

**STAFF REPORT FOR THE HISTORIC RESOURCES COMMISSION MEETING OF
SEPTEMBER 10, 2020**

FILE NO: HRC-2020-0025

AGENDA ITEM: F-1

STAFF CONTACT: Hope Sullivan, AICP, Planning Manager

AGENDA TITLE: For Possible Action: Discussion and possible action regarding a request to construct a patio, trash enclosure, shed, screen wall, and fencing, as well as install signage on property zoned Downtown Mixed Use (DT-MU), located at 418 South Carson Street, APN 003-116-05. (Hope Sullivan, hsullivan@carson.org)

STAFF SUMMARY: *The subject property is the Bank Saloon. The applicant is proposing a 900 square foot patio, a trash enclosure, a shed and screen wall with associated fencing and landscaping. The applicant is also proposing to install signage. The Commission will review the request for compliance with the guidelines for the historic district.*

RECOMMENDATION: I move to approve HRC-2020-0025, based on the finding that the request is consistent with the design guidelines for the historic district and the Secretary of the Interior Standards as noted in the staff report.

VICINITY MAP



CONDITIONS OF APPROVAL IF THE COMMISSION APPROVES THE REQUEST:

1. All development shall be substantially in accordance with the attached site development plan.
2. All on and off-site improvements shall conform to city standards and requirements.
3. The use for which this permit is approved shall commence within 12 months of the date of final approval. An extension of time must be requested in writing to the planning and community development department 30 days prior to the 1 year expiration date. Should this request not be initiated within 1 year and no extension granted, the request shall become null and void.
4. The applicant must sign and return the notice of decision within 10 days of receipt of notification. If the notice of decision is not signed and returned within 10 days, then the item will be rescheduled for the next historic resources commission meeting for further considerations.

LEGAL REQUIREMENTS: CCMC 18.06.015 (Procedure for Proposed Project)

MASTER PLAN DESIGNATION: Downtown Mixed Use

ZONING: Downtown Mixed Use

PREVIOUS REVIEWS:

HRC-19-059: Rehabilitation of the Bank Saloon

MPR-19-033: Rehabilitation of the Bank Saloon

AB-18-173: Abandonment of a portion of 5th Street

H-03/04-4: Review of the structural integrity

DISCUSSION:

The subject building was constructed in 1899. The building was formerly Jack's Bar. Based on the HRC's 2019 approval, the building is being rehabilitated so as to make it functional as a bar and office, while retaining the character defining features of the building.

Character defining features of the building include:

Walls: The walls of the structure are sandstone block, laid in courses on the east and south sides, and randomly laid on the west side.

Roof / Parapet: The roof is flat and is surrounded by a low parapet which steps up from the rear and includes three non-functioning chimneys on the south wall.

The Entrance: The entrance is located on the southeast corner of the building. It was a single door with a glass upper plate surrounded by side lights and a transom light.

Southside Elevation: The south elevation included a stone wall with three chimneys. It also has four window openings, with one over one window panes. It has two door openings, with transom lights.

Pilasters: The windows and entry way are bordered by cast iron pilasters.

The applicant is now seeking to make improvements in the rear of the building. When reviewed by the HRC in May 2019, the applicant had proposed a wooden trellis in the rear of the building. The applicant has refined the plan for the rear of the building to include fencing, a 900 square foot patio, a trash enclosure, a shed, and a screen wall. The applicant is also proposing signage. Note of these improvements will result in a modification to the existing building. All improvements can be removed and the building will still be intact.

The applicant also owns the lot to the west of the Bank Saloon. The applicant is constructing a parking lot on that lot, including installing lighting and signage. That lot is NOT in the historic district.

Secretary of the Interior Standards for Rehabilitation

Per the Secretary of the Interior standards for rehabilitation, rehabilitation is defined as the process of returning a property to a state of utility, through repair or alteration, which makes possible an efficient contemporary use while preserving those portions and features of the property which are significant to its historic, architectural and cultural values.

The standards for rehabilitation are as follows:

1. *A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.*

To a large extent, the use of a bar and office will be substantially the same as its most recent use, and there will be minimal change to the character defining features and spatial relationships. The exterior improvements to the rear of the building are intended to allow the function of the building as was historically used. Specifically, a trash enclosure to secure trash, a shed for dry goods due to limited storage on site, and a patio to accommodate more customers.

2. *The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.*

To a large extent, the character defining features of this building will be retained. The proposed improvements to the rear of the building are detached from the building and are not located on a primary façade.

3. *Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*

The proposed improvements to the rear of the building will not create a false sense of historical development. They will be modern improvements that will not be confused with the original construction.

4. *Changes to a property that have acquired historic significance in their own right will be retained and preserved.*

The applicant is retaining the character defining features, specifically the sandstone block

walls, the roof and low parapet, the entrance, the south elevation including the recessed doors and windows, fenestration, and window details, and the pilasters.

5. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.

The applicant is retaining the character defining features, specifically the sandstone block walls, the roof and low parapet, the entrance, the south elevation including the recessed doors and windows, fenestration, and window details, and the pilasters.

6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

The proposed improvement to the rear of the building will not address any deteriorated historic features.

7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

The proposed improvements to the rear of the building will not involve any chemical or physical treatments.

8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

There are no known archeological resources associated with this project.

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale, proportion, and massing to protect the integrity of the property and its environment.

Proposed new additions and exterior alterations are limited to the patio, fencing, a screen wall, a shed, and a trash enclosure. All improvements will be to the rear of the building. The shed will utilize wood recovered from the interior of the building. None of the improvements will create confusion with the original building or compromise the integrity of the building.

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The adjacent development (shed, fencing, screen wall, trash enclosure) are proposed to be constructed in a manner that if removed, the integrity of the historic property would be unimpaired.

Carson City Development Standards

5.26 - Guidelines for additions to historic buildings.

The primary objective of the Carson City historic resources commission (HRC) is to protect and maintain the integrity of the historic resources in the historic district. However, the commission is committed to provide for the development of these resources in such a manner that does not impair their utility. It is recognized that additions are often

necessary for a historic building to become functional in a modern context. It is also recognized that additions must be designed to be compatible and not detract from the building, its immediate surrounding or the district as a whole.

5.26.1 Guidelines for Additions to Historic Buildings. Additions to historic buildings need to be compatible in their configuration, design, style, scale, materials and architectural details with the distinctive character defining elements of the building. Additions shall be done in such a manner that they do not destroy significant original historical or architectural material, and if removed in the future, will not impair the essential form and integrity of the building nor damage historic fabric. Additions which seek to create an earlier appearance shall not be approved. Additions which are obviously incongruous to the building, or buildings in the immediate vicinity, or the district shall not be approved. (Standard Number: 9, 10)

5.26.2 Guidelines for Additions to Nonhistoric Buildings. Additions to non-historic buildings in the district will be treated in the same manner as additions to historic buildings, except that maintaining original building fabric will not be a consideration.

The applicant is proposing a screen wall to screen the wall of the neighboring building to the north. This wall will not compromise the existing building.

The applicant is also proposing to construct a shed, a trash enclosure and a patio to the rear of the existing building. None of these improvements will compromise significant original historical or architectural material, nor will they seek to create an earlier appearance. Thus, these improvements to the rear of the property will be consistent with the guidelines.

5.24 - Guidelines for fences.

Fences serve a variety of purposes for a property owner. They can define property lines, provide security and protection from trespass, furnish safety for children and pets, provide visual screens for privacy and serve as protection from the elements. The design of a fence is a critical element in the overall visual quality of a property and how it relates to its neighbors. It can also be important from a public safety standpoint, particularly on corner lots. Typically, front yards in the district were delineated by low profile, wood picket style fences. A few metal and masonry fences can be found as well.

A fence design must be considered in context. Scale, rhythm, material and style are the critical design elements of a fence. The fence design must be compatible with the building as well as with the surrounding property. A fence can provide a delicate design element which will greatly enhance a property.

5.24.1 Guidelines for Historic Fences. Original fences must be retained and repaired whenever possible. When reconstruction is necessary, the original fence must be matched in color, material, size, scale, texture and composition. New fences should emulate historic styles and designs found in the district. (Standard Number: 2, 4, 5, 6). In accordance with this requirement, and unless an exemption is granted under circumstances deemed appropriate at the discretion of the historic resources commission, when reconstruction of a fence occurs:

a. The historic characteristics of the property must be preserved, including, without

limitation, any distinctive feature, finish, construction technique or craftsmanship and any individual feature not originally part of the property but which, over time, has acquired historic significance.

b. The removal of any historic feature or finish, or the modification or alteration of any such material, feature or finish that contributes to the historic character of the property, is prohibited.

c. A deteriorated feature or finish must, whenever possible, be repaired in lieu of replacement.

d. A historic feature or finish that has severely deteriorated or is otherwise in a state of disrepair such that replacement in lieu of repair is necessary, the replacement feature or finish must, to the greatest extent possible, match the original feature or finish in material, design, color, texture and all other visual aesthetics.

5.24.2 Guidelines for New Fences. The appropriate design for a new fence must be determined by its intended function and its location. A new fence must not be constructed in any manner which adversely affects the primary views of any building. A fence should consist of a design that will enhance the overall visual presentation of a building and be made from material which is traditionally associated with fences located within the historic district, including wood, wrought iron, decorative woven wire and, in limited circumstances, masonry. A fence should also contribute to the character and defining features of any building in a positive manner. (Standard Number: 9) Unless an exemption is granted under circumstances deemed appropriate at the discretion of the historic resources commission, the use of vinyl for the construction of a new fence is prohibited. If material other than material which is traditionally associated with fences located within the historic district is proposed to be used for the construction of a new fence, the person proposing the use of such material must include in his or her application to the historic resources commission an explanation describing how the material to be used is:

a. Compatible with the massing, size, scale and existing architectural and construction materials of the property and the property site.

b. More compatible with the property and the property site than if material which is traditionally associated with fences located within the historic district is used.

c. Consistent with the historical features of the property and the property site.

d. Consistent with the massing, size, scale and existing architectural and construction materials used within the historic district.

The applicant proposes to install a three-foot-tall iron fence in the rear of the property along the southern property line and going onto the property to the west so as to enclose the parking lot. The fence will not adversely affect any primary views of the building.

The iron fence is consistent with fence materials found in the district.

5.23 - Guidelines for signs.

Signs in the Historic District are governed by both this Division and Division 4 of the

Development Standards. Signage in the Historic District is generally concerned with the conversion of original residential buildings to light office use or with new buildings which have been constructed as commercial buildings in a style compatible with the basic residential nature of the district.

All signs must have an appearance, color, size, texture and design which conform to the sign codes and to the historic character of the district. Signs should also closely match stylistically with the architectural style of the building. Additionally, the location and/or method of attachment of the sign will be considered. The HRC will review all sign applications within the context of the building and the location in the district.

The applicant is proposing two projecting signs. A third sign will be on the parcel to the west, which is not in the historic district. The sign on the Carson Street frontage is proposed to be three feet by two feet and will be wood with vinyl lettering. A second sign along West Fifth Street will be an acrylic faced sign, 14 inches by 14 inches.

Both signs are in compliance with the provisions of Division 4. Staff also finds that the signs, as proposed, are understated, and will not detract from the historic resource.

