quality of life and attract business investment. (5.5e)
- 3. The school is an existing educational resource of the community that can be used as an economic development tool. (5.5g)

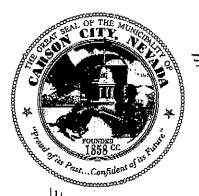
Chapter 6: Livable Neighborhoods and Activity Centers

- 1. Durable materials will be used in construction. (6.1a)
- 2. The project will promote variety and visual interest through the incorporation of building styles and colors, and other features in accordance with the Special Use Permit (6.1b).
- 3. The project will provide variety and visual interest through the incorporation of well-articulated building facades, clearly identified entrances and pedestrian connections, landscaping and other features consistent with the Development Standards. (6.1c)
- 4. It provides appropriate height, density, and setback transitions and connectivity to surrounding development to ensure compatibility with surrounding development for infill project in accordance with the Carson City Municipal Code. (6.2a, 9.3b, 9.4a)
- 5. The proposed project is compatible with the surrounding development on the high school campus. (9.1a)
- 6. The proposed project is not spot zoned. It is higher density residential development among other areas of residential and commercial development and is compatible with existing development.

Chapter 7 A Connected City

1. Sidewalks are already constructed around the school and through the parking areas. Sidewalks connecting the entrance with the surrounding neighborhood. (12.1a, 12.1c)





CARSON CITY, NEVADA

CONSOLIDATED MUNICIPALITY AND STATE CAPITAL DEVELOPMENT SERVICES

FILE ID

PLANNING COMMISSION MARCH 31, 2010

NOTICE OF DECISION

APR 1 6 2010

By Sul Durkerst

Deputy

Carspn City, Nevada

A request to review a Special Use Permit, SUP-10-014, was received from Manhard Consulting (property owner: Carson City School District) to allow a greenhouse at Carson High School on property zoned Public (P)/Agriculture (A), located at 1111 North Saliman, APN 010-041-64, pursuant to the requirements of the Carson City Municipal Code.

The Planning Commission conducted a public hearing on March 31, 2010, in conformance with City and State legal requirements, and approved SUP-10-014 to allow a greenhouse at Carson High School on property zoned Public/Agriculture, based on the findings contained in the staff report and subject to the following conditions of approval:

CONDITIONS OF APPROVAL:

The following shall be completed prior to commencement of the use:

- The applicant must sign and return the Notice of Decision / conditions of approval within 10 days of receipt of notification. If the Notice of Decision is not signed and returned within 10 days, the item will be rescheduled for the next Planning Commission meeting for further consideration.
- 2. The applicant shall meet all the conditions of approval and commence the use (obtain and maintain a valid building permit) for which this permit is granted within twelve months of the date of final approval. A single, one-year extension of time may be granted if requested in writing to the Planning and Community Development Division thirty days prior to the one-year expiration date. Should this permit not be initiated within one year and no extension granted, the permit shall become null and void.

PLANNING DIVISION • 2621 Northgate Lane, Suite 62 • Carson City, Nevada 89706 Phone: (775) 887-2180 Fax: (775) 887-2278 E-mail: plandiv@ci.carson-city.nv.us

SUP-10-014 Notice of Decision March 31, 2010

Conditions required to be incorporated into the proposed development plan.

- 3. All development shall be substantially in accordance with the development plans approved with this application, except as otherwise modified by the conditions of approval herein.
- 4. All lighting must be directed downward. The design of the light standards must include cutoffs and shields, if necessary, to prevent any spillover of light or glare on to adjacent properties.
- 5. All improvements shall conform to City standards and requirements.
- 6. A Sign Permit is required prior to the placement or erection of any sign, or to install or alter any electrical wiring or fixture. See the Planning and Community Development Division for information and standards. Development Standards, Division 4
- Provide color swatches of proposed exterior colors. Exterior building colors should blend with surrounding development and not cause abrupt changes. Primary building surfaces (excluding trim areas) should be muted or earthtone in color.
- 8. Trash enclosures shall be designed to meet or exceed minimum size and location requirements as determined by the sanitation company and shall be located to provide unobstructed access to refuse vehicles. All trash, refuse or recycled material shall be stored in containers within its walled enclosure

The following shall be submitted or included as part of a building permit application:

- The applicant shall obtain a building permit from the Carson City Building and Safety Division for the proposed construction.
- 10. The applicant shall submit a copy of the Notice of Decision / conditions of approval, signed by the applicant and owner.
- Details of the proposed light standards must be submitted with the building permit.
- Dust control measures must be employed during the construction period.
- 13. The applicant shall obtain a Certificate of Occupancy and/or final inspection and approval for all required improvements.

SUP-10-014 Notice of Decision March 31, 2010

- 14. The construction drawings must show more detailed information on the water and sewer connections, and there may be a reduced pressure assembly required, if none is on the site.
- 15. A completed commercial water and sewer connection fee worksheet will be required with submittal of the building permit application. The connection fees will be payable upon issuance of the building permit. Contact the Engineering Division to obtain the most current version (October 2009) of the worksheet.
- 16. A fire flow analysis is required with building permit submittal. Fire Department will require a fire hydrant within 250 feet and 1500 gpm minimum flow.
- 17. The site is identified on the FEMA flood map as being in an AE Flood Plain. All pertinent flood plain information must be submitted with the application for permit. The proposed greenhouse and restrooms and any appurtenances will comply with CCMC 12.09 Flood Protection Ordinance and will mitigate their impacts by balancing the cut and fill areas. This will create a zero net impact to the flood plain. The required vertical datum is NAVD 1988.
- 18. Food Regulation: Produce grown in the greenhouse will be subject to all requirements in Nevada Administrative Code (NAC) 446, regarding food establishments. A "Certified Growers Certificate" will be required to be obtained from the Nevada Department of Agriculture in order to distribute food from this site.
- Facility requirements: The building itself will be required to adhere to all school regulation requirements as stated in the Nevada Administrative Code (NAC) 444.

This decision was made on a vote of 6 ayes, 0 nays, 1 absent.

±ee Plemel, AICP

Planning Division Director

LP:jmb

Mailed by: 4/16/10

By: RMT

P.04/04

SUP-10-014 Notice of Decision March 31, 2010 Page 4

PLEASE SIGN AND RETURN THIS NOTICE OF DECISION WITHIN TEN DAYS OF RECEIPT

This is to acknowledge that I have read and will comply with the Conditions of Approval as approved by the Carson City Planning Commission.

OWNER/APPLICANT SIGNATURE

PLEASE PRINT YOUR NAME HERE

RETURN TO:

Planning Division 2621 Northgate Lane, Suite 62, Carson City, NV 89706

Enclosures: 1. Planning Commission Notice of Decision (2 copies)-Please sign and return only one. The second one is for your records.

2. Self-addressed stamped envelope

Master Plan Policy Checklist

Special Use Permits & Major Project Reviews & Administrative Permits

PURPOSE

The purpose of a development checklist is to provide a list of questions that address whether a development proposal is in conformance with the goals and objectives of the 2006 Carson City Master Plan that are related to non-residential and multi-family residential development. This checklist is designed for developers, staff, and decision-makers and is intended to be used as a guide only.

Development Name: _	
Reviewed By:	
Date of Review:	

DEVELOPMENT CHECKLIST

The following five themes are those themes that appear in the Carson City Master Plan and which reflect the community's vision at a broad policy level. Each theme looks at how a proposed development can help achieve the goals of the Carson City Master Plan. A check mark indicates that the proposed development meets the applicable Master Plan policy. The Policy Number is indicated at the end of each policy statement summary. Refer to the Comprehensive Master Plan for complete policy language.

CHAPTER 3: A BALANCED LAND USE PATTERN



The Carson City Master Plan seeks to establish a balance of land uses within the community by providing employment opportunities, a diverse choice of housing, recreational opportunities, and retail services.

Is or does the proposed development:

	 and broken and and broken.
N/A	Meet the provisions of the Growth Management Ordinance (1.1d, Municipal Code 18.12)?
	Monicipal Code 16.12)?
	Use sustainable building materials and construction techniques to
	promote water and energy conservation (1.1e, f)?
N/A	Located in a priority infill development area (1.2a)?
N/A	Provide pathway connections and easements consistent with the adopted Unified Pathways Master Plan and maintain access to
	adjacent public lands (1.4a)?

N/A	Protect existing site features, as appropriate, including mature trees or other character-defining features (1.4c)?
N/A	At adjacent county boundaries or adjacent to public lands, coordinated with the applicable agency with regards to compatibility access and amenities (1.5a, b)?
N/A	In identified Mixed-Use areas, promote mixed-use development patterns as appropriate for the surrounding context consistent with the land use descriptions of the applicable Mixed-Use designation, and meet the intent of the Mixed-Use Evaluation Criteria (2.1b, 2.2b, 2.3b, Land Use Districts, Appendix C)?
N/A	Meet adopted standards (e.g. setbacks) for transitions between non-residential and residential zoning districts (2.1d)?
	Protect environmentally sensitive areas through proper setbacks, dedication, or other mechanisms (3.1b)?
	Sited outside the primary floodplain and away from geologic hazard areas or follows the required setbacks or other mitigation measures (3.3d, e)?
	Provide for levels of services (i.e. water, sewer, road improvements, sidewalks, etc.) consistent with the Land Use designation and adequate for the proposed development (Land Use table descriptions)?
N/A	If located within an identified Specific Plan Area (SPA), meet the applicable policies of that SPA (Land Use Map, Chapter 8)?

CHAPTER 4: EQUITABLE DISTRIBUTION OF RECREATIONAL OPPORTUNITIES



The Carson City Master Plan seeks to continue providing a diverse range of park and recreational opportunities to include facilities and programming for all ages and varying interests to serve both existing and future neighborhoods.

Is or does the proposed development:

N/A	Provide park facilities commensurate with the demand created and
	consistent with the City's adopted standards (4.1b)? Consistent with the Open Space Master Plan and Carson River Master
	Plan (4.3a)?

CHAPTER 5: ECONOMIC VITALITY



The Carson City Master Plan seeks to maintain its strong diversified economic base by promoting principles which focus on retaining and enhancing the strong employment base, include a broader range of retail services in targeted areas, and include the roles of technology, tourism, recreational amenities, and other economic strengths vital to a successful community.

