

## STAFF REPORT FOR PLANNING COMMISSION MEETING OF APRIL 29, 2020

FILE NO: LU-2020-0002

AGENDA ITEM: E.2

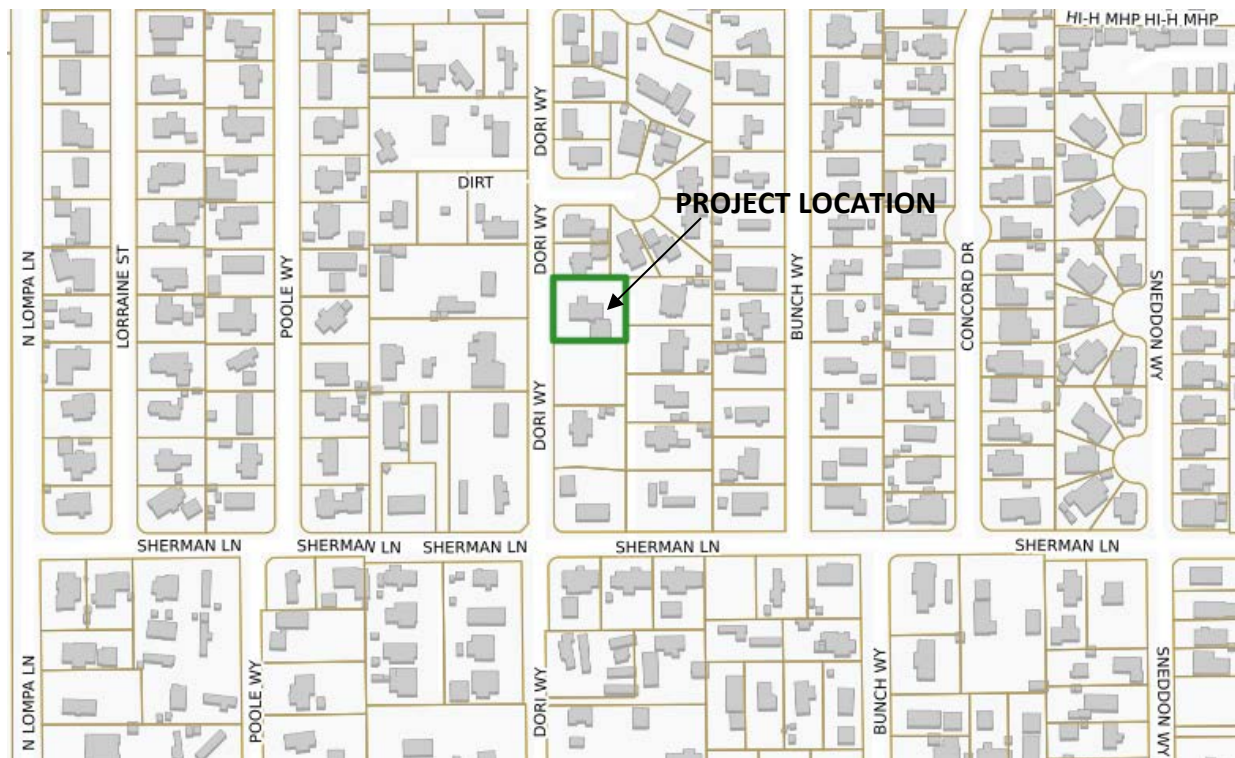
STAFF CONTACT: Heather Ferris, Associate Planner

**AGENDA TITLE:** For Possible Action: Discussion and possible action regarding a request for a Special Use Permit to allow for detached accessory structures that exceed, in aggregate, 75% of the size of the primary structure on property zoned (MH12), located at 2699 Dori Way, APN 008-183-26. (Heather Ferris, hferris@carson.org)

**Summary:** The applicant is seeking approval for a detached carport of 540 square feet. The primary structure on the property is 1,440 square feet and the existing detached garage is 840 square feet in size. With the addition of the carport the resulting combined accessory structures are 96% of the size of the primary structure. Detached accessory structures exceeding a combined 75% of the size of the primary structure required approval of a Special Use Permit.

**PROPOSED MOTION:** "I move to approve Special Use Permit LU-2020-0002, based on the findings and subject to the conditions of approval contained in the staff report."

### VICINITY MAP:



**RECOMMENDED CONDITIONS OF APPROVAL:**

**The following shall be completed prior to commencement of the use:**

1. The applicant must sign and return the Notice of Decision for conditions for approval within 10 days of receipt of notification. If the Notice of Decision is not signed and returned within 10 days, then the item may be rescheduled for the next Planning Commission meeting for further consideration.
2. All development shall be substantially in accordance with the development plans approved with this application, except as otherwise modified by these conditions of approval.
3. All on and off-site improvements shall conform to City standards and requirements.
4. The applicant shall meet all the conditions of approval and commence the use for which this permit is granted, within 12 months of the date of issuance of the Special Use Permit. A single, one-year extension of time may be granted if requested in writing to the Planning Division 30 days prior to the one-year expiration date. Should this permit not be initiated within one-year and no extension granted the permit shall become null and void.

**The following shall be accomplished with a Building Permit application:**

5. Prior to issuance of the building permit for the carport, the applicant shall remove the storage shed as shown on the approved site plan.
6. The applicant shall submit a copy of the Notice of Decision and conditions of approval with the Building Permit application.
7. The driveway apron must be removed and replaced to meet the current ADA standard.
8. The driveway must be paved and must be at least 12 feet wide.
9. The site must drain away from foundations and to the City street.

**The following are general requirements applicable through the life of the project:**

10. Any other detached accessory structures proposed for the site in the future will require additional review and approval of a Special Use Permit prior to construction.

**LEGAL REQUIREMENTS:** CCMC 18.02.080 (Special Use Permits); 18.04.085 (Mobilehome 6,000 and 12,000 residential districts); 18.04.190 (Residential Districts Intensity and Dimensional Standards); 18.05.055 (Accessory Structures).