Attachments:

Application (HRC -2020-0025)

Carson City Planning Division
 108 E. Proctor Street· Carson City NV 89701
 Phone: (775) 887-2180 • E-mail: planning@carson.org

FOR OFFICE USE ONLY:

CCMC 18.06

HISTORIC RESOURCES COMMISSION

FILE

APPLICANT PHONE #
 Nevada Builders Alliance 775-882-4353

MAILING ADDRESS, CITY, STATE, ZIP
 1000 N. Division St., #102, Carson City 89703

EMAIL ADDRESS
 aaron@nevadabuilders.org

PROPERTY OWNER PHONE #
 same

MAILING ADDRESS, CITY, STATE, ZIP
 same

EMAIL ADDRESS
 same

APPLICANT AGENT/REPRESENTATIVE PHONE #
 Aaron West 775-240-2068

MAILING ADDRESS, CITY, STATE, ZIP
 same

EMAIL ADDRESS
 same

FEE: None

SUBMITTAL PACKET – 4 Complete Packets (1 Unbound Original and 3 Copies) including:

- Application Form with Signatures
- Written Project Description
- Site Plan
- Building Elevations
- Proposed Building Materials
- Documentation of Taxes Paid-to-Date

CD or USB DRIVE with complete application in PDF

Application Received and Reviewed By:

Submittal Deadline: Historic Resources Commission application submittal [schedule](#).

Note: Submittals must be of sufficient clarity and detail for all departments to adequately review the request. Additional information may be required.

Project's Assessor Parcel Number(s):
 003-116-05&06

Street Address
 418 S Carson Street

Project's Master Plan Designation
 DTMU

Project's Current Zoning
 DTMU

Nearest Major Cross Street(s)
 S. Carson St.

Briefly describe the work to be performed requiring Historic Resources Commission review and approval. In addition to the brief description of your project and proposed use, provide additional page(s) to show a more detailed summary of your project and proposal. NOTE: The Historic District Ordinance and Historic District Design Guidelines, as well as Policy Statements, are available in the Planning Division to aid applicants in preparing their plans. If necessary, attach additional sheets.

The proposed work includes a 900 square foot patio, trash enclosure, shed & screen wall, parking lot with associated fencing, electrical and landscaping.

Reason for project:

In support of the Bank Saloon

Will the project involve demolition or relocation of any structure within or into the Historic District? Yes No If Yes, please describe:

SUPPORTING DOCUMENTATION

Each application requires one complete original packet and three copies, folded to 8 1/2 x 11 inches, including a quality site plan and drawings showing work to be performed on the subject project which requires Historic Resources Commission approval. This is any work which will affect the exterior of any structure and any modifications to the site, i.e., fences, walls, or major landscaping. The name of the person responsible for preparation of the plans and drawings shall appear on each sheet.

After the initial review and acceptance of your application by staff, an additional 14 copies will be required to present your project to the Historic Resources Commission.

Attached is a Plan Checklist to aid preparation of plans and architectural drawings. It is understood that all checklist items may not be included in all projects. The list is intended to give the applicant an idea of the breadth of review by the Commission on those items which are included in the subject project. Photographs can be used for illustration and discussion, but are not acceptable as substitutes.



Owner's Signature



Applicant's/Agent's Signature

AARON WEST

Owner's Printed Name

AARON WEST

Applicant's/Agent's Printed Name

NEVADA BUILDERS ALLIANCE

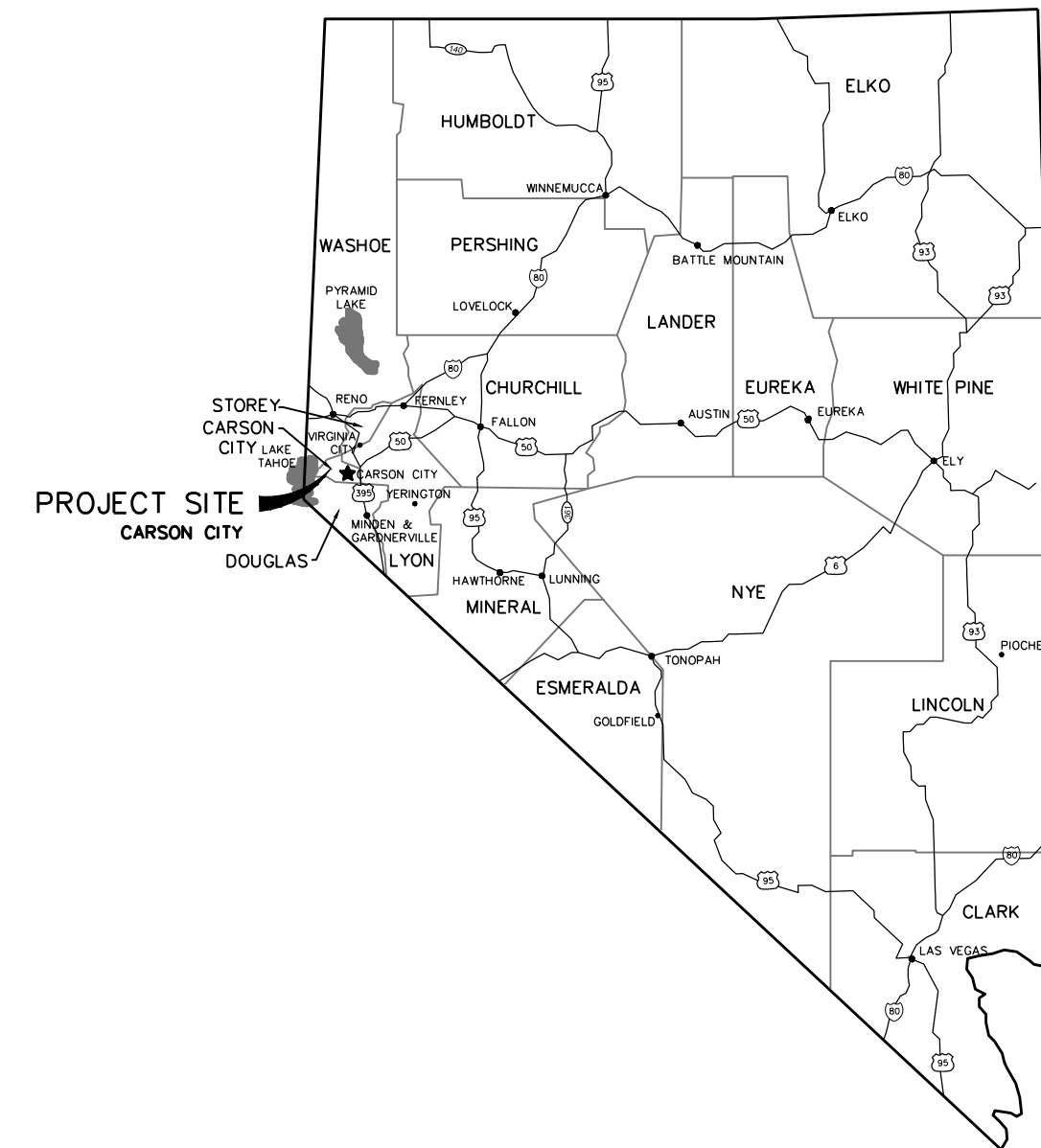
BANK SALOON PARKING LOT

APN: 003-116-06

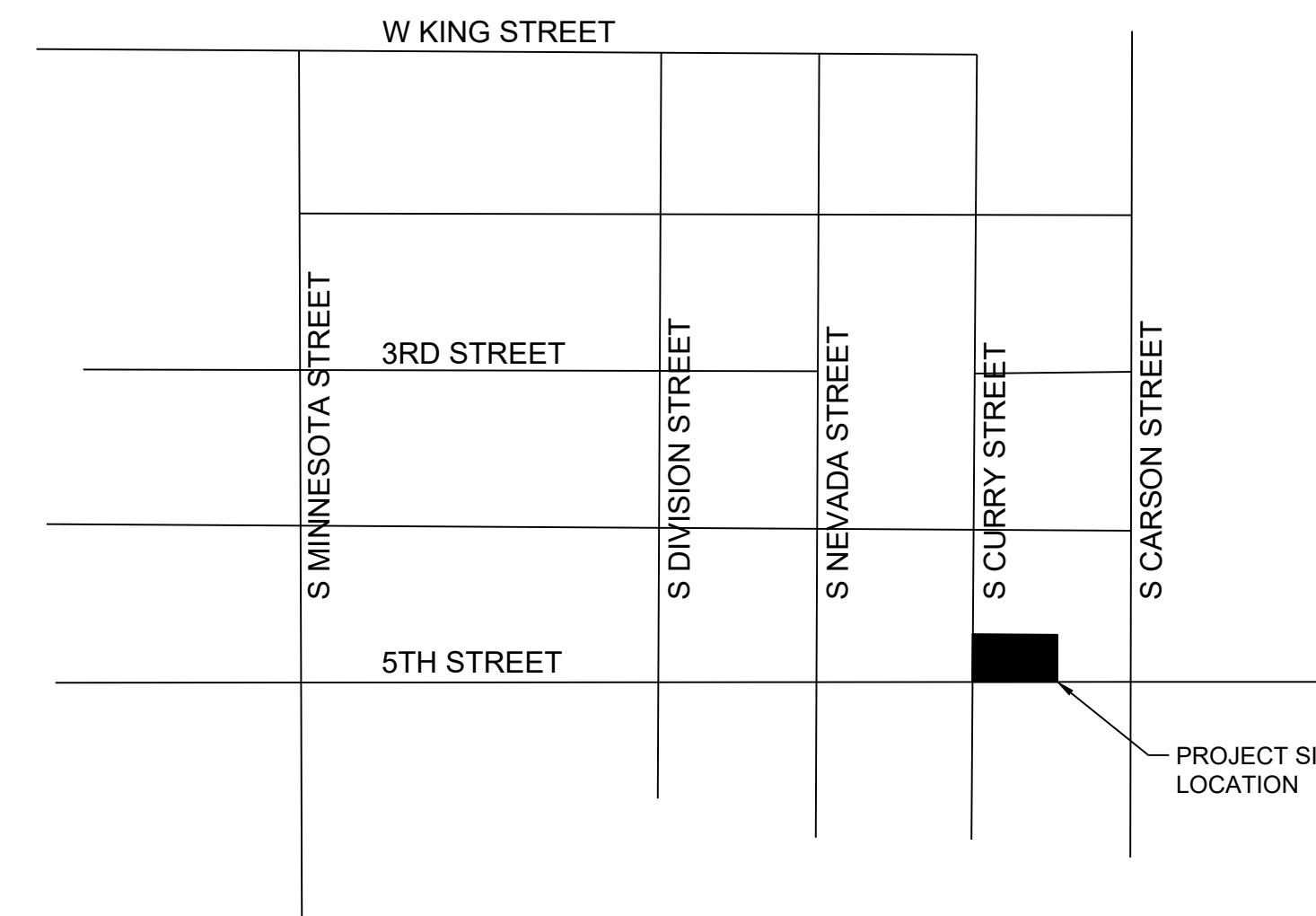


308 N. CURRY ST., STE. 200
CARSON CITY, NV 89703
TEL: 775.883.7077
WWW.LUMOSINC.COM

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LOCATION MAP



VICINITY MAP

OWNER/DEVELOPER

NEVADA BUILDERS ALLIANCE
ATTN: AARON WEST
1000 N. DIVISION, SUITE 102
CARSON CITY, NV 89703



ENGINEER

308 N. CURRY ST., STE. 200
CARSON CITY, NEVADA 89703
TEL: 775.883.7077

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS NEVADA STATE PLANE COORDINATE SYSTEM, WEST ZONE NAD83(94) CARSON CITY DATUM BASED UPON REAL TIME KINEMATIC GPS OBSERVATIONS, OBSERVED 01/27/2020 USING A SURVEY GRADE DUAL FREQUENCY GPS RECEIVER FROM CC082 MODIFIED BY A COMBINED FACTOR OF 1.0002, SCALED FROM 0.00N .000E AND CONVERTED TO U.S. SURVEY FEET. ALL DIMENSIONS ON THIS MAP ARE GROUND DISTANCES.