Is or does the proposed development:

N/A	Encourage a citywide housing mix consistent with the labor force and non-labor force populations (5.1)
N/A	Encourage the development of regional retail centers (5.2a)
N/A	Encourage reuse or redevelopment of underused retail spaces (5.2b)?
N/A	Support heritage tourism activities, particularly those associated with historic resources, cultural institutions and the State Capitol (5.4a)?
N/A	Promote revitalization of the Downtown core (5.6a)?
N/A	Incorporate additional housing in and around Downtown, including lofts, condominiums, duplexes, live-work units (5.6c)?

CHAPTER 6: LIVABLE NEIGHBORHOODS AND ACTIVITY CENTERS



The Carson City Master Plan seeks to promote safe, attractive and diverse neighborhoods, compact mixed-use activity centers, and a vibrant, pedestrianfriendly Downtown.

Is or does the proposed development:

☐ Use durable, long-lasting building materials (6.1a)? Promote variety and visual interest through the incorporation of varied building styles and colors, garage orientation and other features (6.1b)? Provide variety and visual interest through the incorporation of wellarticulated building facades, clearly identified entrances and pedestrian connections, landscaping and other features consistent with the Development Standards (6.1c)? Provide appropriate height, density and setback transitions and connectivity to surrounding development to ensure compatibility with surrounding development for infill projects or adjacent to existing rural neighborhoods (6.2a, 9.3b 9.4a)? N/A If located in an identified Mixed-Use Activity Center area, contain the appropriate mix, size and density of land uses consistent with the Mixed-Use district policies (7.1a, b)? N/A | If located Downtown: o Integrate an appropriate mix and density of uses (8.1a, e)? o Include buildings at the appropriate scale for the applicable Downtown Character Area (8.1b)? Incorporate appropriate public spaces, plazas and other amenities (8.1d)? Incorporate a mix of housing models and densities appropriate for the project location and size (9.1a)?

CHAPTER 7: A CONNECTED CITY



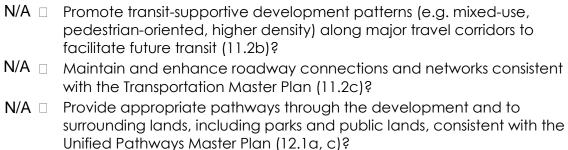
The Carson City Master Plan seeks promote a sense of community by linking its many neighborhoods, employment areas, activity centers, parks, recreational





amenities and schools with an extensive system of interconnected roadways, multi-use pathways, bicycle facilities, and sidewalks.

Is or does the proposed development:



Documentation of Property Taxes

APN 010-041-30 owned by the Carson City School District and are exempt from property taxes pursuant to NRS 361.065, "Property of school districts and charter schools exempted. All lots, buildings and other school property owned by any legally created school district, the Achievement School District or a charter school within the State and devoted to public school purposes are exempt from taxation."



Civil Engineering
Surveying
Water Resources Management
Construction Management
Landscape Architecture
Land Planning

The Carson High School Greenhouse Project is located with the limits of Carson City water system. The Greenhouse project is located east of the high school adjacent to the baseball fields, north of the solar array. There is a water main at the entrance to the existing Greenhouse that provides fire protection and domestic service to the existing restroom facilities.

Project Impact Report – Water

The proposed building additions for the Greenhouse Project consist of one 400 square foot outdoor classroom building and one 144 square foot office room. There are no planned additional sinks, toilets, hose bibb faucets, or fire hydrants.

There will be no increase in water demand based on fixture units and therefore no increase in water demand. There will be no change in the required fire flow demand because the building type is the same as the existing structures and the square footage increase is minimal with the addition of the outdoor classroom and office space.

Project Impact Report – Sewer

The new building additions are located east and west of the existing office room and restrooms. The proposed building additions do not require an increase in sewer fixtures therefore there is no increase in sewer flow.

Project Impact Report – Drainage

The new building additions are located east and west of the existing office room and restrooms. The additional drainage generated by the outdoor classroom building and office room will be mitigated by the existing drainage patterns. We do not anticipate any new site retention/detention as part of the proposed buildings.

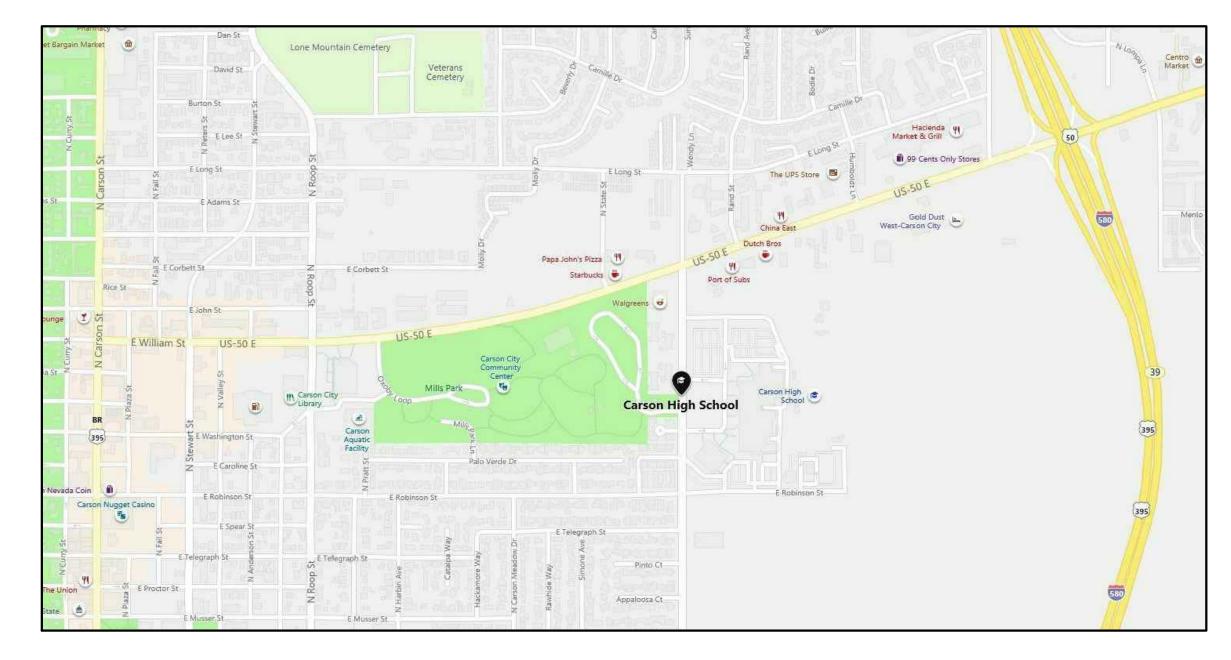
THE GREENHOUSE PROJECT

OUTDOOR CLASSROOM / OFFICE ADDITION

1111 N SALIMAN RD

GENERAL NOTES

- THE CONTRACTOR SHALL EXAMINE THE DRAWINGS AND SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSION AND CONDITIONS AT THE SITE AND SHALL NOTIFY THE DESIGNER OF DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND INFORMATION SHOWN ON THE DRAWINGS BEFORE PROCEEDING WITH THE WORK.
- ALL WORK SHALL CONFORM TO THE MINIMUM STANDARDS OF THE LATEST EDITION OF THE 2018 INTERNATIONAL BUILDING CODE (I.B.C.) AND SUCH OTHER REGULATING AGENCIES EXERCISING AUTHORITY OVER ANY PORTION OF THE WORK.
- SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DRAWINGS. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE SHOWN ON THE DRAWINGS.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT HIS WORK AND HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION
- ALL OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS SHALL BE BROUGHT TO THE
- THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY AND LIABILITY ARISING FROM DEVIATIONS, CHANGES AND/OR OMISSIONS FROM THESE DRAWINGS AND SPECIFICATIONS WITHOUT WRITTEN AUTHORIZATION FROM THE DESIGNER.
- THE GENERAL CONSTRUCTION NOTES ARE NOT COMPREHENSIVE PROJECT SPECIFICATIONS. IF SUCH SPECIFICATIONS ARE DESIRED, THEY SHOULD BE OBTAINED BY THE CONTRACTOR. THESE NOTES PROVIDE GENERAL CRITERIA FOR THE
- THE GENERAL CONTRACTOR SHALL COORDINATE REQUIREMENTS OF ALL TRADES TO ALLOW FOR TIMELY INCLUSION IN THE WORK ALL REQUIRED ITEMS SO AS NOT TO DELAY THE WORK OR THE WORK OF ANY SUBCONTRACTOR
- DO NOT PROCEED WITH WORK IF UNFORESEEN CONDITIONS ARE DISCOVERED WHICH COULD CAUSE ADVERSE EFFECTS UPON THE STRUCTURE OR ITS OCCUPANTS. REPORT ANY SUCH CONDITION IMMEDIATELY TO THE DESIGNER.
- MAINTAIN FREE, SAFE, AND APPROVED MEANS OF EGRESS IN AND OUT OF PROJECT LOCATION AND EXISTING OCCUPIED BUILDING IN ACCORDANCE WITH REQUIREMENTS OF APPLICABLE REGULATORY AGENCIES.
- SUBSTITUTIONS SHALL BE SUBMITTED PRIOR TO THE AWARD OF CONTRACT, UNLESS OTHERWISE ACCEPTABLE. APPROVAL OF SHOP DRAWINGS, PRODUCT DATA, OR SAMPLES IS NOT A SUBSTITUTION APPROVAL UNLESS PRESENTED AS A SUBSTITUTION AT
- 2A 10BC FIRE EXTINGUISHERS ARE TO BE INSTALLED SO THE TRAVEL DISTANCE DOES NOT EXCEED 75 FEET PER IFC 906 (TENANT
- BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS NUMBERS SHALL BE A MINIMUM OF 5 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 1/2 INCH



PROJECT DIRECTORY

OWNER:

CARSON CITY SCHOOL DISTRICT 1402 W KING ST CARSON CITY, NEVADA 89703

ENGINEER / PROJECT MANAGER:

MANHARD CONSULTING 3476 EXECUTIVE POINTE WAY, SUITE 12 CARSON CITY, NEVADA 89706 CONTACT: RALPH WENZIGER PH:(775) 887-5256 E-MAIL: rwenziger@manhard.com