**MASTER PLAN DESIGNATION:** Medium Density Residential

**PRESENT ZONING:** Mobilehome 12,000 (MH12)

**KEY ISSUES:** Will the proposed carport have an adverse impact on the adjacent residential neighborhood?

**SURROUNDING ZONING AND LAND USE INFORMATION:**

**NORTH:** Mobilehome 6,000/ single family residence (manufactured home)

EAST: Mobilehome 12,000/ single family residence (manufactured home)  
SOUTH: Mobilehome 12,000/ single family residence (manufactured home)  
WEST: Mobilehome 12,000/ single family residences (manufactured homes)

**ENVIRONMENTAL INFORMATION:**

1. FLOOD ZONE: X (areas of minimal flooding)
2. EARTHQUAKE FAULT: Beyond 500 feet
3. SLOPE/DRAINAGE: Flat

**SITE DEVELOPMENT INFORMATION:**

1. LOT SIZE: 0.39 acres
2. PROPOSED STRUCTURE SIZE: 540 square feet
3. PROPOSED STRUCTURE HEIGHT: 10 +/- feet
5. REQUIRED SETBACKS: 20 feet from front; 10 feet from side; 20 feet from rear. As proposed, the structure meets these setbacks.
6. VARIANCES REQUESTED: None

**DISCUSSION:**

The applicant is seeking approval for a detached carport of 540 square feet. The primary structure on the property is 1,440 square feet with an existing detached garage 840 square feet in size. With the addition of the carport, the resulting combined accessory structures are 96% of the size of the primary structure. Detached accessory structures exceeding a combined 75% of the size of the primary structure required approval of a Special Use Permit.

The carport and another shed structure were constructed without permits. The applicant is seeking approval of the special use permit and if approved, will obtain the appropriate building permits for the carport. The shed structure will be removed as it does not meet the setback requirements. Many properties in the area have one or more accessory structures including carports, sheds, and detached garages.

An accessory structure, such as a carport, is a permitted accessory use in the Mobilehome 12,000 zoning district, however, per Carson City Municipal Code (CCMC) Section 18.05.055 Accessory Structure, accessory structures exceeding 75% of the size of the primary structure requires approval of a Special Use Permit. Considering the existing detached garage and the carport, the total cumulative square footage of accessory structures on this parcel would be 1,380 square feet or approximately 96% of the size of the primary residential structure.

**PUBLIC COMMENTS:** Public notices were mailed to 37 property owners within 300 feet of the subject site on April 17, 2020. As of the date of writing of this report no public comments have been received regarding this application. Any comments that are received after this report is completed will be submitted to the Planning Commission prior to or at the meeting on April 29, 2020 depending on the date of submission of the comments to the Planning Department.

**OTHER CITY DEPARTMENTS OR OUTSIDE AGENCY COMMENTS:**

Plans were routed to commenting agencies and the following comments were received. Comments have been incorporated into the conditions of approval as appropriate.

**Engineering Division:**

The Engineering Division has no preference or objection to the special use request provided that the following conditions are met:

- The project must meet applicable Carson City development standards and standard details including the following:
  - The driveway apron must be removed and replaced to meet the current ADA standard.
  - The proposed driveway must be paved and must be at least 12 feet wide.
  - The site must drain away from foundations and to the City street.

**Discussion:**

The Engineering Division has reviewed the application within our areas of purview relative to adopted standards and practices and to the provisions of CCMC 18.02.080, Conditional Uses. The Engineering Division offers the following discussion:

**C.C.M.C. 18.02.080 (5a) - Master Plan**

The request is not in conflict with any Engineering Master Plans.

**C.C.M.C. 18.02.080 (5b) – Use, Peaceful Enjoyment, Economic Value, Compatibility**

Development Engineering has no comment on this finding.

**C.C.M.C. 18.02.080 (5c) - Traffic/Pedestrians**

The project will have a negligible impact on traffic and pedestrian circulation, provided that the above conditions of approval are met.

**C.C.M.C. 18.02.080 (5d) - Public Services**

The project will have a negligible impact on sewer, water, and storm drain infrastructure.

**C.C.M.C. 18.02.080 (5e) – Title 18 Standards**

Development Engineering has no comment on this finding.

**C.C.M.C. 18.02.080 (5f) – Public health, Safety, Convenience, and Welfare**

The project meets engineering standards for health and safety.

**C.C.M.C. 18.02.080 (5g) – Material Damage or Prejudice to Other Property**

Development Engineering has no comment on this finding.

**C.C.M.C. 18.02.080 (5h) – Adequate Information**

The plans and reports provided were adequate for this analysis.

**Fire Department:**

Project must comply with the 2018 IFC and northern Nevada fire code amendments as adopted by Carson City.

**FINDINGS:** Staff's recommendation is based upon the findings as required by CCMC Section 18.02.080 (Special Use Permits) enumerated below and substantiated in the public record for the project.

**1. Will be consistent with the master plan elements.**

The primary uses in the Medium Density Residential master plan designation primarily includes single family residences. A carport and other similar structures are considered an accessory use and are therefore consistent with the master plan.

- 2. Will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and will cause no objectionable noise, vibrations, fumes, odors, dust, glare or physical activity.**

Carports and other similar accessory structures are common in residential areas. Many of the homes in the surrounding area also have detached accessory structures including garages, sheds, and carports. The carport will not result in objectionable noise, vibrations, fumes, odors, dust, glare or physical activity. The carport will be utilized to store the applicant's personal cars under cover.

- 3. Will have little or no detrimental effect on vehicular or pedestrian traffic.**

A carport and other similar accessory structures are permitted accessory uses in the Mobilehome 12,000 zoning district. The carport for personal use by the residents will not result in an increase in vehicular or pedestrian traffic. Staff is recommending conditions of approval requiring improvements to the driveway, driveway apron, and drainage. With these recommended conditions of approval, the project will have little or no detrimental effect on vehicular or pedestrian traffic.

- 4. Will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage, and other public improvements.**

The carport is a permitted accessory use in the Mobilehome 12,000 zoning district. The construction of a carport for personal use by the resident will have no impact on existing public water or sewer services. The project is required to meet the development standards related to storm drain runoff and will have negligible impact to the natural drainage ways that serve the area. The Fire Department currently serves this residence. The building permit will be reviewed for compliance with the Carson City Fire Code, northern Nevada amendments (2018 IFC) and the 2018 International Wildland Urban Interface Code and northern Nevada Wildland Urban Interface amendments as adopted by Carson City.