BASIS OF ELEVATIONS

DATUM: NAVD 88
PROJECT BENCHMARK = CC082
HAVING AN ELEVATION OF 4677.12'

SHEET INDEX:

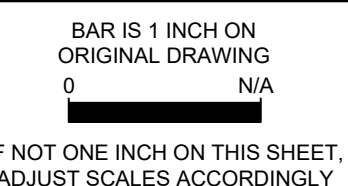
TITLE SHEET	C1.0
PROJECT NOTES AND INDEX SHEET	C1.1
DEMO PLAN	C2.0
SITE PLAN	C3.0
DETAILS	D1.0
DETAILS	D1.1
DETAILS	D1.2



Know what's below.
Call before you dig.

NEVADA BUILDERS ALLIANCE
**BANK SALOON
PARKING LOT
TITLE SHEET**

REV	DATE	DESCRIPTION	BY



IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

C1.0

DRAWN BY: SAP
DESIGNED BY: RTS
CHECKED BY: JS
JOB NO.: 9618.001

L:\Mapro\9618.001 - Bank Saloon Parking Lot Design\DWG\Civil\3D\9618001BASE REV 7-17-20.dwg, TITLE, 07/17/2020 10:05 am rspreeman

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NEVADA BUILDERS ALLIANCE
BANK SALOON
PARKING LOT
NOTES, ABBREVIATIONS, AND LEGEND
NV
CARSON CITY

BY: _____

DESCRIPTION _____

REV.	DATE	DESCRIPTION

PERMIT SET

BAR IS 1 INCH ON ORIGINAL DRAWING
0 SCALE

IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

C1.1

DRAWN BY: SAP
DESIGNED BY: RTS
CHECKED BY: JS
JOB NO.: 9618.001

NOTES:

GENERAL

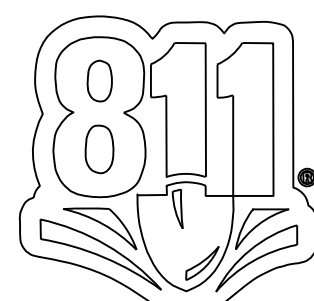
- ALL WORK SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION.
- THE CONTRACTOR SHALL REFER TO THE STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION, AS ADOPTED BY THE PERMITTING ENTITY, FOR ALL DETAILING NOT SHOWN ON THESE PLANS.
- CONSTRUCTION SHALL COMPLY WITH THESE PLANS AND CURRENT NDOT or CALTRANS STANDARD PLANS/SPECIFICATIONS (STANDARD SPECIFICATIONS) AND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ARRANGING A PRE-CONSTRUCTION JOB SITE CONFERENCE WITH GOVERNING AGENCIES, ALL UTILITY COMPANIES, OWNER'S REPRESENTATIVES, AND THE PROJECT ENGINEER PRIOR TO COMMENCING WORK. THIS MEETING SHALL BE HELD AT LEAST FORTY-EIGHT (48) HOURS, OR TWO (2) BUSINESS DAYS, PRIOR TO THE START OF CONSTRUCTION AND SHALL COMMUNICATE SCHEDULES, CONTRACTORS MEAN AND METHODS, MATERIALS TO BE USED, AND OTHER RELEVANT MATTERS ASSOCIATED WITH THE CONSTRUCTION OF THE PROJECT.
- ALL WORK EITHER DIRECTLY OR INDIRECTLY RELATED TO THE PROJECT SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY SYSTEM MANAGER.
- THE CONTRACTOR SHALL MAINTAIN AN ONSITE RECORD COPY OF ALL DRAWINGS, SPECIFICATIONS, ADDENDA, CHANGE ORDERS, WORK CHANGE DIRECTIVES, FIELD ORDERS, FIELD CHANGES, AND WRITTEN INTERPRETATIONS AND CLARIFICATIONS. RECORDS SHALL BE IN GOOD ORDER AND ANNOTATED TO SHOW CHANGES MADE DURING CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE MATERIALS AND EQUIPMENT SUBMITTALS AND/OR SHOP DRAWINGS TO THE PROJECT ENGINEER FOR REVIEW PRIOR TO ORDERING OR INSTALLATION. A SIGNED SET OF REVIEWED SUBMITTALS MUST ALWAYS BE AVAILABLE ONSITE DURING CONSTRUCTION.
- THE CONTRACTOR SHALL CALL UNDERGROUND SERVICE ALERT AT 1-800-642-2444 TO PROVIDE FIELD LOCATIONS OF UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION.
- THE LOCATION OF EXISTING UTILITIES SHOWN ON THESE PLANS ARE BASED ON THE BEST INFORMATION AVAILABLE TO THE ENGINEER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY PROPOSED POINTS OF CONNECTION AND IN AREAS OF POSSIBLE CONFLICT WITH NEW UTILITY INSTALLATION PRIOR TO BEGINNING CONSTRUCTION. SHOULD THE CONTRACTOR FIND ANY DISCREPANCIES BETWEEN THE CONDITIONS EXISTING IN THE FIELD AND THE INFORMATION SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT AND MAINTAIN ALL EXISTING UTILITIES WHETHER OR NOT SHOWN ON THE PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS, LICENSES, INSURANCE POLICIES, ETC. AS MAY BE NECESSARY TO COMPLY WITH LOCAL, COUNTY, STATE, AND FEDERAL LAWS ASSOCIATED WITH THE PERFORMANCE OF THE WORK, UNLESS OTHERWISE OBTAINED BY THE OWNER.
- THE CONTRACTOR SHALL PREPARE A TRAFFIC CONTROL PLAN AND PROVIDE, PLACE, AND MAINTAIN ALL LIGHTS, SIGNS, BARRICADES, FLAG PERSONS, PILOT CAR, OR OTHER DEVICES NECESSARY TO CONTROL TRAFFIC THROUGH THE CONSTRUCTION AREA AND FOR PUBLIC SAFETY. ALL TRAFFIC CONTROL OPERATIONS SHALL COMPLY WITH THE LATEST MUTCD. AT NO TIME WILL OBSTRUCTIONS BE LEFT IN THE ROADWAY DURING NIGHT HOURS. ALL TRAFFIC CONTROL PLANS SHALL BE PREPARED BY A REGISTERED CIVIL ENGINEER OR AT-TSA CERTIFIED PERSONNEL.
- THE CONTRACTOR AGREES TO ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, AND FURTHER AGREES THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS IN ACCORDANCE WITH THE PROVISIONS OUTLINED BY THE PROJECT CONTROL AND THE STANDARD SPECIFICATIONS.
- THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE PROVISIONS OF OSHA AND NRS CHAPTER 618.
- THE CONTRACTOR SHALL PURSUE THE WORK IN A CONTINUOUS AND DILIGENT MANNER, CONFORMING TO ALL THE PERTINENT SAFETY REGULATIONS TO ENSURE A TIMELY COMPLETION OF THE PROJECT.
- THE CONTRACTOR SHALL MAINTAIN A CLEAN PROJECT SITE, REMOVING CONSTRUCTION DEBRIS AT THE END OF EACH ACTIVITY DAY. THE CONTRACTOR SHALL MAINTAIN DEBRIS FREE CONSTRUCTION ROUTES, ADJACENT STREETS AND STORM DRAIN SYSTEMS.
- TEMPORARY CONSTRUCTION FENCING SHALL BE PROVIDED AND MAINTAINED BY THE CONTRACTOR THROUGHOUT THE DURATION OF THE PROJECT IN AREAS AS DELINEATED ON THE PLANS OR AS DIRECTED BY THE PROJECT ENGINEER. THE TEMPORARY FENCING SHALL PREVENT CHILDREN AND PETS FROM ENTERING THE CONSTRUCTION AREA, CREATE A VISUAL BARRIER OF THE CONSTRUCTION ACTIVITIES FROM THE ADJACENT RESIDENCE AND YARDS, AND PROTECT VEGETATION FROM CONSTRUCTION EQUIPMENT.
- THE CONTRACTOR SHALL USE ONLY AUTHORIZED SITES FOR STORAGE OF EQUIPMENT AND MATERIALS AND OBTAIN PROPER APPROVALS FROM THE LAND OWNER AND LOCAL GOVERNING AUTHORITY TO DO SO. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SECURITY OF ALL EQUIPMENT AND MATERIALS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SURVEY MONUMENTS AND OTHER SURVEY MARKERS DURING CONSTRUCTION. IN THE EVENT A MONUMENT IS DISTURBED, THE CONTRACTOR SHALL HAVE THE MONUMENT REPLACED, AT HIS OWN EXPENSE, BY A LICENSED SURVEYOR IN THE STATE OF THE PROJECT SITE.
- CONSTRUCTION HOURS SHALL BE WEEKDAYS BETWEEN 7:00 AM AND 6:00 PM UNLESS OTHERWISE DICTATED BY LOCAL ORDINANCE. CONTRACTOR SHALL OBTAIN APPROVAL FROM THE PROJECT ENGINEER TO MODIFY WORK HOURS.
- ALL FIELD CHANGES MUST BE PRE-APPROVED BY THE PROJECT ENGINEER.
- SHOULD IT APPEAR THAT THE WORK TO BE DONE, OR ANY MATTER RELATIVE THERETO, IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY.
- ALL SALVAGED MATERIALS ARE THE PROPERTY OF THE OWNER AND SHALL BE PALLETIZED ONSITE UNLESS OTHERWISE ARRANGED WITH THE OWNER AND/OR PROJECT ENGINEER.
- THE OWNER IS RESPONSIBLE FOR FURNISHING QUALIFIED SITE INSPECTIONS AS REQUIRED TO COMPLY WITH LOCAL ORDINANCES.
- A GEOTECHNICAL INVESTIGATION WAS PERFORMED ON THIS PROJECT. ALL RECOMMENDATIONS INCLUDED IN THE REPORT ARE HEREBY MADE A PART OF THE CONSTRUCTION DOCUMENTS UNLESS MODIFIED WITHIN THESE PLANS. INSPECTION AND TESTING DURING CONSTRUCTION SHALL BE REQUIRED IN ACCORDANCE WITH THE RECOMMENDATIONS CONTAINED WITHIN THE REPORT.
TITLE: XXXXX
DATE: XXXXX

UNDERGROUND UTILITIES

- THE CONTRACTOR SHALL FIELD VERIFY UTILITY LOCATIONS NEAR OR WITHIN THE CONSTRUCTION LIMITS WITH THE RESPECTIVE UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ARRANGE FOR THE NECESSARY RELOCATION OF ANY UTILITY. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES INVOLVED AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO BEGINNING WORK.
- NO OTHER UTILITIES MAY BE PLACED IN A WATER OR SEWER TRENCH.
- ALL VALVE BOXES, MANHOLE STRUCTURES, AND CLEAN OUTS SHALL BE MARKED AND ACCESSIBLE AT ALL TIMES.