SQUARE FOOTAGE

OFFICE ADDITION: TOTAL BUILDING =

APPLICABLE CODES

2018 INTERNATIONAL BUILDING CODE 2018 INTERNATIONAL ENERGY CONSERVATION CODE 2018 INTERNATIONAL FIRE CODE 2018 UNIFORM MECHANICAL CODE 2018 UNIFORM PLUMBING CODE 2017 NATIONAL ELECTRICAL CODE 2018 INTERNATIONAL WILDLAND-URBAN INTERFACE CODE

JURISDICTION & UTILITY SERVICES

BUILDING DEPARTMENT:

CARSON CITY BUILDING DEPARTMENT (775) 887-2310

FIRE DEPARTMENT:

CARSON CITY FIRE DEPARTMENT (775) 887-2210

PARKS & REC:

CARSON CITY RECREATION DIVISION (775) 887-2290

PUBLIC WORKS, SEWER, & WATER:

CARSON CITY PUBLIC WORKS (775) 887-2355

SCHOOL:

CARSON CITY SCHOOL DISTRICT (775) 283-2000

ELECTRIC:

NV ENERGY (775) 834-4444

SOUTHWEST GAS (877) 860-6020

PROJECT SUMMARY

NEW OUTDOOR CLASSROOM STRUCTURE & OFFICE ADDITION SEISMIC DESIGN CATEGORY = E WIND DESIGN LOAD = 130 Vult ROOF SNOW LOAD = 21 PSF (4640 ' ELEVATION)

PROJECT CLASSIFICATION:

USE AND OCCUPANCY CLASSIFICATION CONSTRUCTION CLASSIFICATION FIRE SPRINKLERS

INDEX TO DRAWINGS

ARCHITECTURAL PLANS:

- A0 COVER SHEET / GENERAL NOTES
- A1 FOUNDATION / ROOF FRAMING PLAN & SECTIONS OUTDOOR CLASSROOM
- PROPOSED ELEVATIONS OUTDOOR CLASSROOM
- PROPOSED FLOOR & ROOF PLAN OFFICE ADDITION
- PROPOSED ELEVATIONS & SECTION OFFICE ADDITION

CIVIL PLANS:

- C1 SITE PLAN
- GRADING PLAN
- C3 DETAILS

CARSON CITY, NEVADA

ALL WORK & MATERIAL SHALL CONFORM TO ALL PERTINENT REQUIREMENTS OF THE 2018 IBC, AND ALL LOCAL

THE CALCULATIONS AND STRUCTURAL DESIGN ARE BASED ON INFORMATION PROVIDED BY THE CLIENT AND LISTED HEREIN. MANHARD CONSULTING AND DESIGN IS NOT RESPONSIBLE FOR ANY STRUCTURAL CHANGES MADE TO THE PLANS OR SPECIFICATIONS UNLESS CHANGE IS APPROVED IN WRITING. VERIFICATION OF SITE AND SOIL CONDITIONS IS THE RESPONSIBILITY OF THE CONTRACTOR/OWNER.

DESIGN BASED ON LOADS APPROVED BY THE CARSON CITY BUILDING DEPARTMENT

Ground Snow LL = 30 psf (Pg) (Roof Snow = 21 psf min.) Ultimate Wind = Vult = 120 mph (3-second gust); Exposure C Seismic = E

SITE WORK

ALL FOOTINGS SHALL BEAR ON UNDISTURBED NATURAL GRADE OR CLASS E BACKFILL COMPACTED TO 95% DENSITY. UNLESS A SOIL REPORT IS PROVIDED, SOIL MATERIALS ARE ASSUMED TO BE CLASS 4, TABLE R401.4.1

CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS OF ACI 318, SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS, AND APPLICABLE SECTIONS OF THE 2018 IBC AS ADOPTED BY THE BUILDING OFFICIAL. EXCEPT AS MODIFIED BY THE SUPPLEMENTAL REQUIREMENTS BELOW (2500 PSI USED FOR DESIGN, U.N.O.):

COMPRESSIVE STRENGTH: FOOTINGS f'c = 3000 PSI SUSPENDED STRUCTURAL SLAB fc = 4000 PSI POOLS f'c = 4000 PS INTERIOR SLABS & WALLS fc = 3000 PSI EXTERIOR WALL f'c = 3000 PSI EXTERIOR SLABS & STEPS f'c = 3500 PSI (FOR FROST)

ALL REINFORCING STEEL SHALL BE DEFORMED IN ACCORDANCE WITH ASTM 615-87, AND SHALL HAVE A MINIMUM YIELD STRENGTH Fy = 60 ksi (GRADE 60).

REINFORCEMENT SPLICES SHALL BE AS SHOWN ON DRAWINGS AND SHALL LAP 40 BAR DIAMETERS (MIN.) STAGGER ALL ADJACENT HORIZONTAL SPLICE POINTS 6'-0" (MIN.) ALL LAP SPLICES SHALL BE TIED BOTH ENDS. ALL REINFORCING SHALL BE SECURELY HELD IN PLACE.

THE WATER-CEMENT RATIO SHALL NOT EXCEED 0.50 BY WEIGHT. CONCRETE SUBJECT TO FREEZE THAW CONDITIONS SHALL HAVE WATER-CEMENT RATIO NOT EXCEEDING 0.45 BY WEIGHT ALL CONCRETE EXPOSED TO FREEZING SHALL BE ENTRAINED AIR AS SPECIFIED IN THE 2018 IBC, TABLE R402.2.

PROVIDE FIBER REINFORCING IN SLAB IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS CONCRETE SHALL CONFORM TO 2018 IBC, CHAPTER 4.

SLABS MAY BE PLACED MONOLITHIC WITH FOOTINGS. PROVIDE ISOLATION JOINT BETWEEN SLAB AND COLUMN BEARING PLATE AREA. MASONRY:

MASONRY SHALL HAVE A COMPRESSIVE STRENGTH f m = 1500 PSI RUNNING BOND U.N.O.

CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C 55 OR ASTM C 90 AND BE SAMPLE TESTED IN ACCORDANCE WITH ASTM C 140.. USE OPEN-END UNITS WHERE POSSIBLE, WITH AN AVERAGE COMPRESSIVE STRENGTH OF NOT

MORTAR FOR MASONRY SHALL CONFORM TO ASTM C270, TYPE M OR S (1800 psi MIN.).

GROUT FOR MASONRY SHALL BE ASTM C476 COARSE GROUT, WITH A COMPRESSIVE STRENGTH OF NOT LESS THAN

WALLS SHALL BE GROUTED SOLID IN 4'-0" (MAX.) VERTICAL LIFTS, U.N.O. ALL GROUT SHALL BE VIBRATED.

ALL MASONRY WORK SHALL BE IN CONFORMANCE WITH THE 2012 IBC CHAPTER 6.

WHERE SPECIAL INSPECTION IS REQUIRED QUALITY ASSURANCE SHALL BE CONDUCTED IN ACCORDANCE WITH 2018

ALL STRUCTURAL STEEL SHAPES, PLATES AND BARS SHALL BE ASTM A36 OR BETTER.

ALL BOLTS SHALL BE ASTM A307 OR BETTER.

ALL SHARP CORNERS AND EDGES SHALL BE GROUND TO A RADIUS EDGE FOR GOOD PAINT

LUMBER/FRAMING

ALL DIMENSIONAL LUMBER SHALL BE DOUGLAS FIR-LARCH VISUAL GRADED No.2 OR BETTER. ALL LUMBER SHALL BE SEASONED w/ A MOISTURE CONTENT NOT EXCEEDING 19% AT THE TIME OF INSTALLATION IN CONFORMANCE WITH

ALL LVL's & STRUCTURAL COMPOSITE LUMBER SHALL BE 2600 Fb 2.0E OR BETTER AS ESTABLISHED AND MONITORED

ALL GLULAM's SHALL BE 24F-V4 DF/DF OR BETTER AND SHALL BE MANUFACTURED AND IDENTIFIED AS REQUIRED IN

ALL PLYWOOD OR OSB SHEATHING SHALL BE APA RATED 32/16 SPAN-RATINGAND SHALL CONFORM TO DOC PS 1-09

PROVIDE SINGLE TRIMMER UNDER BEAMS FOR SPANS < 6'-0" AND DOUBLE TRIMMER FOR BEAMS W/ SPANS > 6'-0",

FLOOR JOIST BLOCKING IS REQUIRED AT ALL BEARING WALLS, POST, AND OTHER BEARING POINTS. WOOD FRAMING SHALL BE IN ACCORDANCE WITH THE 2018 IBC, CHAPTERS 5, 6 & 8, AS APPLICABLE

PROVIDE SIMPSON OR EQUAL CONNECTORS WHERE SHOWN ON DRAWINGS. INSTALL IN STRICT ACCORDANCE W/

MANUFACTURE RECOMMENDATIONS. ALL FASTENERS INTO PRESSURE TREATED WOOD SHALL BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL.

ALL HARDWARE SHALL BE INSTALLED AND SECURED IN PLACE PRIOR TO ANY COUNTY INSPECTIONS.