- 5. Meets the definition and specific standards set forth elsewhere in this title for such particular use and meets the purpose statement of that district.**

As conditioned, the project meets the definition and specific standards set forth in this title for this particular use. The subject parcel is zoned Mobilehome 12,000. The intent of this zoning is to provide for development of residential lots primarily with mobilehome and manufactured homes. Accessory structures are permitted accessory. Per Carson City Municipal Code (CCMC) Section 18.05.055 accessory buildings exceeding 75% of the size of the primary structure requires approval of a Special Use Permit. Considering the two accessory structures (the existing detached garage and subject carport) the total cumulative square footage is 1,380 square feet or approximately 96% of the size of the primary residential structure (1,440 square feet). The other shed structure constructed without a permit will be required to be removed prior to issuance of the building permit for the carport. With the recommended conditions of approval, the carport will meet the standards outlined in Title 18.

- 6. Will not be detrimental to the public health, safety, convenience and welfare.**

An accessory structure is a permitted accessory use in the Mobilehome 12,000 zoning district. A Special Use Permit is only required if the square footage of the accessory structures exceeds 75% of the size of the primary structure. The total square footage of the existing detached garage and subject carport will not be detrimental to the public health, safety, convenience and welfare. The carport will also require a building permit to ensure that it has been constructed to current standards. The other shed will be removed prior to the issuance of the building permit for the carport.

**7. Will not result in material damage or prejudice to other property in the vicinity.**

This review is based on the cumulative square footage of the accessory structures compared to the square footage of the primary structure (single family residence). Carports and other detached accessory structures are common in this area.

Attachments:

Application (LU-2020-0002)



Ruben Garcia-Ruiz  
2699 Dori Way  
Carson City, Nevada, 89706

Contact: 775 -220 9216  
Applicant: Owner

SUP: Request to add (carport )

Parcel number: 008-183-26

In compliance with the title 18.05.055.7, the owner of 2699 Dori way is requesting approval of special use permit, the size of the primary structure (mobile home) is 1440 sf. There are detached on site 1380sf. or a total of 96% of the size of the primary structure. Detached structure is 540 sf (carport) and 840 sf. Garage was approved under previous building permits. The carport and building were recently built without permit. In order to have on approval of the request for building permit, as the detached accessory structures exceed 96% of the size of the primary structure. This request is to allow the existing 540 sf. (carport) building to be permitted. And also a storage was built without a permit that doesn't meet the setback requirements and will be removed.

1. Will be consistent with the objectives of master plan elements.  
The property is medium residential area as described by the Carson City master plan document will remain as such. We are requesting to add detached (carport) to allow our vehicles to be parked in cover area.
2. Will not detrimental to the use peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood.
  - A. The property is surround on North East, by medium density residential homes
  - B. In adding the (carport) and ( storage) will not hurt property values or cause problems with neighboring property owners.
3. Will have little or not detrimental effect on vehicular or pedestrian traffic.  
This project doesn't affect traffic or pedestrian in any way.
4. Will not overburden existing public service and facilities.
  - A. This project will not affect schools system in any way.
  - B. This project doesn't affect the Police or fire system.
  - C. This project doesn't affect the water or sewer system.
  - D. This project doesn't affect, no changes or upgrade.



5. Meets the definition and specific standards set forth in the Carson City municipal code.
- A. The (carport) does meet the specific zoning standards. (it exceeds the minimum setback side requirement of 10 feet ) ( the rear setback meets the requirement of 20 feet).
6. Will not detrimental to the public health, safety convenience, and welfare:  
This project doesn't affect as it is to serve our residence only.
7. Will not result in the material damage or prejudice to other property in the vicinity.  
This project doesn't affects or cause damage to the properties in the vicinity, the addition of the (carport) increases improvements of the property as our vehicles to parked.

We thank you for you time in considering this request, with you approval it will allow us to continue improving the site and making steps to better the area. Having (carport) keep our vehicles protected from Northern Nevada climate and weather.

I certify that forgoing statements are true and correct to the best of my knowledge and belief. I agree to fully comply with all conditions as established by the planning commission I am aware that this permit becomes null and void if the use is not initiated within one-year of the date of the planning commission approval; I understand may be revoked for violation of any of the conditions of approval. I further understand that approval of this application doesn't exempt from all city code requirements.

RUBEN GARCIA RUBEN GARCIA-RUIZ 3-9-2020

Applicant Signature

Print Name

Date

# Master Plan Policy Checklist

## Special Use Permits & Major Project Reviews & Administrative Permits

### PURPOSE

The purpose of a development checklist is to provide a list of questions that address whether a development proposal is in conformance with the goals and objectives of the 2006 Carson City Master Plan that are related to non-residential and multi-family residential development. This checklist is designed for developers, staff, and decision-makers and is intended to be used as a guide only.

Development Name: (CARPORT)

Reviewed By: \_\_\_\_\_

Date of Review: \_\_\_\_\_

### DEVELOPMENT CHECKLIST

The following five themes are those themes that appear in the Carson City Master Plan and which reflect the community's vision at a broad policy level. Each theme looks at how a proposed development can help achieve the goals of the Carson City Master Plan. A check mark indicates that the proposed development meets the applicable Master Plan policy. The Policy Number is indicated at the end of each policy statement summary. Refer to the Comprehensive Master Plan for complete policy language.

#### CHAPTER 3: A BALANCED LAND USE PATTERN



The Carson City Master Plan seeks to establish a balance of land uses within the community by providing employment opportunities, a diverse choice of housing, recreational opportunities, and retail services.

#### Is or does the proposed development:

- Meet the provisions of the Growth Management Ordinance (1.1d, Municipal Code 18.12)?
- Use sustainable building materials and construction techniques to promote water and energy conservation (1.1e, f)?
- Located in a priority infill development area (1.2a)?
- Provide pathway connections and easements consistent with the adopted Unified Pathways Master Plan and maintain access to adjacent public lands (1.4a)?