ABBREVIATIONS

AC	ASPHALT CONCRETE	N	NORTH
ACP	ASBESTOS CEMENT PIPE	NAP	NOT A PART
AGG	AGGREGATE	NIP	NOT IN PROJECT
BC	BEGIN CURVE (HORIZONTAL)	NTS	NOT TO SCALE
BOW	BOTTOM OF WALL	OC	ON CENTER
BF, BOF	BOTTOM OF FOOTING	OD	OUTSIDE DIAMETER
BV	BUTTERFLY VALVE	OH	OVERHEAD
BVC	BEGIN VERTICAL CURVE	(P)	PROPOSED
BW	BACK OF WALK	PCC	PORTLAND CEMENT CONCRETE
CB	CATCH BASIN	PG	PAD GRADE
cfs	CUBIC FEET PER SECOND	PI	POINT OF INTERSECTION
C&G	CURB AND GUTTER	PIVC	POINT OF INTERSECTION VERTICAL CURVE
CL	CENTER LINE	PL	PROPERTY LINE
CMP	CORRUGATED METAL PIPE	POCC	POINT OF COMPOUND CURVATURE
COMP	COMPACTION	POT	POINT OF TANGENCY
CONC	CONCRETE	PP	POWER POLE
CONTR	CONTRACTOR	PRC	POINT OF REVERSE CURVE
CP	CONCRETE PAD	PRVC	POINT OF REVERSE VERTICAL CURVE
CTV	CABLE TELEVISION	P	POLYVINYL CHLORIDE
DI	DROP INLET	PVMT	PAVEMENT
DIA	DIAMETER	Q 5	5 YEAR PEAK FLOW
DWY	DRIVEWAY	Q 100	100 YEAR PEAK FLOW
E	EAST	R	RADIUS
EA	EACH	RCP	REINFORCED CONCRETE PIPE
EC	END CURVE (HORIZONTAL)	REF	REFERENCE
ELL	ELBOW	RET	CURB RETURN
ELEC	ELECTRICAL	RP	RADIUS POINT
ELEV	ELEVATION	RT	RIGHT
EVC	END VERTICAL CURVE	R/W, ROW	RIGHT-OF-WAY
EX, (E)	EXISTING	S=	SLOPE
EXT	EXTERIOR	S	SOUTH
FCA	FLANGE COUPLING ADAPTER	SD	STORM DRAIN
FE	FINISH ELEVATION	SDMH	STORM DRAIN MANHOLE
FES	FLARED END SECTION	SL	STREET LIGHT
FF	FINISH FLOOR	SL	SANITARY SEWER
FFC	FRONT FACE OF CURB	SSCO	SANITARY SEWER CLEAN OUT
FG	FINISH GRADE	SSMH	SANITARY SEWER MANHOLE
FH	FIRE HYDRANT	SSPWC	STANDARD SPEC. FOR PUBLIC WORKS CONSTRUCTION STATION
FL	FLOW LINE	STA	STATION
FLG	FLANGE	SW	SIDEWALK
fps	FEET PER SECOND	TELE	TELEPHONE
FTG	FOOTING	TBO	TEMPORARY BLOW OFF VALVE
G	GAS	TC	TOP OF CURB, TOP OF CONC
GALV	GALVANIZED	TG	TO GRADE
GB	GRADE BREAK	TOB	TOP OF BERM
GDW	GRAVEL DRIVEWAY	TF, TOF	TOP OF FOOTING
GD	GROUND	TOW	TOP OF WALL
GV	GATE VALVE	TS	TRAFFIC SIGNAL
H	HANDICAPPED	TSCB	TRAFFIC CONTROL SIGNAL BOX
HGL	HYDRAULIC GRADE LINE	TR	TOP OF RAIL
HORIZ	HORIZONTAL	TRANS	TRANSITION
HP	HIGH POINT	TRYP	TYPICAL
ID	INSIDE DIAMETER	UGP	UNDER GROUND POWER
IE	INVERT ELEVATION	UNO	UNLESS NOTED OTHERWISE
INT	INTERSECTION	Vs	VELOCITY AT 5 YEAR PEAK
IRR	IRRIGATION	VC	VERTICAL CURVE
LAT	LATERAL	VEL	VELOCITY
LF	LINEAR FEET	VERT	VERTICAL
LP	LOW POINT	VG	VALLEY GUTTER
LT	LEFT	W	WEST
MAX	MAXIMUM	W/G	WATER AND GAS
MDD	MAXIMUM DRY DENSITY	WL	WATER LINE
MH	MANHOLE	WM	WATER METER
MIN	MINIMUM	WS	WATER SURFACE
MJ	MECHANICAL JOINT	WW	WATER VALVE
MMD	MAXIMUM MARSHALL DENSITY	WWF	WELDED WIRE FABRIC
MUTCD	MANUAL FOR TRAFFIC CONTROL DEVICES	YR	YEAR

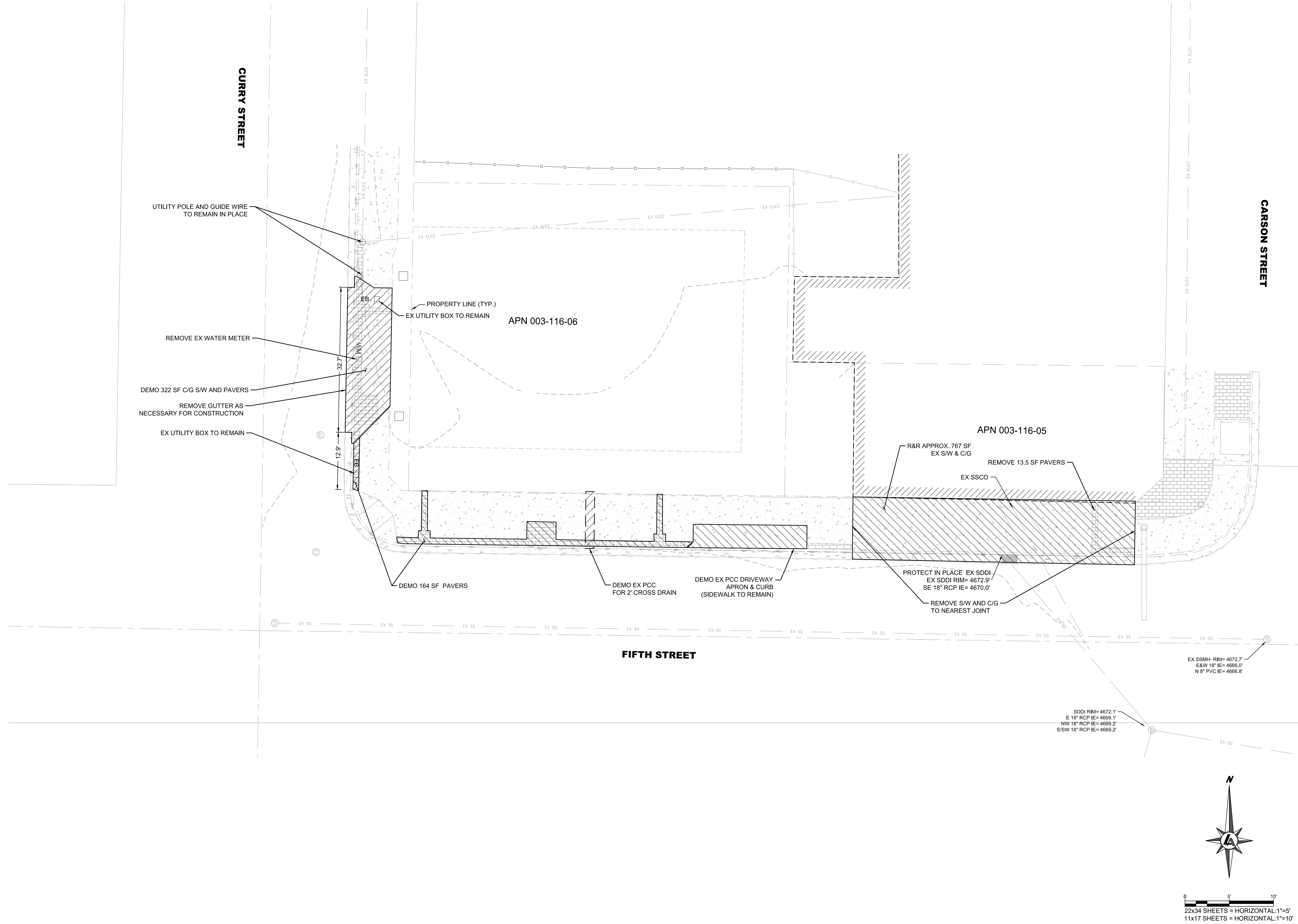


Know what's below.
Call before you dig.

LEGEND

EXISTING		PROPOSED
	CONTOUR LINE	
	GROUND ELEVATION	
	TREE	
	ROCK	
	EDGE OF PAVEMENT	
	AC PAVING TO BE REMOVED	
	CURB & GUTTER	
	CONCRETE	
	UTILITY POLE	
	LIGHT	
	GUY WIRE	
	ELECTRIC TRANSFORMER	
	ELECTRIC VAULT	
	ELECTRIC PANEL	
	ELECTRIC CABINET	
	ELECTRIC BOX	
	ELECTRIC METER	
	ELECTRIC GENERATOR	
	ELECTRIC MANHOLE	
	AIR CONDITIONER	
	ELECTRIC OUTLET	
	BOLLARD	
	STORM DRAIN MANHOLE / DROP INLET	
	CATCH BASIN	
	WATER VALVE	
	IRRIGATION CONTROL VALVE WATER	
	METER	
	WATER SPIGOT / HOSE BIB WATER	
	MANHOLE	
	WATER VAULT	
	FIRE HYDRANT	
	GAS VALVE	
	GAS METER	
	TELEPHONE MANHOLE	
	TELEPHONE BOX	
	TELEPHONE VAULT	
	SEWER MANHOLE	
	SEWER CLEANOUT	
	SURVEY MONUMENT	
	CONTROL POINT	
	BARRICADE	
	SIGN	
	RETAINING WALL	
	FENCE	
	GRADE BREAK	
	FLOW LINE	
	SOIL TEST PIT	
	DETAIL CALLOUT	
	COMM LINE	
	GAS LINE	
	ELECTRIC LINE	
	SEWER LINE	
	WATER LINE	
	AIR LINE	
	STORM DRAIN	
	RECLAIMED WATER LINE	
	FOUND SECTION CORNER AS NOTED	
	FOUND 5/8" REBAR AND CAP *PLS 14413* - UNLESS OTHERWISE NOTED SET 5/8" REBAR AND CAP *PLS 17616* - UNLESS OTHERWISE NOTED	

L:\APRO\9618.001 - Bank Saloon Parking Lot Design\DWG\Civil\3D\9618001BASE REV 7-17-20.dwg C2.0
07/17/2020 10:05 am rspreeman