GENERAL STRUCTURAL NOTES 01-CARSON CITY 2018 IBC-001

DEFERRED SUBMITTAL

NONE

ADDITIC

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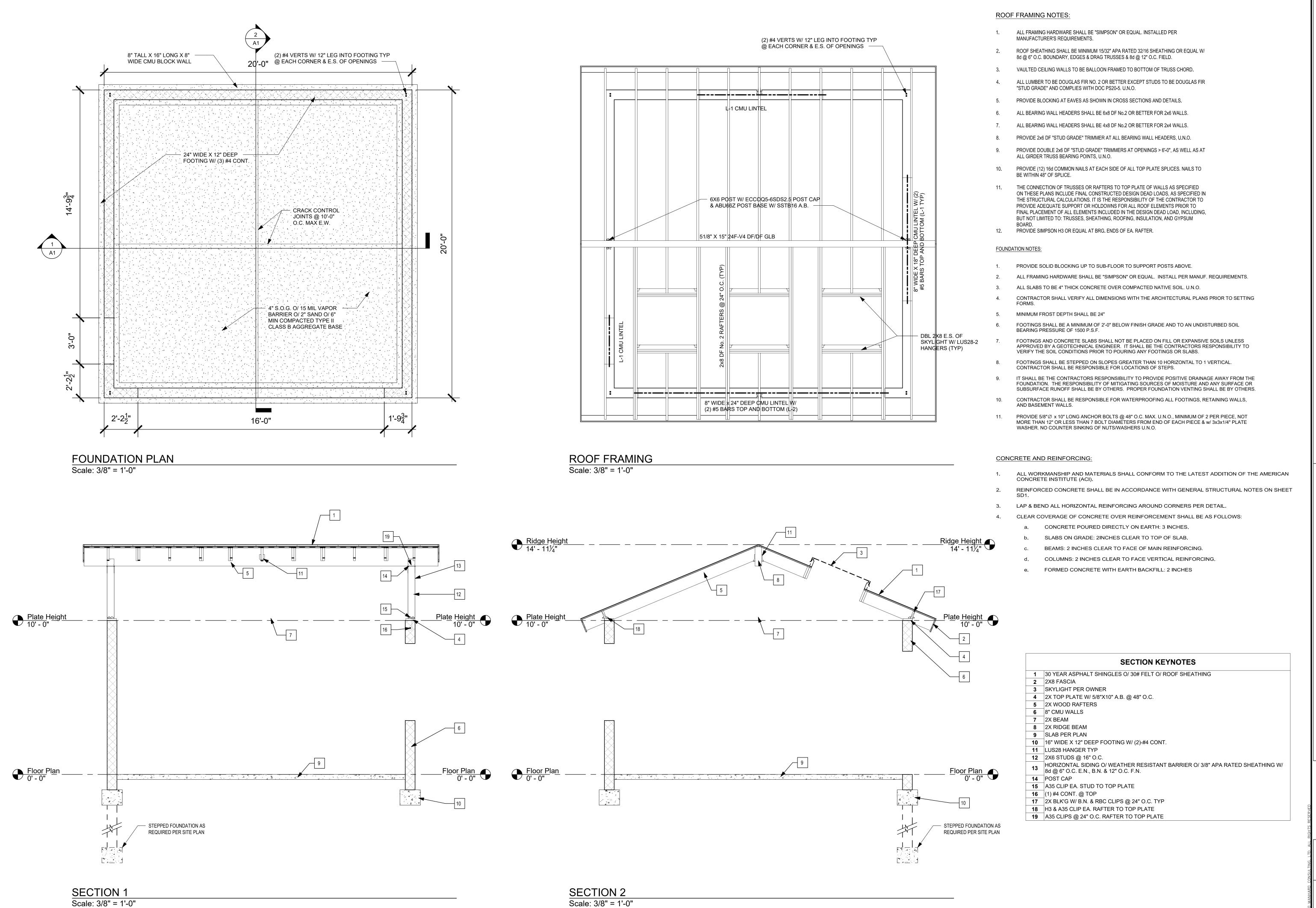
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SH

PROJ. MGR.: PROJ. ASSOC.:

03/25/202 SHEET



REVISIONS DRAWN BY C

N C TTM State Water Engineers Arabitote Planers

CONSULTANT OF THE PROPERTY OF STATE OF THE PROPERTY OF THE PROPERTY

M & OFFICE ADDITION
TY, NEVADA

OUTDOOR CLASSROOM & OFFIC CARSON CITY, NEVAD

PROJ. MGR.: RW

PROJ. ASSOC.: AGM

DRAWN BY: TJP

DATE: 03/25/20

AGM

RAWN BY: TJP

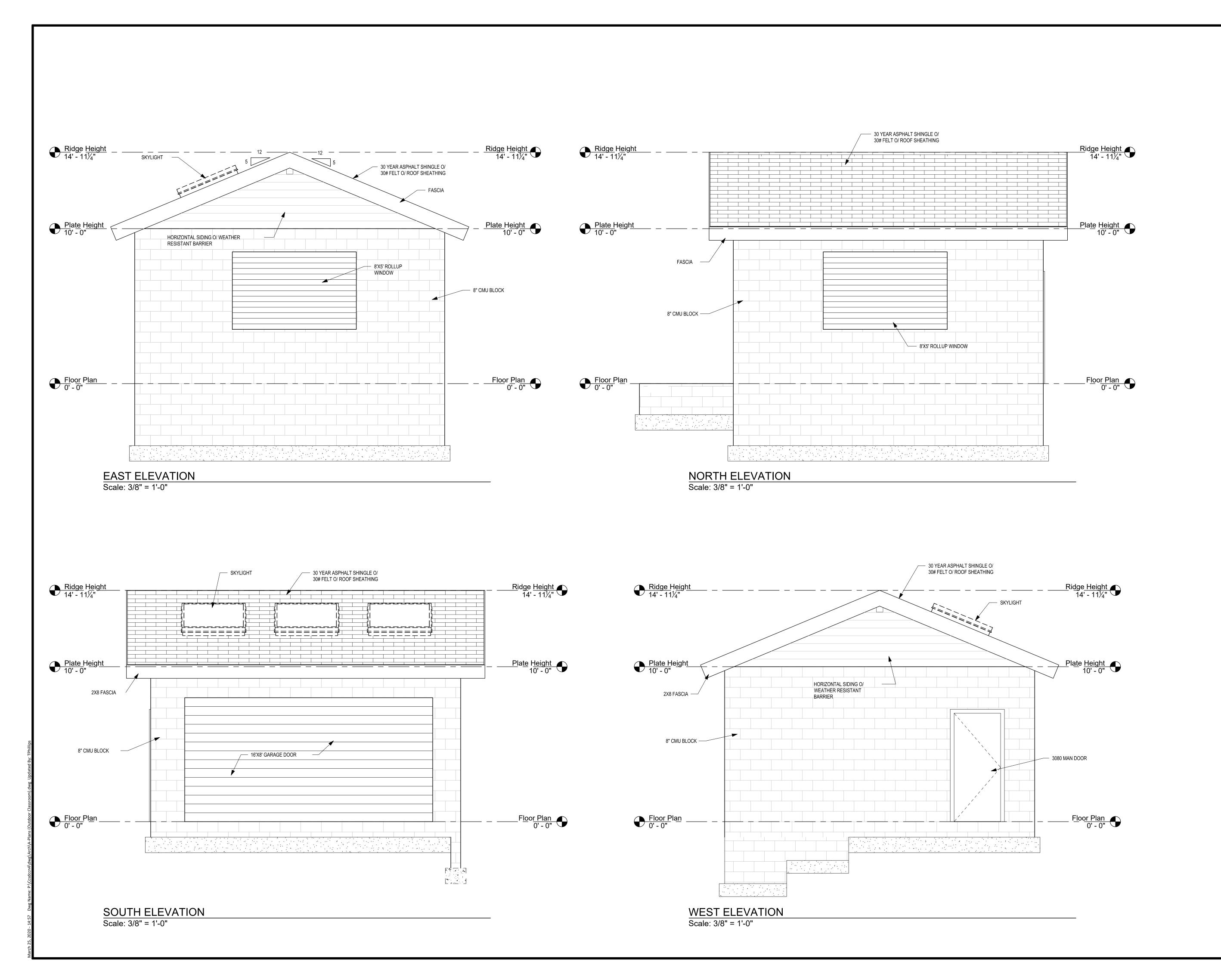
ATE: 03/25/2020

CALE: 3/8"=1'-0"

SHEET

SHEET

A1
d.ccn4

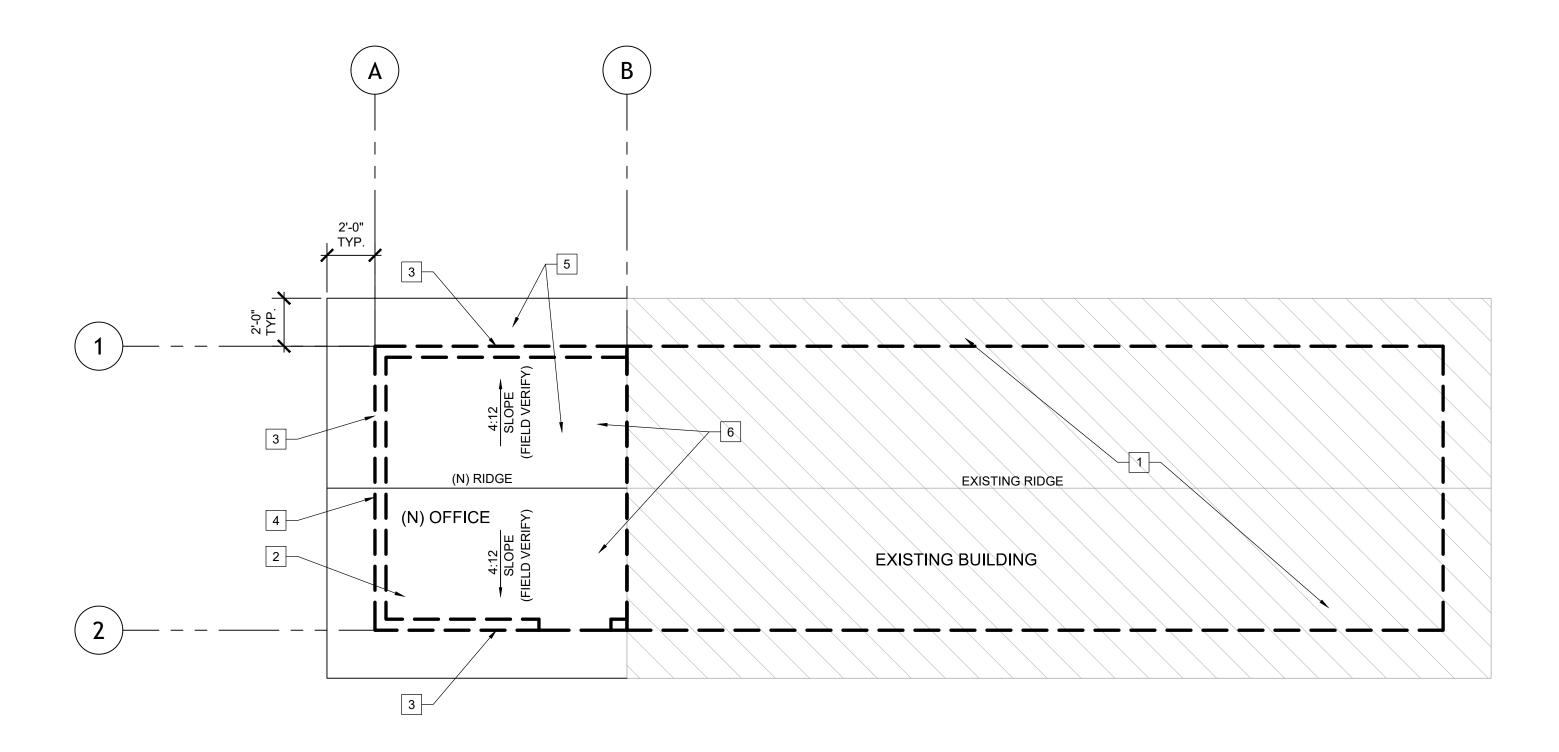


CARSON CITY, NEVADA

ELEVATIONS - OUTDOOR

OUTDOOR CLASSROOM & OFFICE ADDITION

TJP 03/25/2020 3/8"=1'-0"



ROOF PLAN

SCALE: 1/4" = 1'-0"

WALL LEGEND

EXTERIOR WALLS AT ADDITION TO BE 2x6 WOOD STUDS AT 16" O.C.