- Protect existing site features, as appropriate, including mature trees or other character-defining features (1.4c)?
- At adjacent county boundaries or adjacent to public lands, coordinated with the applicable agency with regards to compatibility, access and amenities (1.5a, b)?
- In identified Mixed-Use areas, promote mixed-use development patterns as appropriate for the surrounding context consistent with the land use descriptions of the applicable Mixed-Use designation, and meet the intent of the Mixed-Use Evaluation Criteria (2.1b, 2.2b, 2.3b, Land Use Districts, Appendix C)?
- Meet adopted standards (e.g. setbacks) for transitions between non-residential and residential zoning districts (2.1d)?
- Protect environmentally sensitive areas through proper setbacks, dedication, or other mechanisms (3.1b)?
- Sited outside the primary floodplain and away from geologic hazard areas or follows the required setbacks or other mitigation measures (3.3d, e)?
- Provide for levels of services (i.e. water, sewer, road improvements, sidewalks, etc.) consistent with the Land Use designation and adequate for the proposed development (Land Use table descriptions)?
- If located within an identified Specific Plan Area (SPA), meet the applicable policies of that SPA (Land Use Map, Chapter 8)?

#### CHAPTER 4: EQUITABLE DISTRIBUTION OF RECREATIONAL OPPORTUNITIES



The Carson City Master Plan seeks to continue providing a diverse range of park and recreational opportunities to include facilities and programming for all ages and varying interests to serve both existing and future neighborhoods.

##### Is or does the proposed development:

- Provide park facilities commensurate with the demand created and consistent with the City's adopted standards (4.1b)?
- Consistent with the Open Space Master Plan and Carson River Master Plan (4.3a)?

#### CHAPTER 5: ECONOMIC VITALITY



The Carson City Master Plan seeks to maintain its strong diversified economic base by promoting principles which focus on retaining and enhancing the strong employment base, include a broader range of retail services in targeted areas, and include the roles of technology, tourism, recreational amenities, and other economic strengths vital to a successful community.

##### Is or does the proposed development:

- Encourage a citywide housing mix consistent with the labor force and non-labor force populations (5.1j)
- Encourage the development of regional retail centers (5.2a)
- Encourage reuse or redevelopment of underused retail spaces (5.2b)?
- Support heritage tourism activities, particularly those associated with historic resources, cultural institutions and the State Capitol (5.4a)?
- Promote revitalization of the Downtown core (5.6a)?
- Incorporate additional housing in and around Downtown, including lofts, condominiums, duplexes, live-work units (5.6c)?

## CHAPTER 6: LIVABLE NEIGHBORHOODS AND ACTIVITY CENTERS



The Carson City Master Plan seeks to promote safe, attractive and diverse neighborhoods, compact mixed-use activity centers, and a vibrant, pedestrian-friendly Downtown.

### Is or does the proposed development:

- Use durable, long-lasting building materials (6.1a)?
- Promote variety and visual interest through the incorporation of varied building styles and colors, garage orientation and other features (6.1b)?
- Provide variety and visual interest through the incorporation of well-articulated building facades, clearly identified entrances and pedestrian connections, landscaping and other features consistent with the Development Standards (6.1c)?
- Provide appropriate height, density and setback transitions and connectivity to surrounding development to ensure compatibility with surrounding development for infill projects or adjacent to existing rural neighborhoods (6.2a, 9.3b 9.4a)?
- If located in an identified Mixed-Use Activity Center area, contain the appropriate mix, size and density of land uses consistent with the Mixed-Use district policies (7.1a, b)?
- If located Downtown:
  - Integrate an appropriate mix and density of uses (8.1a, e)?
  - Include buildings at the appropriate scale for the applicable Downtown Character Area (8.1b)?
  - Incorporate appropriate public spaces, plazas and other amenities (8.1d)?
- Incorporate a mix of housing models and densities appropriate for the project location and size (9.1a)?

## CHAPTER 7: A CONNECTED CITY



The Carson City Master Plan seeks promote a sense of community by linking its many neighborhoods, employment areas, activity centers, parks, recreational



**Special Use Permit, Major Project Review, & Administrative Permit Development Checklist**

amenities and schools with an extensive system of interconnected roadways, multi-use pathways, bicycle facilities, and sidewalks.

**Is or does the proposed development:**

- Promote transit-supportive development patterns (e.g. mixed-use, pedestrian-oriented, higher density) along major travel corridors to facilitate future transit (11.2b)?
- Maintain and enhance roadway connections and networks consistent with the Transportation Master Plan (11.2c)?
- Provide appropriate pathways through the development and to surrounding lands, including parks and public lands, consistent with the Unified Pathways Master Plan (12.1a, c)?

Gayle Robertson  
Carson City Treasurer  
(775) 887-2092

**CARSON CITY CONSOLIDATED MUNICIPALITY**  
**REAL PROPERTY TAXES FOR FISCAL YEAR**  
**2018-2019**



TAXES FROM JULY 1, 2018 THRU JUNE 30, 2019

**PROPERTY LOCATION / DESCRIPTION**

PARCEL NUMBER	DISTRICT	ROLL NUMBER	PROPERTY LOCATION
008-183-26	2.4	6425	2699 DORI WY

1A-04869  
GARCIA-RUIZ, RUBEN & ET AL  
2699 DORI WY  
CARSON CITY, NV 89706

**MAKE REMITTANCE PAYABLE TO:**  
**CARSON CITY TREASURER**  
**TAX DEPARTMENT**  
**201 N. CARSON STREET #5**  
**CARSON CITY, NV 89701**

**YOUR CHECK IS YOUR RECEIPT**  
IF ADDITIONAL RECEIPT IS NEEDED, RETURN  
ENTIRE TAX BILL WITH PAYMENT AND SELF-  
ADDRESSED STAMPED ENVELOPE.