308 N. CURRY ST., STE. 200
CARSON CITY, NV 89703
TEL: 775.883.7077
WWW.LUMOSINC.COM

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NEVADA BUILDERS ALLIANCE
**BANK SALOON
PARKING LOT
DEMO PLAN**

NV
CARSON CITY

REV	DATE	DESCRIPTION

PERMIT SET

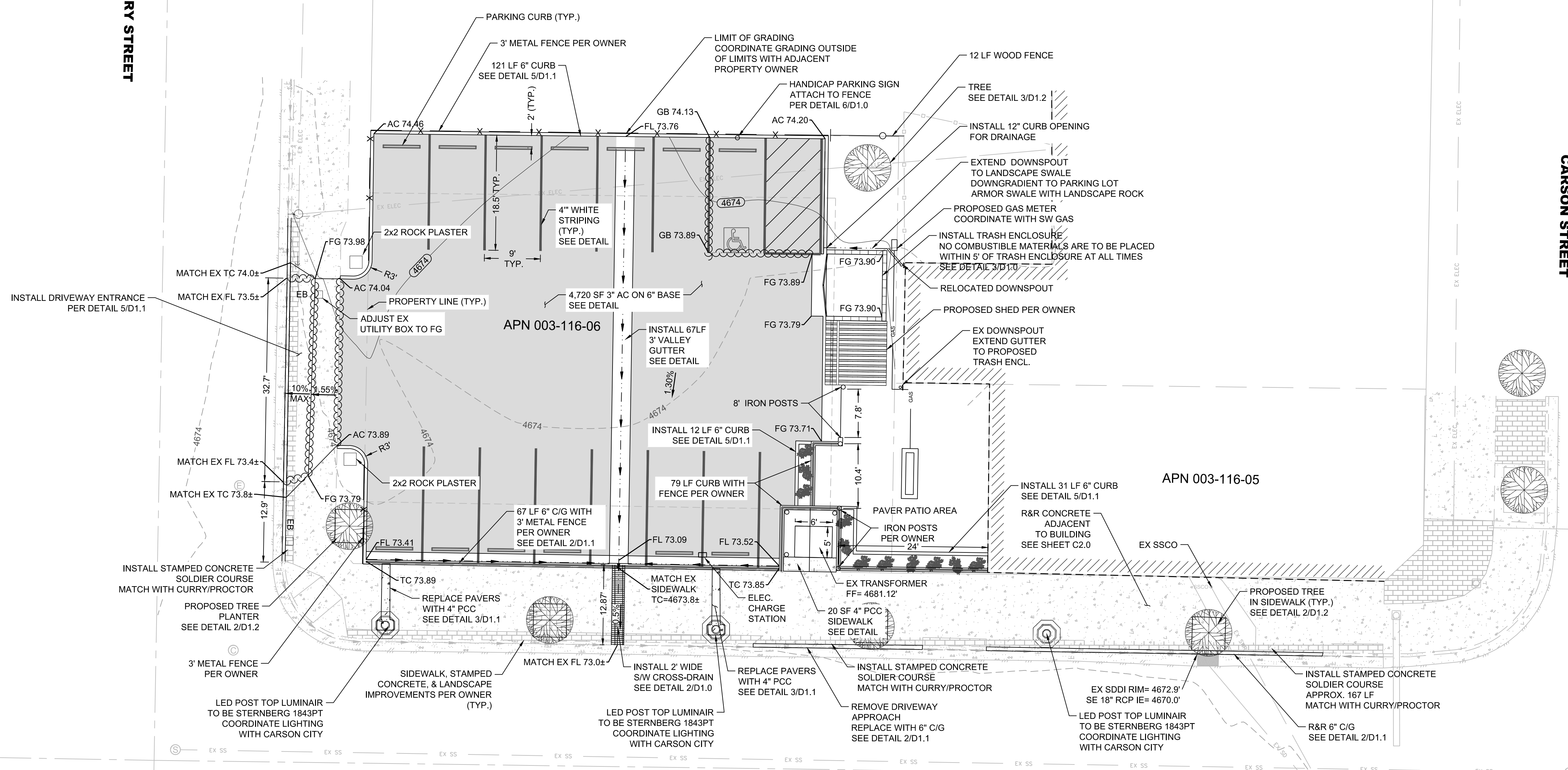
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C2.0

DRAWN BY: SAP
DESIGNED BY: RTS
CHECKED BY: JS
JOB NO.: 9618.001

CURRY STREET

CARSON STREET



FIFTH STREET

NEVADA BUILDERS ALLIANCE

**BANK SALOON
PARKING LOT
SITE PLAN**

NV
CARSON CITY

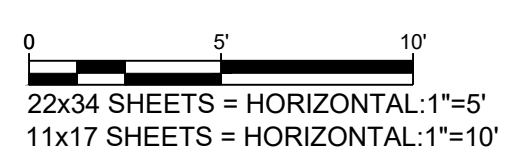
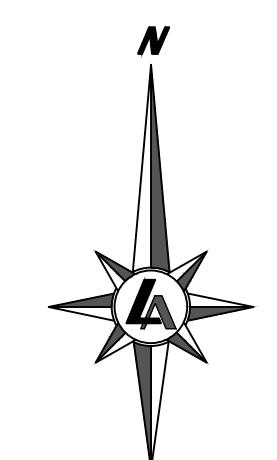
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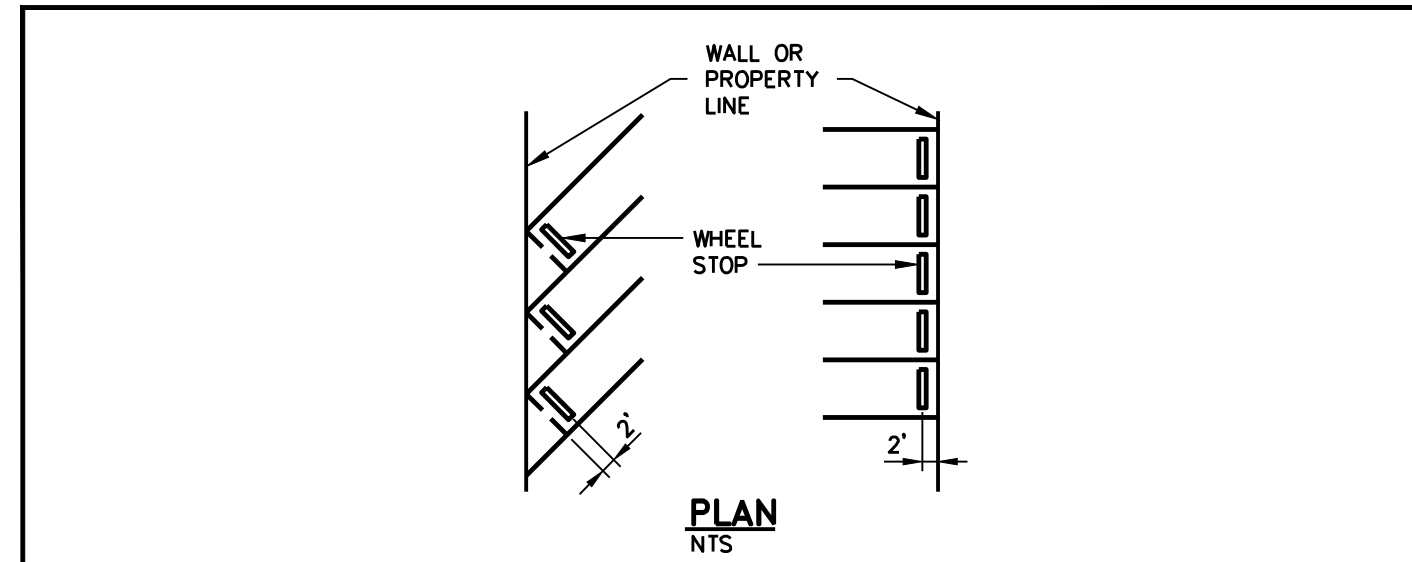
PERMIT SET

DESCRIPTION: [REDACTED]

REV. DATE: [REDACTED]

DRAWN BY: SAP
DESIGNED BY: RTS
CHECKED BY: JS
JOB NO.: 9618.001





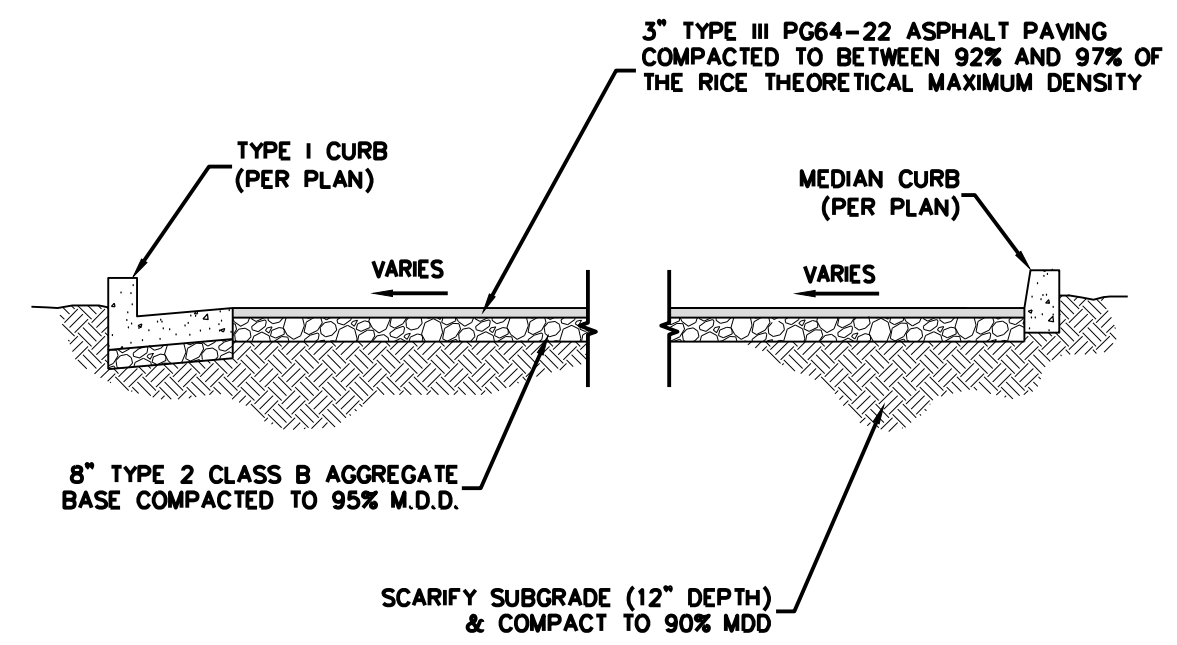
TYPICAL PAVEMENT SECTION
 1. PARKING LOTS WILL BE CONSTRUCTED WITH A MINIMUM OF 2.5 INCHES OF A.C. SURFACE ON 6 INCHES OF TYPE 2 CLASS B AGGREGATE BASE (BOTH COMPACTED TO 95% MIN.)

WHEEL STOPS
 1. WHEEL STOPS WILL BE 2 FEET (MIN.) FROM PROPERTY LINE OR APPURTENANCES.
 2. WHEEL STOP WILL BE SECURED WITH 0.5 INCH REBAR DRIVEN 12 INCHES (MIN.) INTO SURFACE OR WITH AN APPROVED EPOXY HAVING A SETTING TIME OF 4-HOUR (MAX.) AT 77 DEGREES FAHRENHEIT.
 3. WHEEL STOPS WILL BE WHITE OR SAFETY YELLOW WITH 0.25 CANDLE POWER REFLECTIVITY.
 4. WHEEL STOP DIMENSIONS WILL BE 4 INCHES TO 7 INCHES HIGH X 4 FEET (MIN.) LONG X 6 INCHES (MIN.) WIDE. WHEEL STOP LOCATION SHALL SECURE VEHICLE TIRES.
 5. MINIMUM WALL THICKNESS FOR METAL STOPS WILL BE 0.25 INCHES, FOR POLYETHYLENE OR FIBERGLASS WHEEL STOPS - 0.75 INCHES.
 6. WOOD WHEEL STOPS WILL BE REDWOOD #2 OR BETTER.
 7. CONCRETE WHEEL STOPS WILL HAVE A MINIMUM TENSILE STRENGTH OF 2000 P.S.I. (ASTM D-746).
 8. IMPACT BRITTLE TEMPERATURE SHALL BE -75 DEGREES CELSIUS. (ASTM D-746).
 9. ELONGATION SHALL BE LIMITED TO 35 PERCENT AT 73 DEGREES FAHRENHEIT (ASTM D638).

STRIPING
 1. PARKING LOT STRIPING SHALL BE WHITE WITH A MINIMUM WIDTH OF 4 INCHES. PAINT SHALL BE SPECIFIED "TRAFFIC STRIPING PAINT" OR HAVE MANUFACTURER'S CERTIFICATION OF SUITABLE APPLICATION ON ASPHALTIC OR CONCRETE SURFACES.