NEW 2x6 WOOD STUDS AT 16" O.C.

EXISTING STRUCTURE

SYMBOL

1 WEATHERSTRIP & THRESHOLD

2 SOLID CORE SELF CLOSING DOOR

3 NEW 22" X 30" ATTIC ACCESS

4 2x6 STUDS @ 16" O.C.

5 CONCRETE SLAB ON GRADE PER STRUCTURAL

6 CONCRETE STOOP

7 RELOCATE EXISTING UTILITIES

THIS PROJECT IS A ADDITION TO AN EXISTING STRUCTURE. THE STRUCTURAL DESIGN FOR THIS PROJECT HAS BEEN BASED ON THE BEST AVAILABLE INFORMATION RELATIVE TO THE AS-BUILT FRAMING & CONDITIONS @ THE TIME OF ORIGINAL CONSTRUCTION. ALL ASSUMED EXISTING INFORMATION SHALL BE VERIFIED BY THE BUILDER @ THE TIME OF INITIAL DEMOLITION. ALL PARTIES SHOULD ANTICIPATE THE POTENTIAL NEED FOR MODIFICATIONS TO THE INITIAL DESIGN IN ORDER TO ACCOMMODATE ACTUAL FIELD CONDITIONS. ALL DISCREPANCIES DISCOVERED IN THE FIELD SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER & DESIGNER IMMEDIATELY.

BUILDING DIMENSIONS SHOWN ARE FOR GENERAL REFERENCE ONLY. DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ENGINEER & DESIGNER SO CLARIFICATION CAN BE MADE. ALL DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

PRIOR TO CONSTRUCTION CONTRACTOR SHOULD REVIEW ALL ARCHITECTURAL AND STRUCTURAL PLANS AND FIELD INSPECTION ALL EXISTING CONDITIONS, PLATE HEIGHTS, AND FINISH FLOOR HEIGHTS, AND PLATFORM HEIGHTS TO ENSURE NEW CONSTRUCTION FRMAING MATCHES UP TO THE EXISTING RESIDENCE. ALL DISCREPANCIES SHOULD BE BROUGHT TO EOR AND DESIGNER OF RECORD ATTENTION PRIOR TO CONSTRUCTION.

	KEY NOTES
SYMBOL	
1 2	EXISTING ASPHALT SHINGLES O/ 30# FELT O/ ROOF SHEATHING PRE-MANUF. WOOD TRUSSES - SEE TRUSS CALCSTYP.
3	LINE OF WALL BELOW
4	ATTIC VENT PER ROOF VENTILATION NOTE #1
5	COMPOSITION ROOF O/ 30# FELT O/ ROOF SHEATHING (COLOR TO MATCH AND BLEND INTO EXISTING ROOF MATERIAL)
6	TRIM BACK EXISTING OVER HANG/EAVE AS REQUIRED FOR ADDITION

ROOF VENTILATION:

 THE MINIMUM NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/300 OF THE VENTED AREA SPACE.

ATTIC VENTILATION CALCULATIONS:

MAIN LEVEL:120 SQ. FT./300 = .04 SQ. FT. OF REQUIRED VENTILATION.

PROVIDE 40%-50% OF THE SQ. FT. OF VENTILATION NO MORE THAT 36" BELOW THE RIDGE OR HIGHEST POINT ON THE SPACE, THE REMAINDER OF THE VENTILATION SHALL BE AT THE EAVE LINE.

ATTIC VENTILATION STANDARD (w/ EAVE VENTS)

ATTIC SPACE

SOFFIT EAVE VENTS

GABLE VENTS

TOTAL VENT AREA PROVIDED

REQUIRED = 120 S.F./300 = 0.4 S.F.

LIVE Pointe Way, Suite 12, Carson City, NV, 89706 tel: (775) 882-5630 fax: (775) 885-7282 manhard.cc inneers | Surveyors | Water Resource Engineers | Water & Waste Water Engineer inneers | Environmental Scientists | Landscape Architects | Planne

CARSON CITY, NEVADA

ADDITION

OFFICE

CLASSROOM

OUTDOOR

CA

PROJ. MGR.: RW

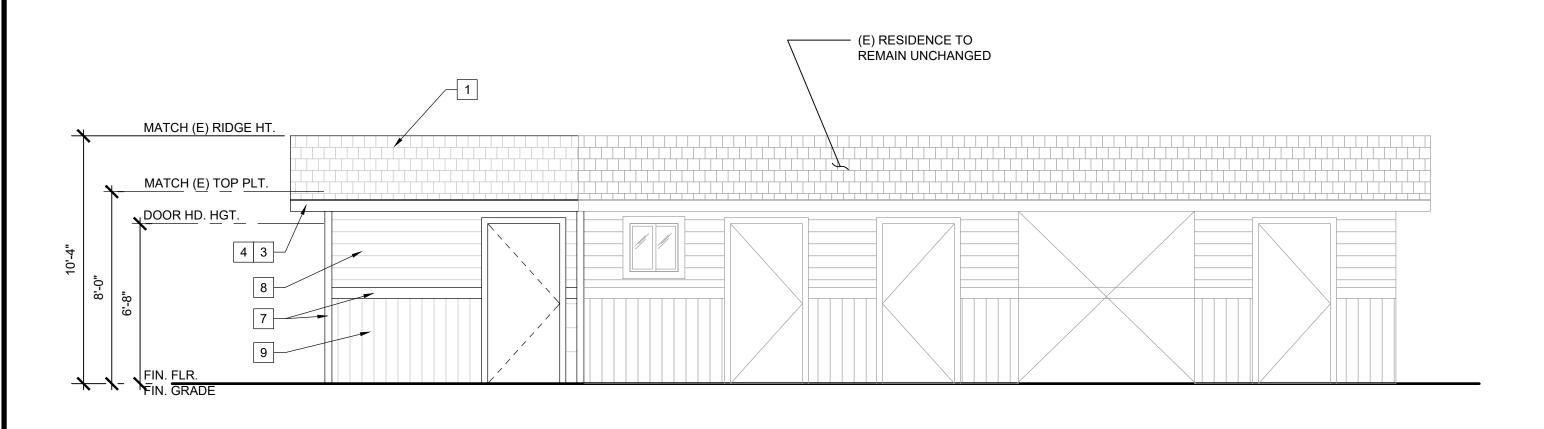
PROJ. ASSOC.: AGM

DRAWN BY: TJP

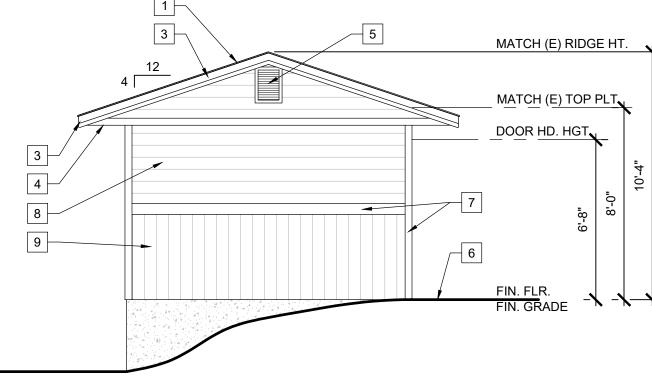
DATE: 03/25/202

SCALE: 1/4"=1'-0"