**NOTE: IF YOU HAVE A LENDER WHO PAYS YOUR TAXES, THIS INFORMATION HAS BEEN PROVIDED TO THEM.**

**ASSESSED VALUATION**

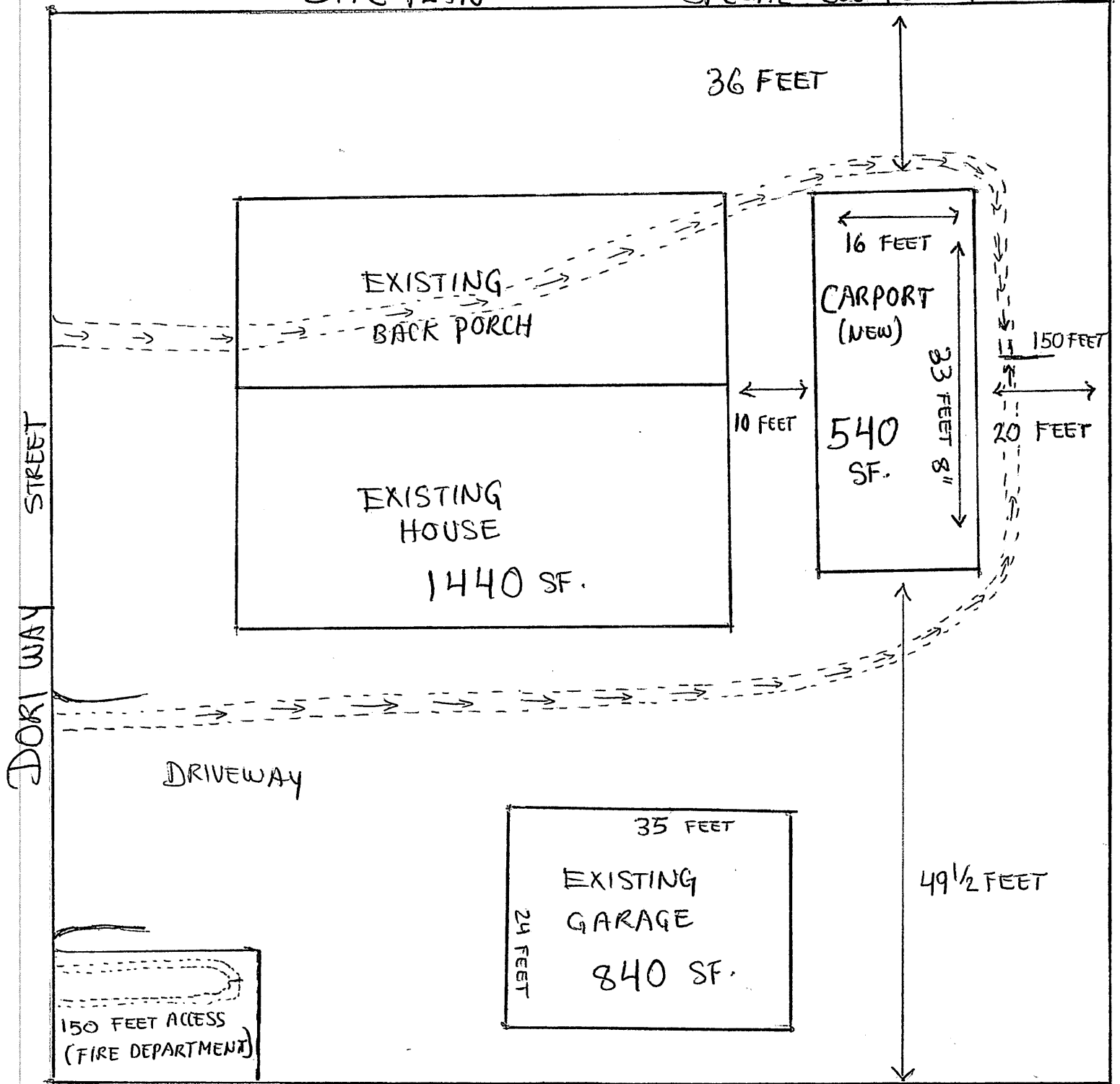
**DISTRIBUTION OF TAX AMOUNTS**

DESCRIPTION	VALUE	TAXING AGENCY	RATE	PREABATEMENT AMOUNT	ABATEMENT/RECAPTURE AMOUNT	TAX AMOUNT	
Real Estate	12,775	CITY OPER.	1.9622	\$599.72	\$-186.43	\$413.29	
Bldg./Improvements	17,788	CO-OP EXT.	0.0128	\$3.91	\$-1.14	\$2.77	
		SR. CIT.	0.0500	\$15.28	\$-4.47	\$10.81	
		ACCIDENT INDG	0.0150	\$4.58	\$-1.34	\$3.24	
		MEDICAL INDG	0.1000	\$30.56	\$-8.95	\$21.61	
		CAP.PROJ. (L)	0.0500	\$15.28	\$-4.48	\$10.80	
		SCHOOL OPER.	0.7500	\$229.22	\$-67.13	\$162.09	
		SCH. DEBT (V)	0.4300	\$131.42	\$-38.49	\$92.93	
		STATE OF NV	0.1700	\$51.96	\$-15.22	\$36.74	
		SUB-CONSERV.	0.0300	\$9.17	\$-2.69	\$6.48	
		Ad Valorem Totals	3.5700	\$1,091.10	\$-330.34	\$760.76	
		EAGLE VLY GRND WTR				\$0.35	
<b>NET ASSESSED</b>	<b>30,563</b>						
Information concerning taxing authorization, rates and uses of taxes collected can be found at <a href="http://www.carson.org/taxes">www.carson.org/taxes</a>						<b>TOTAL AMOUNT DUE</b>	<b>\$761.11</b>