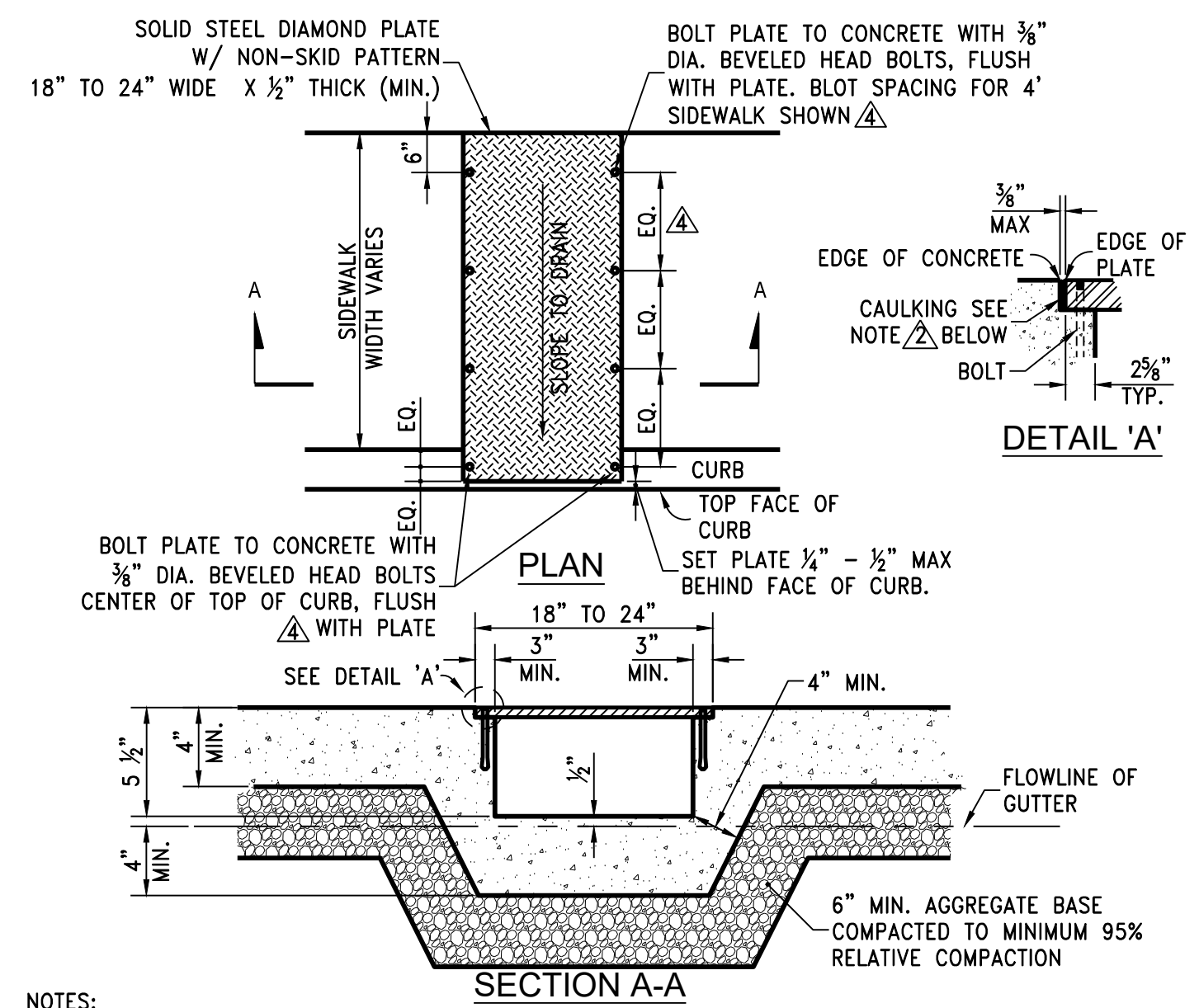
LIGHTING
 1. APPLICATION LEVEL WILL BE 1.0 FOOT CANDLES (MIN.) WITH A UNIFORMITY RATIO (AVERAGE ILLUMINATION) NOT EXCEEDING 6:1 AND AS APPROVED BY THE PUBLIC WORKS DEPARTMENT DEPENDING ON PEDESTRIAN VOLUMES.
 2. LIGHT FIXTURES SHALL BE FULL CUT-OFF FIXTURES AS DEFINED BY THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) UNLESS OTHERWISE APPROVED BY THE CARSON CITY ENGINEER OR PUBLIC WORKS DIRECTOR.
 3. LIGHT POLES SHALL BE LOCATED TO ELIMINATE INTERFERENCE WITH VEHICULAR OR PEDESTRIAN TRAFFIC (AT THE END OF PARKING ROWS WHEN PRACTICAL) AND AS APPROVED BY THE PUBLIC WORKS DEPARTMENT. POLES SHALL NOT BE LOCATED NEXT TO TREES.
 4. MOUNTING POLES WILL COMPLY WITH THE SAME SPECIFICATIONS PRESCRIBED FOR URBAN COLLECTOR STREET USE.

NO.	REVISION	DATE	STANDARD DETAIL FOR PUBLIC WORKS CONSTRUCTION	SECTION
			PARKING LOT REQUIREMENTS	CARSON CITY
				DRAWING NO. C-5.5.2
APPROVED BY:		9/17		DATE SEP 2017



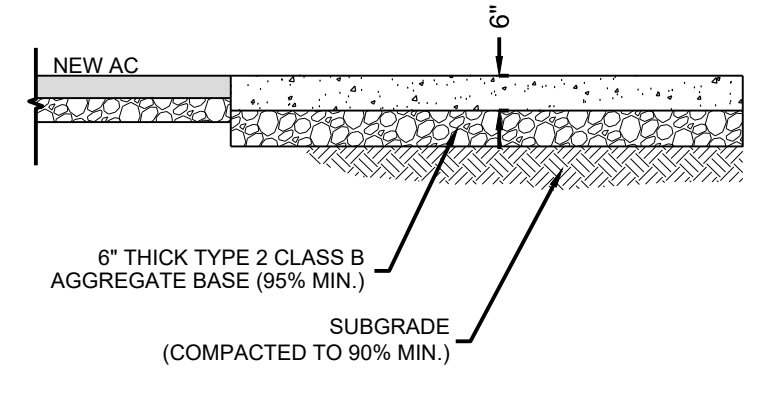
NOTES:
 1. IF UNSUITABLE MATERIAL IS ENCOUNTERED ONSITE THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER IMMEDIATELY.

TYP. PAVEMENT SECTION
 N.T.S.



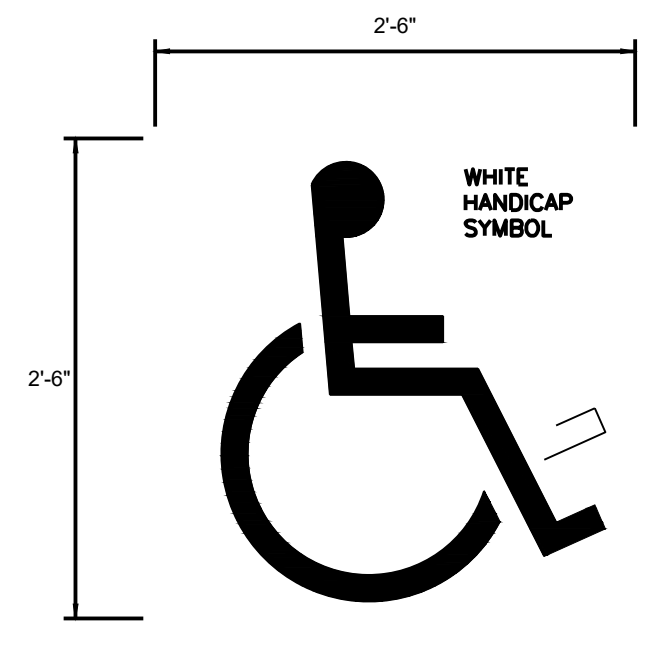
NOTES:
 1. FIBER-REINFORCED PORTLAND CEMENT CONCRETE (P.C.C.) SHALL HAVE THE FOLLOWING CHARACTERISTICS: 4000 PSI MIN. COMPRESSIVE STRENGTH AT 28 DAYS, MIN. 6 SACKS OF CEMENT PER CUBIC YARD WITH MAX. WATER-CEMENT RATIO OF 0.45, AIR ENTRAINMENT 6% ± 1.5%, SLUMP AT 1 TO 4 INCHES. MIX DESIGN SHALL CONFORM TO THE REQUIREMENTS OF SECTION 337 OF STANDARD SPECIFICATIONS OF PUBLIC WORKS CONSTRUCTION (SSPWC). CEMENT SHALL BE TYPE II. ALL CEMENT CONCRETE SHALL HAVE A COARSE AGGREGATE GRADATION CONFORMING TO SIZE NO. 67. POLYPROPYLENE OR CELLULOSE FIBERS SHALL BE ADDED TO THE P.C.C. AT 1.5 LBS. PER CUBIC YARD. ALL MATERIALS SHALL CONFORM TO SSPWC.
 2. SET PLATE FLUSH WITH ADJACENT CONCRETE AND PROVIDE 3/8\"/>

TYP. CONCRETE PAD/FLUSH CONCRETE SIDEWALK
 N.T.S.



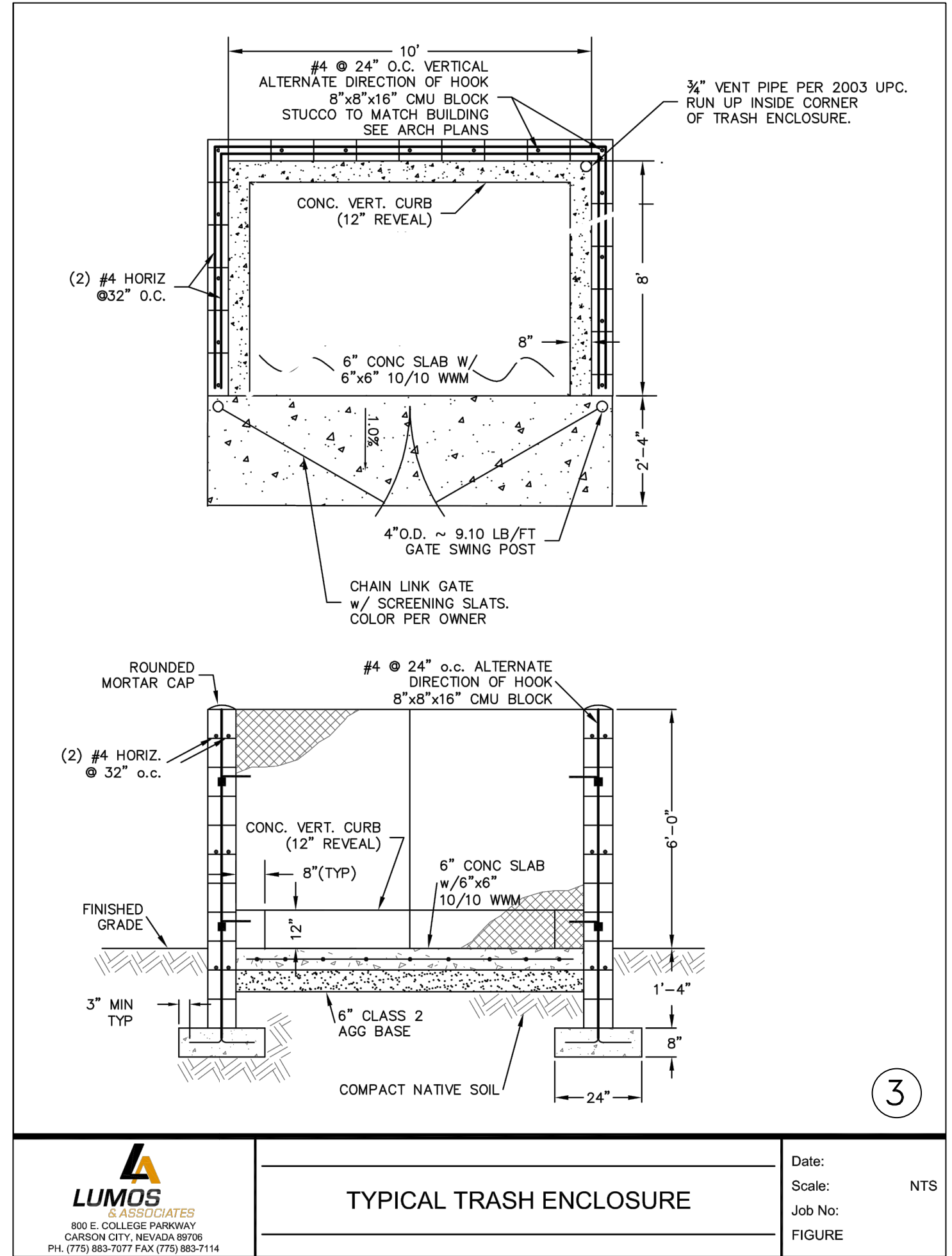
NOTES:
 1. ALL P.C.C. CONCRETE SHALL BE FIBER-REINFORCED AND MEET 4,000 PSI MIN. AT 28 DAYS.
 2. WEAKENED PLANE JOINTS SHALL BE TOOLED AND NOT BE GREATER THAN 6\"/>

TYP. CONCRETE PAD/FLUSH CONCRETE SIDEWALK
 N.T.S.