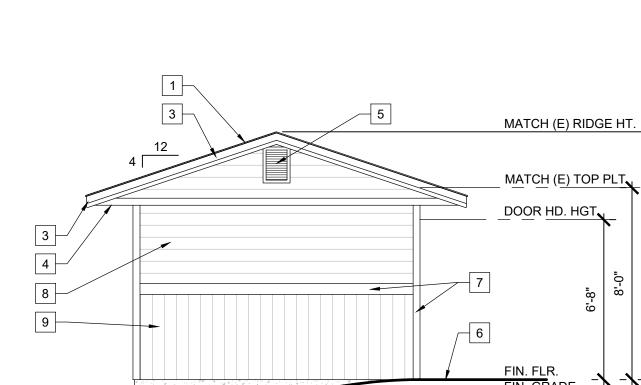
1/4"=1'-0"
SHEET
A3
ccn4



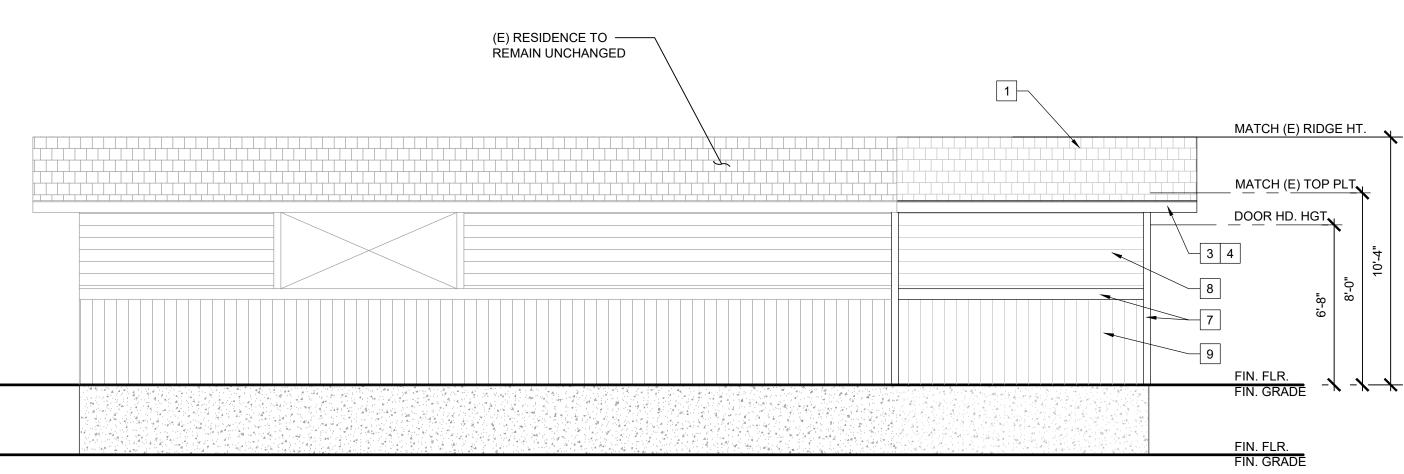
SOUTH ELEVATION



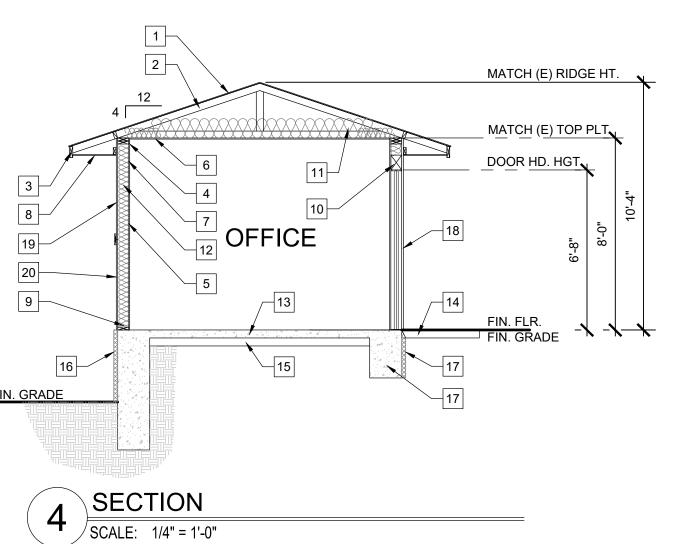




2 WEST ELEVATION
SCALE: 1/4" = 1'-0"



3 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



KEY NOTES SYMBOL 30 YEAR ASPHALT SHINGLES O/ 30# FELT O/ ROOF SHEATHING MATCH EXISTING ROOFING COLOR PRE-MANUF. WOOD TRUSSES - SEE TRUSS CALCS 2x6 FASCIA w/ 1x4 TRIM, MATCH EXISTING EAVE SOFFIT TO MATCH EXISTING 14" x 18" ATTIC VENT W/ WOOD TRIM SURROUND CONCRETE STOOP 2x DOOR AND EDGE TRIM, FIELD VERIFY AND MATCH EXISTING HORIZONTAL LAP SIDING o/ WEATHER RESISTANT BARRIER, FIELD VERIFY AND MATCH EXISTING VERTICAL LAP SIDING o/ WEATHER RESISTANT BARRIER, FIELD VERIFY AND MATCH EXISTING

> THIS PROJECT IS A ADDITION TO AN EXISTING STRUCTURE. THE STRUCTURAL DESIGN FOR THIS PROJECT HAS BEEN BASED ON THE BEST AVAILABLE INFORMATION RELATIVE TO THE AS-BUILT FRAMING & CONDITIONS @ THE TIME OF ORIGINAL CONSTRUCTION. ALL ASSUMED EXISTING INFORMATION SHALL BE VERIFIED BY THE BUILDER @ THE TIME OF INITIAL DEMOLITION. ALL PARTIES SHOULD ANTICIPATE THE POTENTIAL NEED FOR MODIFICATIONS TO THE INITIAL DESIGN IN ORDER TO ACCOMMODATE ACTUAL FIELD CONDITIONS. ALL DISCREPANCIES DISCOVERED IN THE FIELD SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER & DESIGNER IMMEDIATELY.

BUILDING DIMENSIONS SHOWN ARE FOR GENERAL REFERENCE ONLY. DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ENGINEER & DESIGNER SO CLARIFICATION CAN BE MADE. ALL DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

PRIOR TO CONSTRUCTION CONTRACTOR SHOULD REVIEW ALL ARCHITECTURAL AND STRUCTURAL PLANS AND FIELD INSPECTION ALL EXISTING CONDITIONS, PLATE HEIGHTS, AND FINISH FLOOR HEIGHTS, AND PLATFORM HEIGHTS TO ENSURE NEW CONSTRUCTION FRMAING MATCHES UP TO THE EXISTING RESIDENCE. ALL DISCREPANCIES SHOULD BE BROUGHT TO EOR AND DESIGNER OF RECORD ATTENTION PRIOR TO CONSTRUCTION.

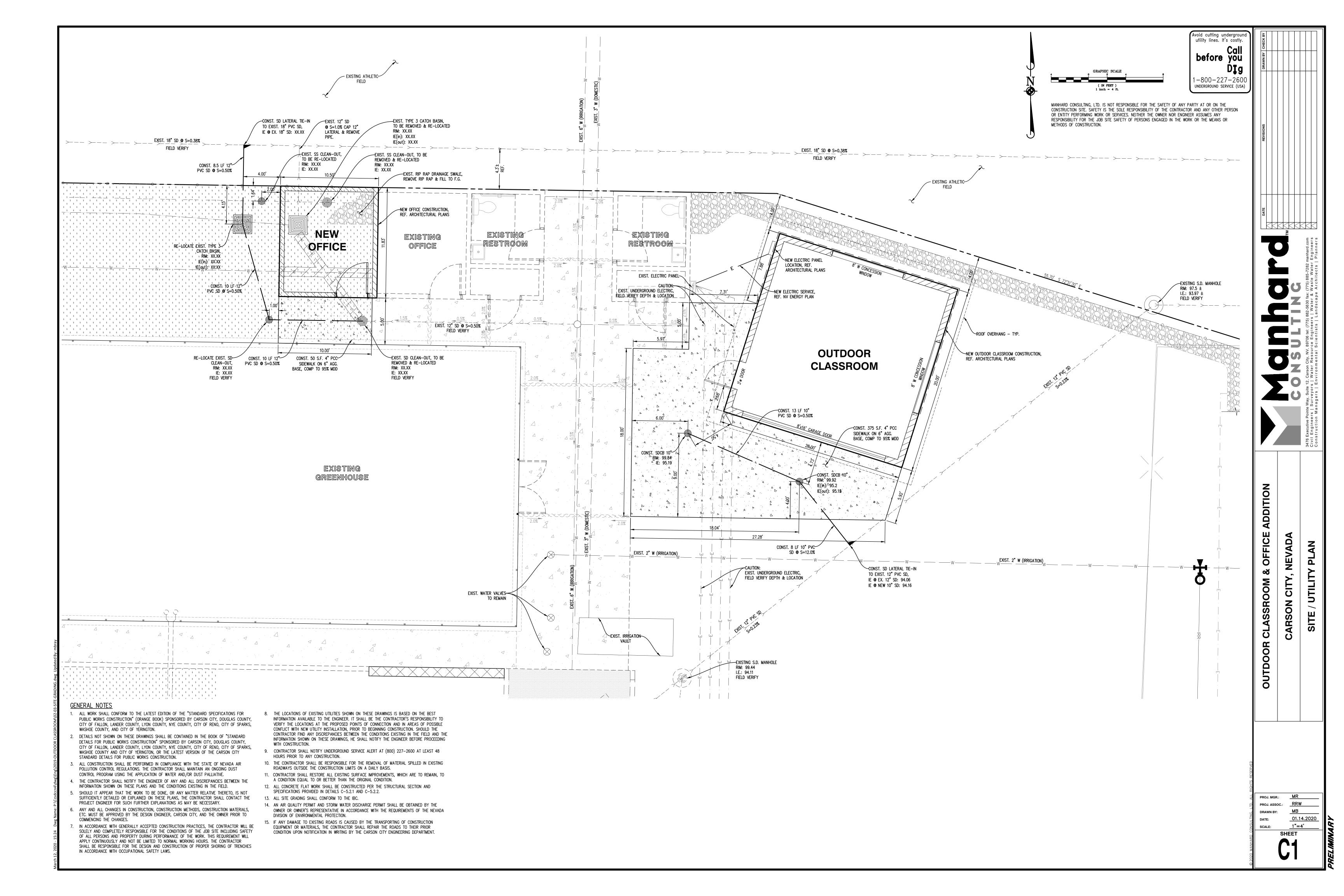
	KEY NOTES
YMBOL	
1	30 YEAR ASPHALT SHINGLES O/ 30# FELT O/ ROOF SHEATHING MATCH EXISTING ROOFING COLOR
2	PRE-MANUF. WOOD TRUSSES - SEE TRUSS CALCS
3	2x6 FASCIA w/ 1x4 TRIM, MATCH EXISTING
4	DBL. 2x TOP PLATE
5	1/2" GYP. BOARD
6	5/8" GYP. BOARD.
7	2x6 STUDS @ 16" O.C.
8	EAVE SOFFIT TO MATCH EXISTING
9	2x P.T. D.F. SILL PLATE
10	HEADER PER STRUCTURAL
11	R-49 INSULATION
12	R-21 INSULATION
13	CONCRETE SLAB ON GRADE PER STRUCTURAL
14	CONCRETE STOOP
15	2" SAND W/ STEGOCRAWL WRAP 15-MIL (CLASS 1) VAPOR BARRIER
16	2" RIGID INSULATION
17	FOUNDATION PER STRUCTURAL
18	2x DOOR AND EDGE TRIM, FIELD VERIFY AND MATCH EXISTING
19	HORIZONTAL LAP SIDING σ WEATHER RESISTANT BARRIER, FIELD VERIFY AND MATCH EXISTING
20	VERTICAL LAP SIDING o/ WEATHER RESISTANT BARRIER, FIELD VERIFY AND MATCH EXISTING