PLEASE SEE THE REVERSE SIDE OF THIS TAX BILL FOR IMPORTANT INFORMATION

SITE PLAN

SPECIAL USE PERMIT



OWNER: RUBEN GARCIA-RUIZ

APPLICANT: SAME

REQUEST: CARPORT

LOCATION: 2699 DORI WAY

ZONING: RESIDENCIAL

MASTER PLAN DESIGNATION: MEDIUM DENSITY RESIDENCIAL

APN: 008-183-26

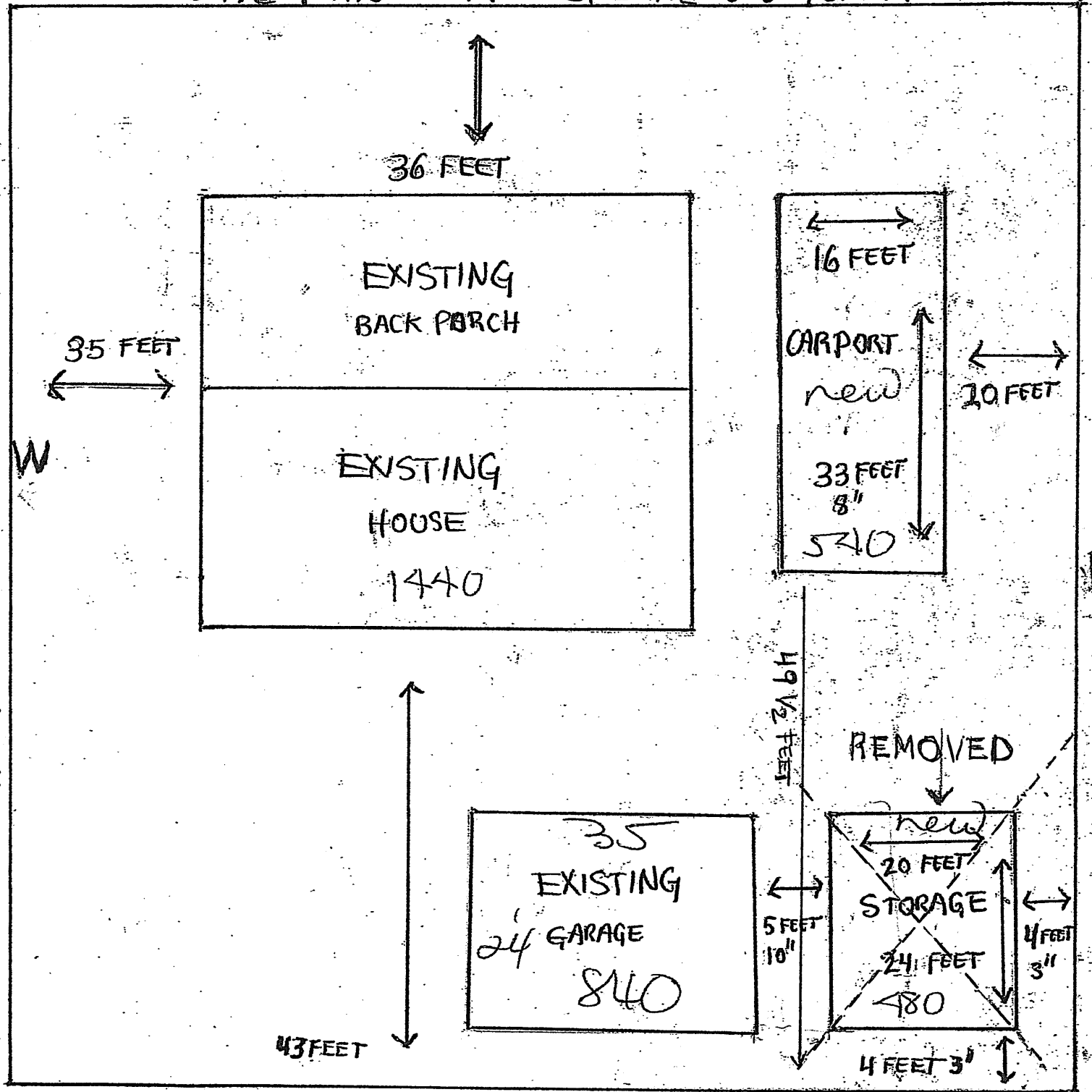
SITE PLAN



SPECIAL USE PERMIT

JORI WAY

STREET



OWNER: RUBEN GARCIA-RUIZ

APPLICANT: SAME

REQUEST: CARPORT

LOCATION: 2699 JORI WAY

ZONING: RESIDENCIAL

MASTER PLAN DESIGNATION: MEDIUM DENSITY RESIDENCIAL

APN: 008-183-26



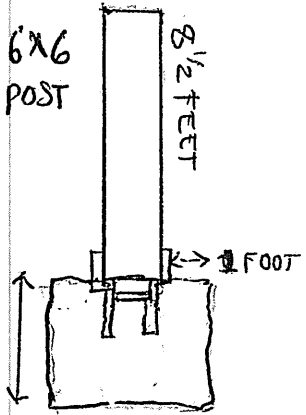


# FOOTING PLAN (CARPORT)

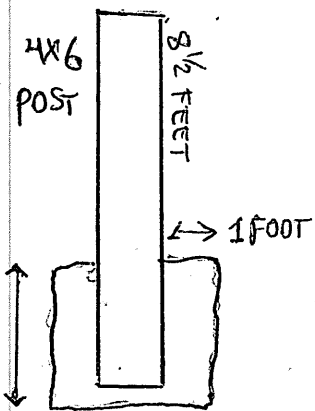
■ 6"X6" POST (7) EACH POST IS REINFORCED WITH 6X6 METAL BASE AND CONCRETE.

■ 4"X6" (4) POST, EACH POST GOES UNDERGROUND ONE FOOT WIDE, AND TWO FEET DEEP OF CONCRETE.