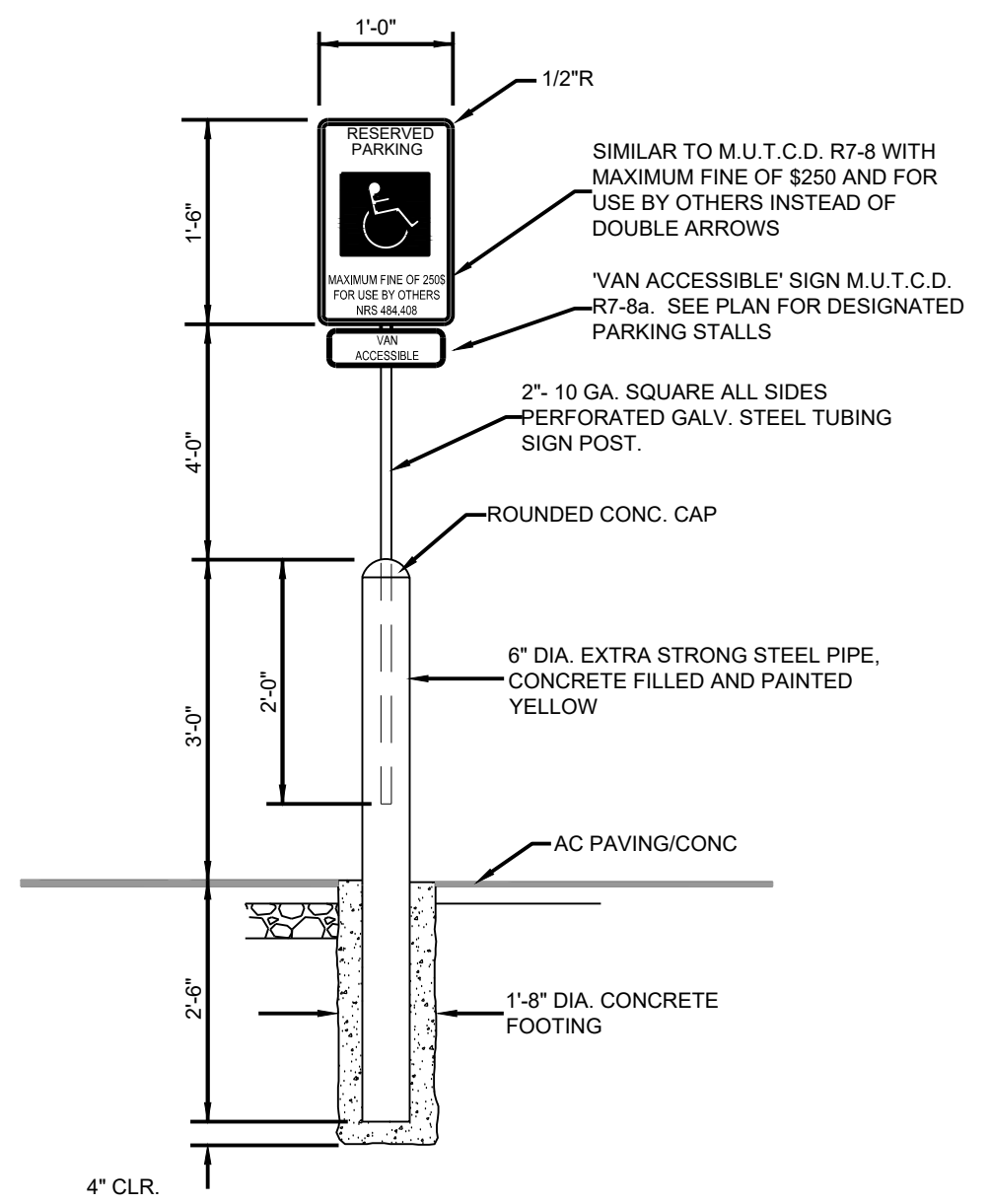


NOTE:
 HANDICAP SYMBOL SHALL COMPLY WITH ALL APPLICABLE SECTIONS OF THE AMERICANS WITH DISABILITIES ACT.

HANDICAP SYMBOL
 N.T.S.



TYPICAL TRASH ENCLOSURE
 N.T.S.



BOLLARD WITH HANDICAPPED SIGN
 N.T.S.

REV.	DATE	DESCRIPTION

BAR IS 1 INCH ON ORIGINAL DRAWING
 IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

L:\Mapro\9618.001 - Bank Saloon Parking Lot Design\DWG\Civil\3D\9618001BASE REV 7-17-20.dwg, D1.0, 07/17/2020 10:05 am rspreeman

NOTES:

- PORTLAND CEMENT CONCRETE (P.C.C.) SHALL HAVE THE FOLLOWING CHARACTERISTICS: SYNTHETIC FIBER-REINFORCEMENT (AT A MINIMUM OF 1 POUND PER CUBIC YARD), 4000 PSI MIN. COMPRESSIVE STRENGTH @ 28 DAYS, MIN. 6 SACKS OF CEMENT PER CUBIC YARD WITH A MAX. WATER/CEMENT RATIO OF 0.45, AIR ENTRAINMENT 6% ±1.5%, SLUMP AT 1 TO 4 INCHES. ALL MATERIALS SHALL CONFORM TO SSPWC SECTION 202. POLYPROPYLENE FIBERS SHALL BE ADDED TO THE P.C.C. PER THE MANUFACTURER'S RECOMMENDATIONS.
- FOR INDUSTRIAL AREAS, AN ENGINEERED DESIGN IS REQUIRED.
- AGGREGATE BASE SHALL BE ENGINEERED TYPE 2, CLASS B WITH 95% COMPACTION.
- VALLEY GUTTER SHALL HAVE WEAKENED PLANE JOINTS EVERY 5 FEET. MAINTAIN SQUARE PANELS IF POSSIBLE.
- LOCAL AND COLLECTOR STREETS, WIDTH = 6 FEET. ARTERIAL STREETS (DRIVEWAYS ONLY), WIDTH = 10 FEET.
- VALLEY GUTTER SECTIONS (SPANDRELS) ALONG CURB & GUTTER SHALL BE A MONOLITHIC POUR AS SHOWN.
- ALL CONCRETE EDGING AND JOINTING SHALL BE CONSTRUCTED IN ACCORDANCE WITH STANDARD DETAIL C-5.1.1 AND CONFORM TO SECTION 312 OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (SSPWC).

NO.	REVISION	DATE	STANDARD DETAIL FOR PUBLIC WORKS CONSTRUCTION	SECTION
1	NOTE 4 & 7	9/17		CARSON CITY
			P.C.C. VALLEY GUTTER	DRAWING NO. C-5.1.2
				DATE SEP 2017

NOTES:

- PORTLAND CEMENT CONCRETE (P.C.C.) SHALL HAVE THE FOLLOWING CHARACTERISTICS: SYNTHETIC FIBER-REINFORCEMENT (AT A MINIMUM OF 1 POUND PER CUBIC YARD), 4000 PSI MIN. COMPRESSIVE STRENGTH @ 28 DAYS, MIN. 6 SACKS OF CEMENT PER CUBIC YARD WITH A MAX. WATER/CEMENT RATIO OF 0.45, AIR ENTRAINMENT 6% ±1.5%, SLUMP AT 1 TO 4 INCHES. ALL MATERIALS SHALL CONFORM TO SECTION 202 OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- ALL CONCRETE CURB & GUTTER SHALL HAVE 1/2 INCH EXPANSION JOINTS AT ALL CURB RETURNS AND SHALL HAVE WEAKENED PLANE JOINTS EVERY 10 FEET. CONCRETE EDGING AND JOINTING SHALL BE CONSTRUCTED IN ACCORDANCE WITH STANDARD DETAILS C-5.1.1 AND C-5.1.3 AND CONFORM TO SECTION 312 OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (SSPWC).
- ALL AGGREGATE BASE SHALL BE TYPE 2, CLASS B AND CONFORM TO SECTION 200.01 OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, AND SHALL BE MECHANICALLY COMPACTED TO 95% COMPACTION, IN CONFORMANCE WITH SECTION 308.05 OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- CURB & GUTTER SHALL BE POURED SEPARATELY/NON-MONOLITHICALLY FROM SIDEWALK.

NO.	REVISION	DATE	STANDARD DETAIL FOR PUBLIC WORKS CONSTRUCTION	SECTION
1	NOTES 2 & 4	9/17		CARSON CITY
			PCC CURB & GUTTER TYPE 1	DRAWING NO. C-5.1.3
				DATE SEP 2017

NOTES:

- MINIMUM CURB RETURN RADIUS SHALL BE 15 FEET UNLESS OTHERWISE APPROVED BY THE CARSON CITY ENGINEER OR PUBLIC WORKS DIRECTOR.
- SOME STREETS MAY REQUIRE WIDER SIDEWALKS.
- SIDEWALK ADJACENT TO TYPE 2 OR ROLLED CURB AND GUTTER SHALL BE CONSTRUCTED 5 INCHES THICK OF CONCRETE ON 6 INCHES OF AGGREGATE BASE COMPACTED TO 95%.
- SIDEWALK SHALL BE POURED NON-MONOLITHICALLY FROM CURB AND GUTTER.

NO.	REVISION	DATE	STANDARD DETAIL FOR PUBLIC WORKS CONSTRUCTION	SECTION
1	NOTE 3 & 4	9/17		CARSON CITY
			TYPE "A" SIDEWALK	DRAWING NO. C-5.2.2
				DATE SEP 2017

NOTES:

- TYPE 2 DRIVEWAY APRON TO BE USED WITH OFFSET SIDEWALK UNLESS 5 FOOT SURFACE WITH 1.5% MAXIMUM BYPASS IS PROVIDED. (SEE DRIVEWAY APRON BYPASS DETAIL C-5.2.6).
- COMMERCIAL DRIVEWAYS TO HAVE #4 REBAR AT 18 INCHES ON CENTER EACH WAY EXTENDED INTO GUTTER PAN UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
- IF EXPANSION JOINTS EXIST WITHIN 4 FEET OF DRIVEWAY, REMOVE SIDEWALK, CURB AND GUTTER TO THAT JOINT.
- DRIVEWAY APRONS SHALL BE CONSTRUCTED IN COMPLIANCE WITH STANDARD DETAILS C-5.1.1 AND C-5.2.1.