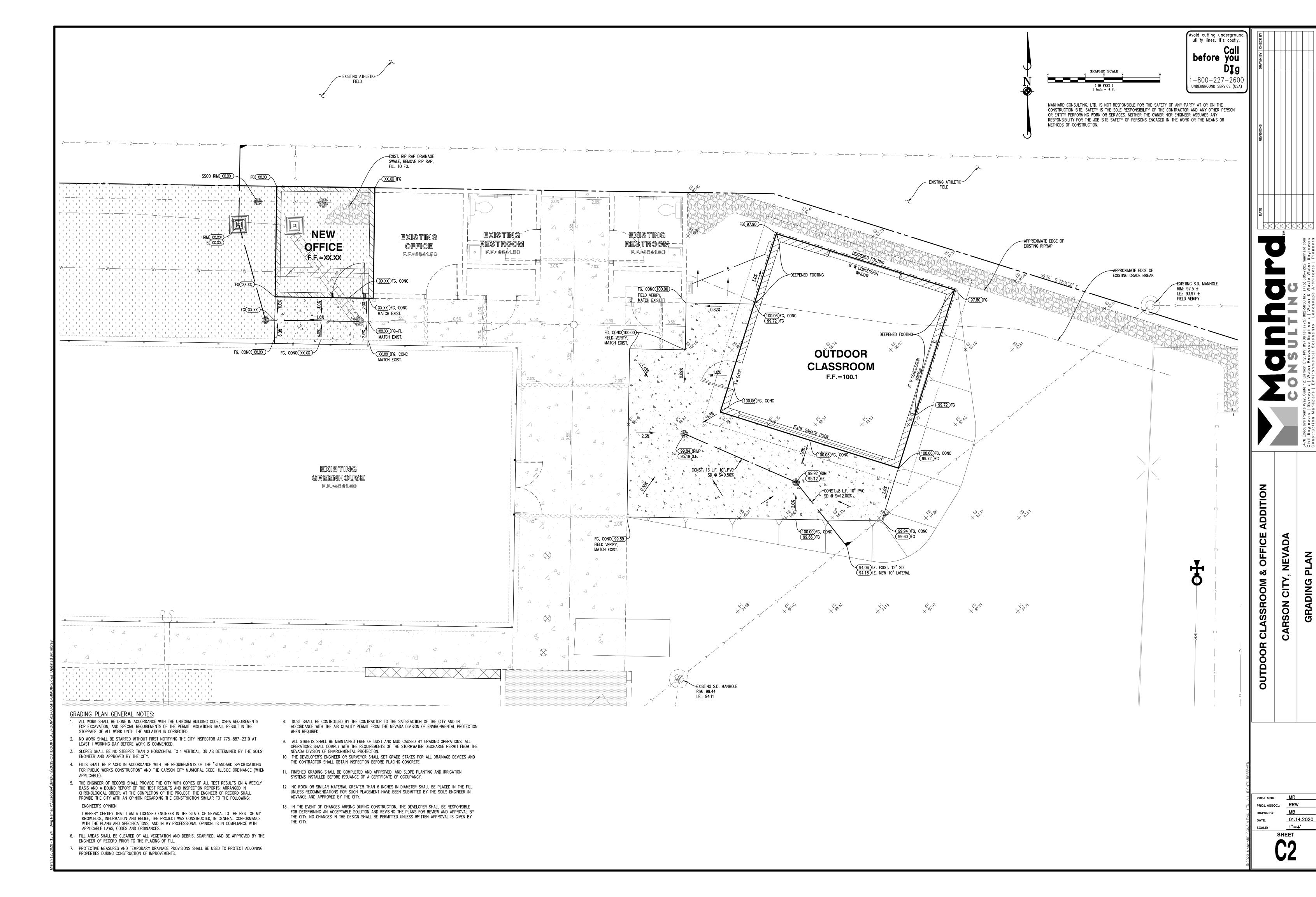
TJP 03/25/2020 1/4"=1'-0"

ELEVATIONS

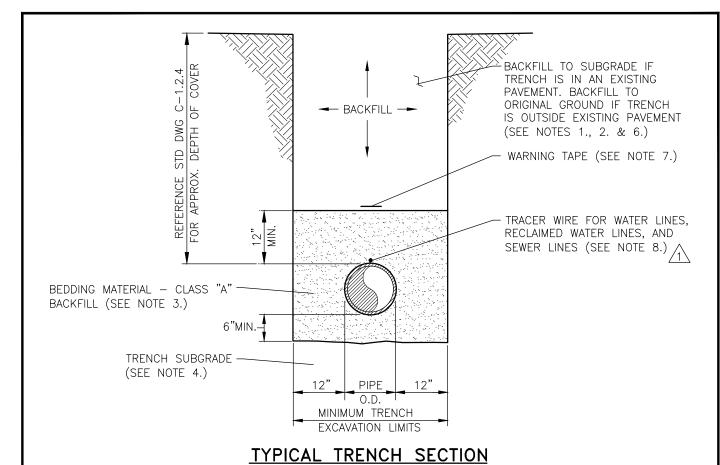
OUTDOOR CLASSROOM & OFFICE ADDITION CARSON CITY, NEVADA & SECTION

FIN. GRADE





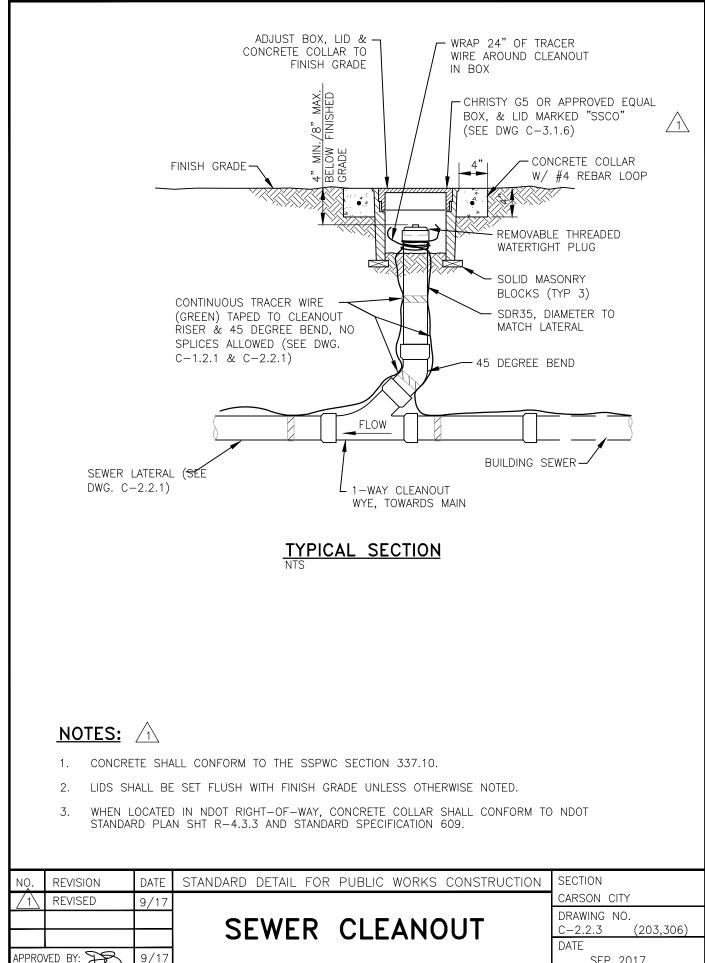
RELIMINARY

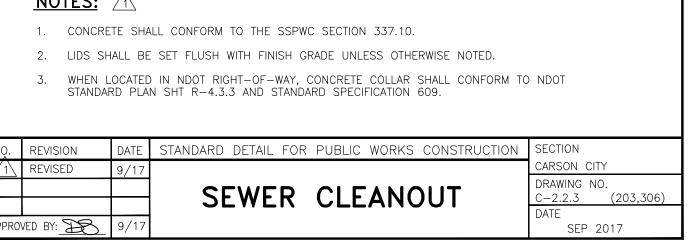


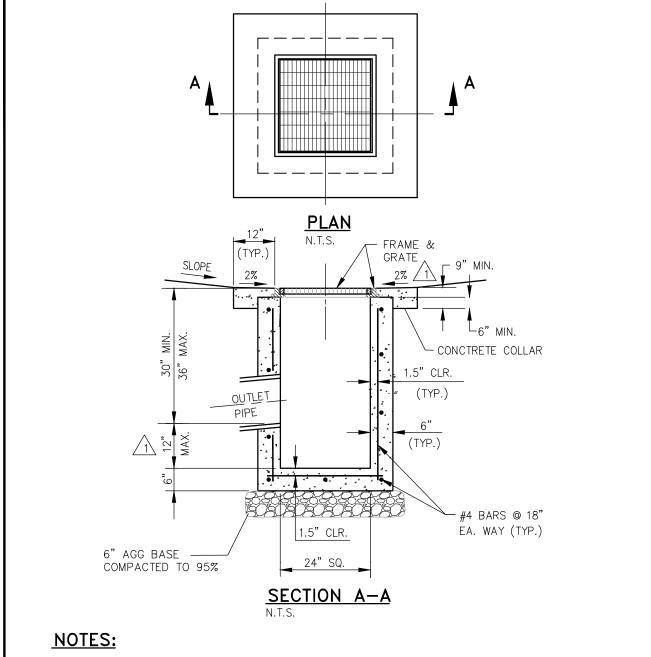
. WATER DENSIFIED BACKFILL AND TUNNELING SHALL BE BY SPECIAL PROVISION ONLY.