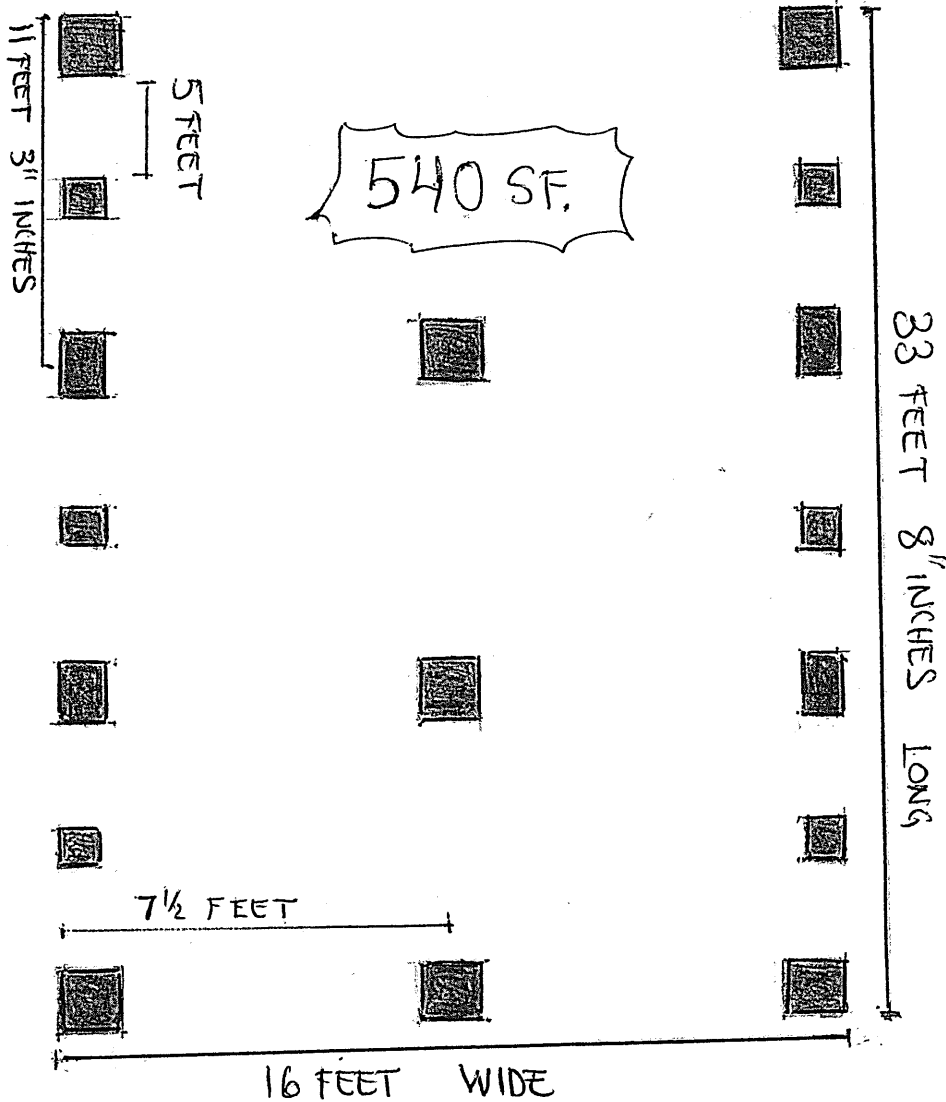
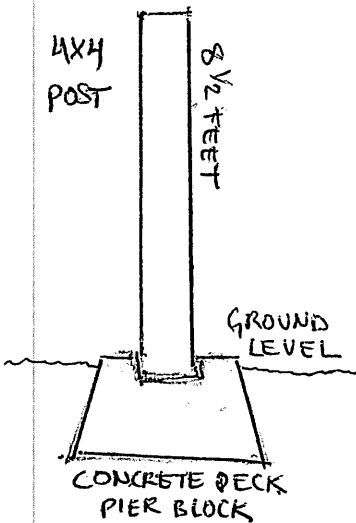
■ 4X4 POST (6) SUPPORT, EACH POST PLACE ON TOP OF CONCRET PIER BLOCK.



2 FEET OF CONCRETE UNDERGROUND

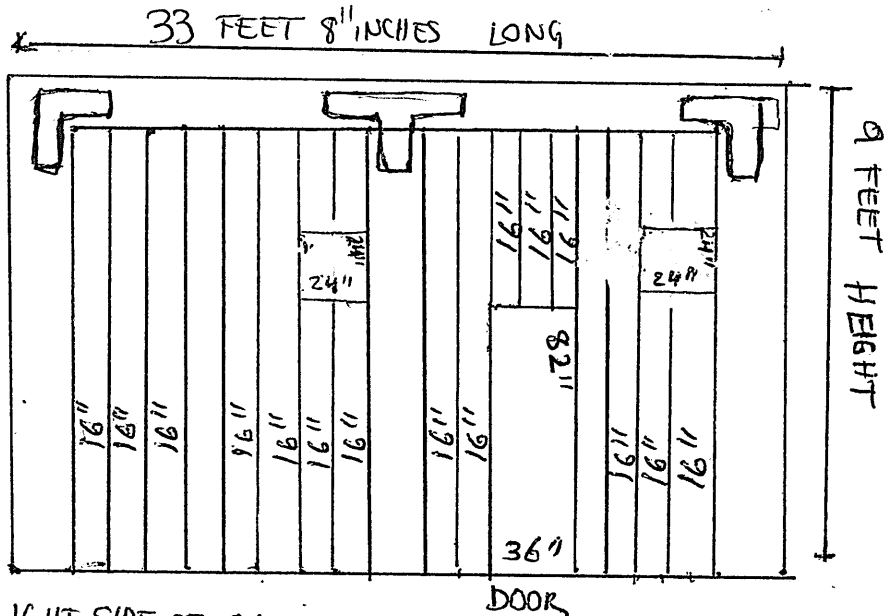


2 FEET OF CONCRETE UNDERGROUND

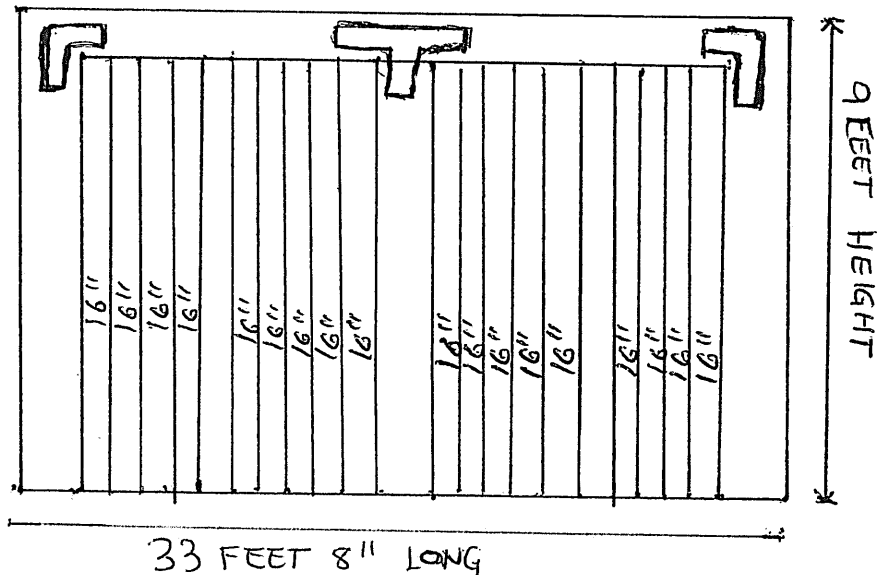


# FRAMING PLAN (CARPORT)

- 1) LEFT SIDE OF CARPORT, FRAME WITH 2X4 BOARDS EVERY 16" INCHES  
 METAL SUPPORT JOINTS, 6X6 POST AND 4X6 POST  
 24" X 24" INCHES (2) WINDOW  
 36" X 82" INCHES (1) DOOR
- 2) PLASTIC AND SIDING INSTALLATION