- 2. BACKFILL SHALL CONFORM TO THE REQUIREMENTS OF CLASS E BACKFILL AS SPECIFIED IN SUBSECTION 200.03.06 OF THE SSPWC. MATERIAL SHALL BE PLACED IN LIFT THICKNESS SPECIFIED IN SUBSECTION 305.10 OF THE SSPWC AND DENSIFIED TO 90% RELATIVE COMPACTION.
- 3. BEDDING SHALL CONFORM TO THE REQUIREMENTS OF CLASS A BACKFILL AS SPECIFIED IN SUBSECTION 200.03.02 OF THE SSPWC. MATERIAL SHALL BE DENSIFIED TO 90% RELATIVE COMPACTION.
- 4. PLANS SHALL INCLUDE A DETAIL FOR SUBGRADE STABILIZATION INCLUDING BACKFILL MATERIAL, STRUCTURAL GEOTEXTILE FILTER FABRIC AND MODIFIED CUTOFF COLLARS WHEN POTENTIAL FOR UNSTABLE SUBGRADES EXIST, SUBJECT TO THE APPROVAL OF THE CARSON CITY ENGINEER OR PUBLIC WORKS DIRECTOR.
- 5. FOR TRENCHES IN ROADWAY SECTION, SEE PAVEMENT PATCH DETAIL (DWG. No. C-5.1.6).
- 6. FOR THE PURPOSE OF PAYMENT; EXCAVATION AND BACKFILL QUANTITIES ARE BASED ON THESE STANDARD DRAWINGS, AND NO ADDITIONAL COMPENSATION WILL BE MADE. SHORING OR SLOPED CUT SLOPES MAY BE NECESSARY, BUT THERE WILL BE NO ADDITIONAL PAYMENT. ALL EXCAVATIONS SHALL CONFORM TO THE LATEST O.S.H.A. REQUIREMENTS.
- 7. PLACE WARNING TAPE 1 FOOT ABOVE ALL BURIED PIPES AND CONDUITS.
- 8. TRACER WIRE SHALL BE 12 GAUGE (MINIMUM THICKNESS) INSULATED SOLID COPPER WIRE. INSULATION SHALL BE 30 MIL HDPE. PLANS SHALL SPECIFY WIRE STRENGTH AND INSULATION THICKNESS FOR BORING o1\ applications. Splices shall be connected by wire nuts, sealed with aqua seal or silicon filled, AND DOUBLE WRAPPED WITH U/L LISTED ELECTRICAL TAPE. TRACER WIRE COLOR SHALL BE, BLUE FOR WATER, PURPLE FOR RECLAIMED WATER, GREEN FOR SEWER AND YELLOW FOR ELECTRICAL OR FIBER OPTIC.

NO.	REVISION	DATE	STANDARD DETAIL FOR PUBLIC WORKS CONSTRUCTION	SECTION
/1\	NOTE 8	9/17		CARSON CITY
			TRENCH EXCAVATION	DRAWING NO.
			1 —	C-1.2.1 (305)
			AND BACKFILL	DATE
APPRO'	VED BY: 25	9/17	71110 0710111122	SEP 2017



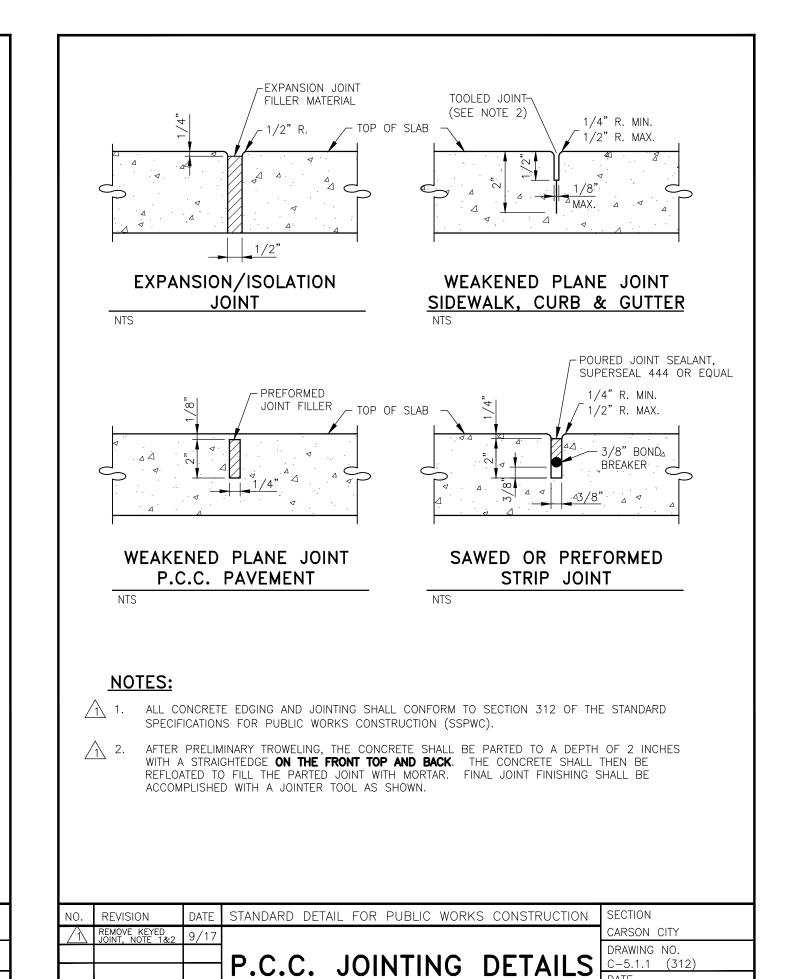




- PORTLAND CEMENT CONCRETE (P.C.C.) SHALL HAVE THE FOLLOWING CHARACTERISTICS: 4000 PSI MIN. COMPRESSIVE STRENGTH @ 28 DAYS, (FOR COLLAR ONLY, ALL UNEXPOSED CONCRETE MAY BE 3000 PSI) MIN. 6 SACKS OF CEMENT PER CUBIC YARD WITH A MAX. WATER/CEMENT RATIO OF 0.45, AIR ENTRAINMENT 6% ±1.5%, SLUMP AT 1 TO 4 INCHES. ALL MATERIALS SHALL CONFORM TO SSPWC SECTION 202.
- 1 2. REINFORCING STEEL SHALL BE GRADE 40 AND HAVE A MINIMUM OF 1.5 INCHES CLEAR COVER.
- 3. CONCRETE STRUCTURE MAY BE A PRE-CAST CONCRETE UNIT. BASE OF PRE-CAST CONCRETE UNIT SHALL BE PLACED ON 6 INCHES OF COMPACTED DRAIN ROCK.
- 4. FRAME & GRATE SHALL BE JENSEN ADA COMPLIANT FG2424H (SIZE VARIES) OR APPROVED EQUAL.

										`		,				
	5. CATCH	BASIN	SHALL	BE H20	TRAFFI	IC-RATED	AND	USED	ONLY	АТ	LOW	POINTS	IN	ALLEYS	OR	
	PARKIN	G AREA	ιS.													
NO	DEMICION	DATE	CTAN		DETAIL		IDLIC	WOD			יוחדי	ICTION	(SECTION		

	PARKING	G AREA	AS.	
NO.	REVISION	DATE	STANDARD DETAIL FOR PUBLIC WORKS CONSTRUCTION	SECTION
/1\	OUTLET HEIGHT			CARSON CITY
	NOTE 2	9/17	CATCH BASIN	DRAWING NO.
			TYPE 3-R	C-4.1.4 DATE
APPR0	OVED BY: DR	9/17	I I I I I I I I I I I I I I I I I I I	SEP 2017



PPROVED BY: 🄀 🛭 9



ADDITIC OFFICE

SEP 2017

NEVAD/ CARSON

CLASSROOM

PROJ. MGR.: 01.14.2020

1. NO CONCRETE SHALL BE PLACED UNTIL FORMS AND SUBGRADE ARE INSPECTED AND APPROVED BY CARSON CITY PUBLIC WORKS.

2. PORTLAND CEMENT CONCRETE (P.C.C.) SHALL HAVE THE FOLLOWING CHARACTERISTICS: SYNTHETIC FIBER-REINFORCEMENT (AT A MINIMUM OF 1 POLIND PER CURIO MARRY 1995) 1995 FIRE FIBER-REINFORCEMENT (AT A MINIMUM OF 1 POUND PER CUBIC YARD), 4000 PSI MIN COMPRESSIVE STRENGTH @ 28 DAYS, MIN 6 SACKS OF CEMENT PER CUBIC YARDS WITH A MAX. WATER/CEMENT RATIO OF 0.45, AIR ENTRAINMENT 6% ±1.5%, SLUMP AT 1 TO 4 INCHES ALL MATERIALS SHALL CONFORM TO SSPWC SECTION 202. OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.

3. ALL CONCRETE EDGING AND JOINTING SHALL BE CONSTRUCTED IN ACCORDANCE WITH STD. DETAIL C-5.1.1 AND CONFORM TO SEC. 312 OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (SSPWC)

4. IF OBSTRUCTIONS SUCH AS INLETS, UTILITY POLES, FIRE HYDRANTS, ETC. ARE ENCOUNTERED, THE LOCATION AND DIMENSIONS MAY BE ADJUSTED UPON APPROVAL BY CARSON CITY PUBLIC WORKS. A MINIMUM SURFACE OF 4 FEET X 4 FEET CLEAR IS REQUIRED WHEN DIRECTION OF TRAVEL MAY CHANGE AND A MINIMUM SURFACE OF 4 FEET CLEAR IS REQUIRED WHERE DIRECTION OF TRAVEL IS NOT EXPECTED TO CHANGE, UNLESS OTHERWISE APPROVED BY THE CARSON CITY ENGINEER OR PUBLIC WORKS DIRECTOR.

5. ALL CONCRETE SHALL BE REMOVED TO A NEAT SAWCUT LINE AT THE NEAREST CONTROL JOINT. 6. ALL AGGREGATE BASE SHALL BE TYPE 2, CLASS B AND SHALL CONFORM TO SEC.200.01. OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (SSPWC).

7. NEW CONCRETE SHALL HAVE A HEAVY BROOM FINISH PERPENDICULAR TO SIDEWALK.

8. AC PAVEMENT EDGE SHALL BE FLUSH TO 1/4 INCH ABOVE THE LIP OF GUTTER.

NO.	REVISION	DATE	STANDARD DETAIL FOR PUBLIC WORKS CONSTRUCTION	SECTION
/1\	NOTE 2,3,4,5,8	9/17		CARSON CITY
			SIDEWALK AND DRIVEWAY	DRAWING NO. C-5.2.1
			GENERAL NOTES	DATE
APPRO'	VED BY: 🎛 🛚	9/17	GENERAL NOTES	SEP 2017