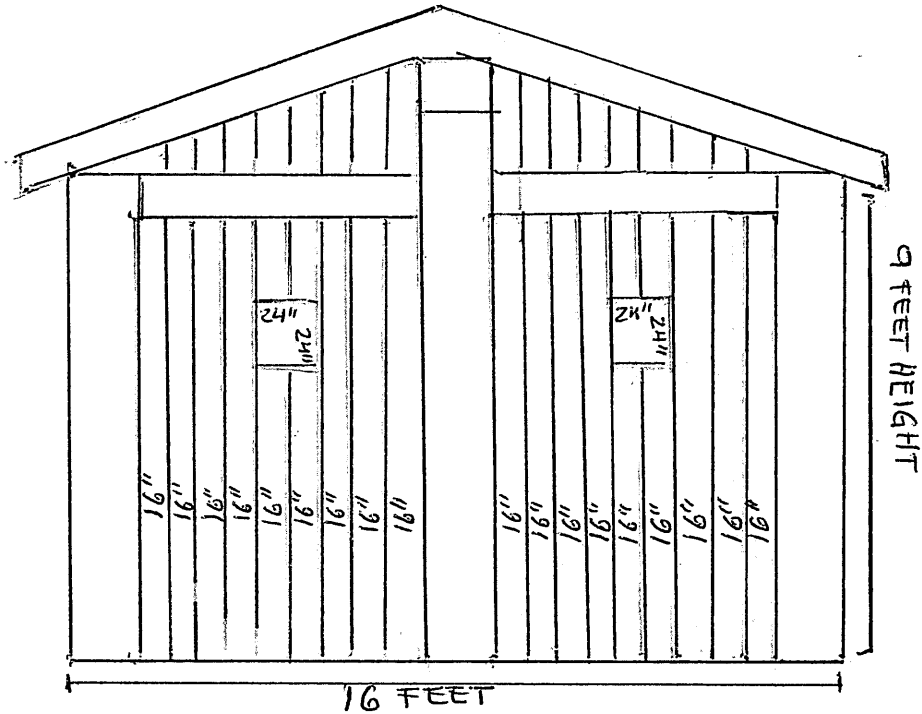


- 1) RIGHT SIDE OF CARPORT, FRAME 2X4 BOARDS EVERY 16" INCHES  
 METAL SUPPORT JOINTS 6X6 POST AND 4X6 POST
- 2) PLASTIC AND SIDING INSTALLATION.

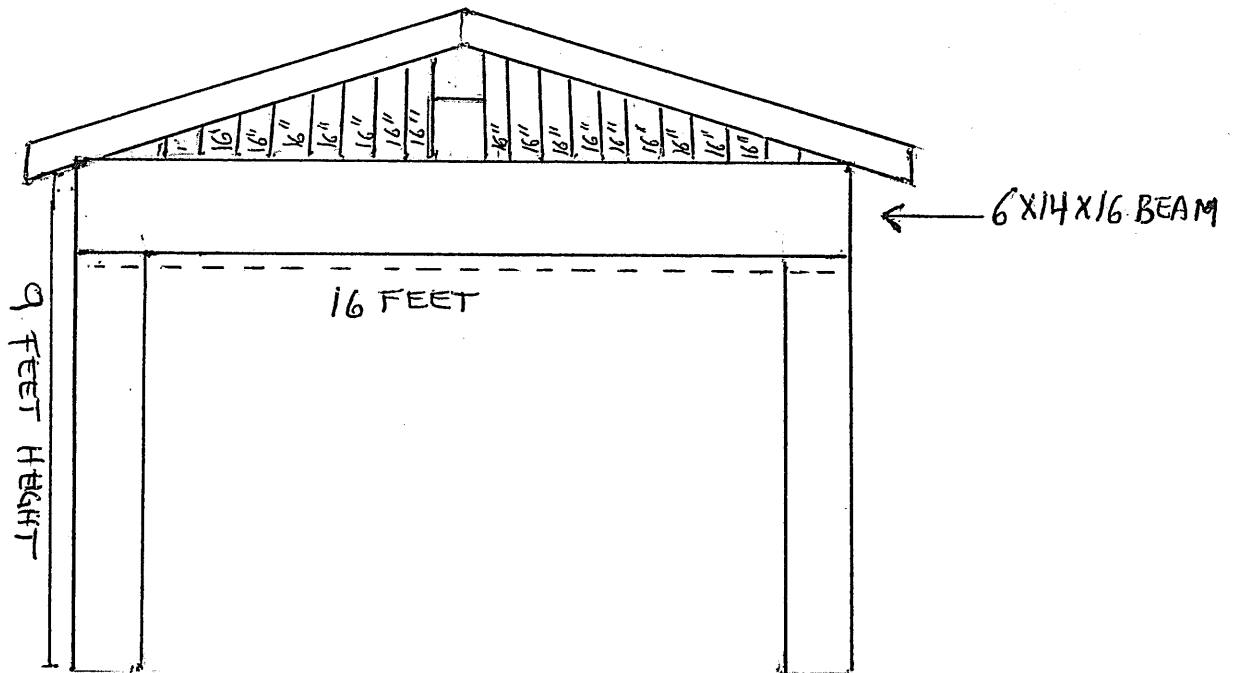


# FRAMING PLAN (CARPORT)

- 1) REAR SIDE OF THE CARPORT, WITH 2X4 BOARDS EVERY 16" INCHES
- 2) 24" X 24" INCHES (2) WINDOW
- 3) PLASTIC AND SIDING INSTALLATION



- 1) FRONT SIDE OF CARPORT, WITH 6X14X16 BEAM AND 2X4 BOARDS
- 2) PLASTIC AND SIDING INSTALLATION.

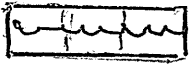




# ROOFING PLAN (CARPORT)

4x8  
PLYWOOD

22 SHEETS 4x8 PLYWOOD  $\frac{1}{2}$  INCH  
INSTALLATION



FELT ROOF UNDERLAYMENT INSTALLATION  
AND ROOF SHINGLES INSTALLATION.