NO.	REVISION	DATE	STANDARD DETAIL FOR PUBLIC WORKS CONSTRUCTION	SECTION
1	EXPANSION JT	9/17		CARSON CITY
			P.C.C. DRIVEWAY APRON TYPE 2	DRAWING NO. C-5.2.4
				DATE SEP 2017

NOTES:

- NO CONCRETE SHALL BE PLACED UNTIL FORMS AND SUBGRADE ARE INSPECTED BY CARSON CITY PUBLIC WORKS.
- ALL CONCRETE EDGING AND JOINTING SHALL BE CONSTRUCTED IN ACCORDANCE WITH STANDARD DETAILS C-5.1.1, AND C-5.3.1 AND CONFORM TO SEC. 312.09 OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (SSPWC).

NO.	REVISION	DATE	STANDARD DETAIL FOR PUBLIC WORKS CONSTRUCTION	SECTION
1	NOTE 2	9/17		CARSON CITY
			P.C.C. RETAINING CURB	DRAWING NO. C-5.3.10
				DATE SEP 2017

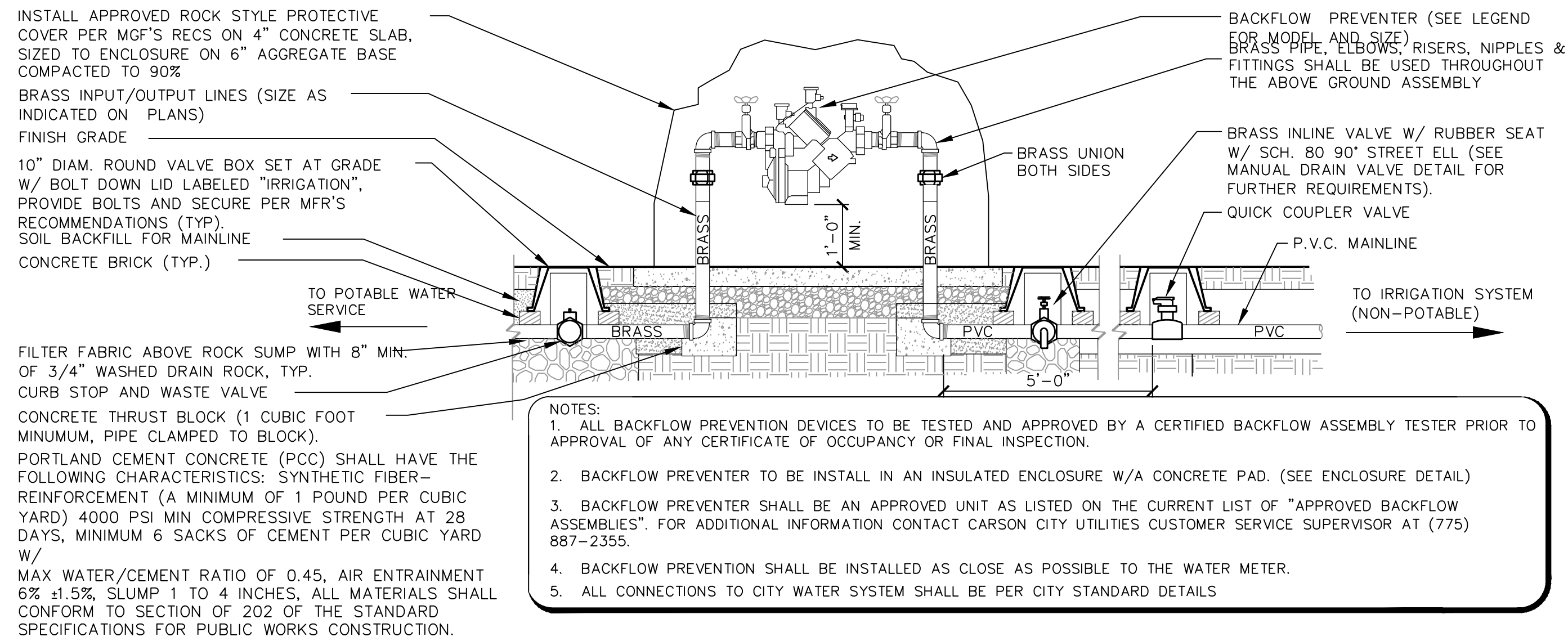
NEVADA BUILDERS ALLIANCE
BANK SALOON
PARKING LOT
DETAILS

REV	DATE	DESCRIPTION

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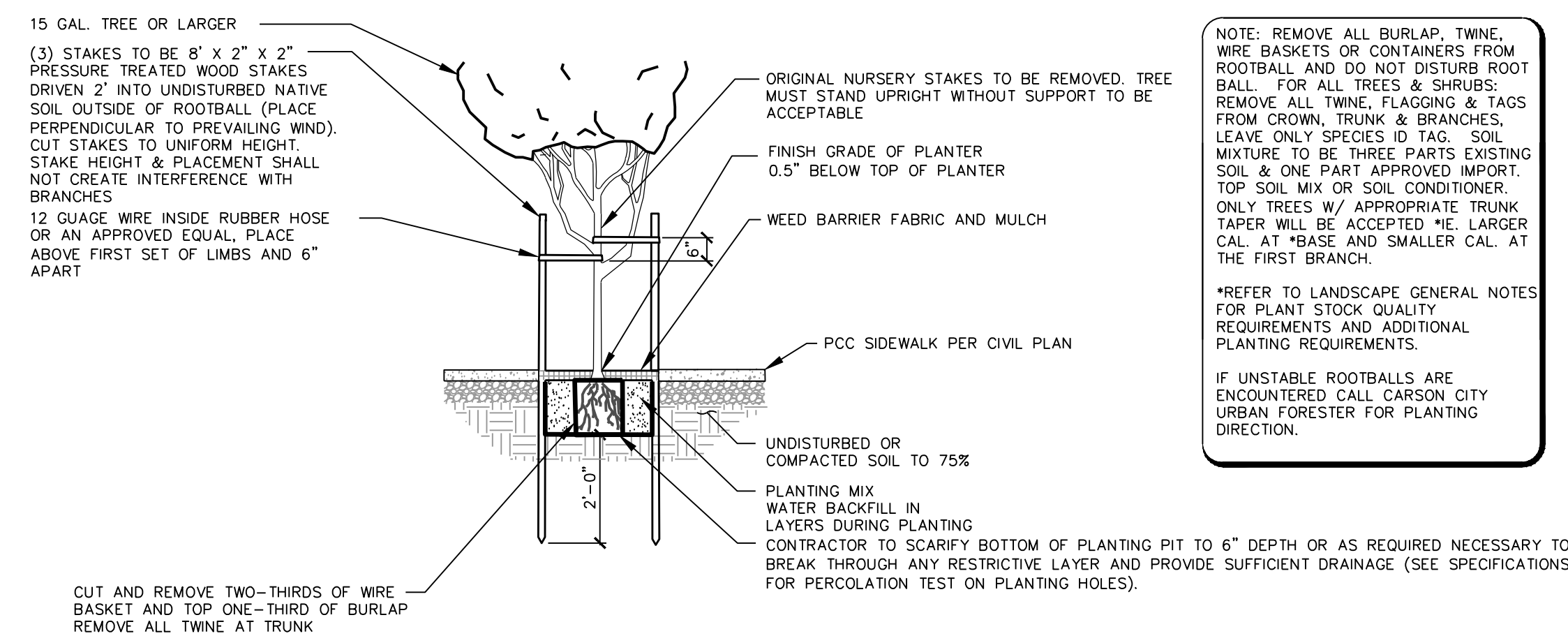
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DESIGNED BY: RTS
CHECKED BY: JS
JOB NO.: 9618.001



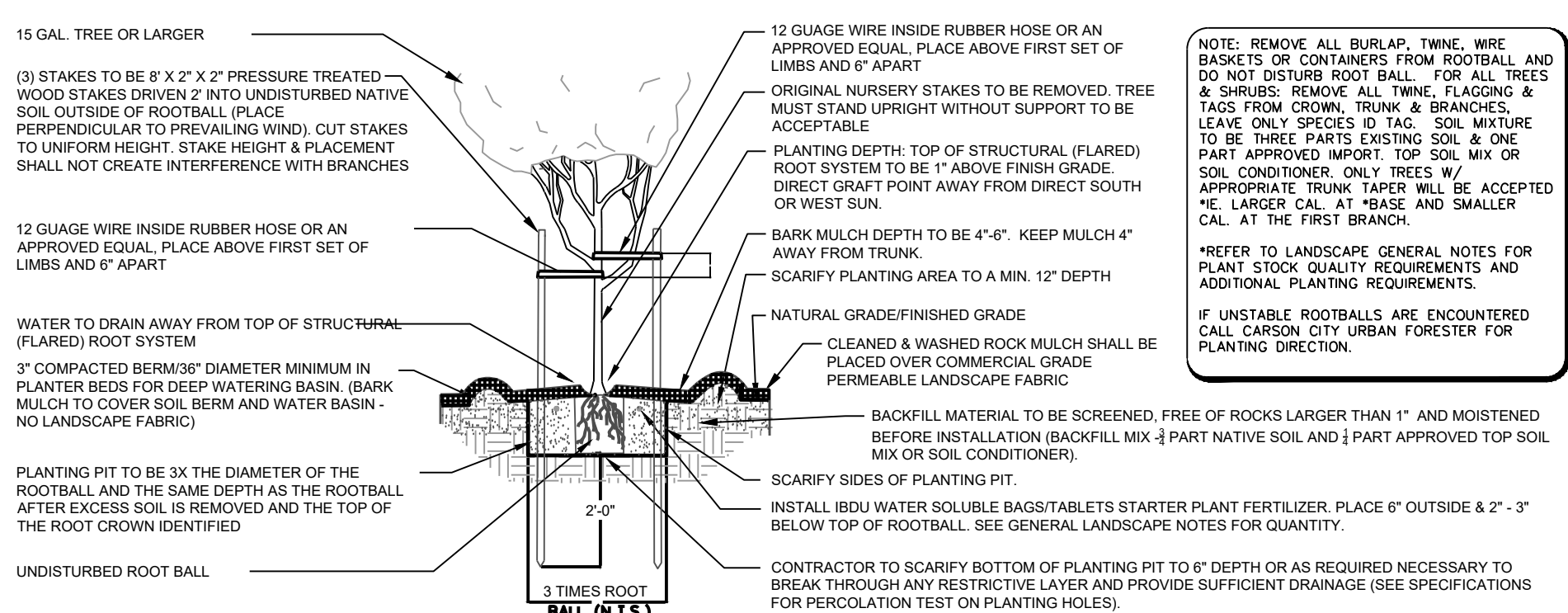
IRRIGATION BACKFLOW PREVENTOR

N.T.S.



DECIDUOUS TREE IN SIDEWALK

N.T.S.



DECIDUOUS TREE PLANTING DETAIL

N.T.S.

NEVADA BUILDERS ALLIANCE
BANK SALOON
PARKING LOT
DETAILS

NV
CARSON CITY

REV	DATE	DESCRIPTION

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D1.2

DRAWN BY: SAP
DESIGNED BY: RTS
CHECKED BY: JS
JOB NO.: 9618.001

Streetlight Submittal

Submitted by Associated Lighting Reps., Inc.

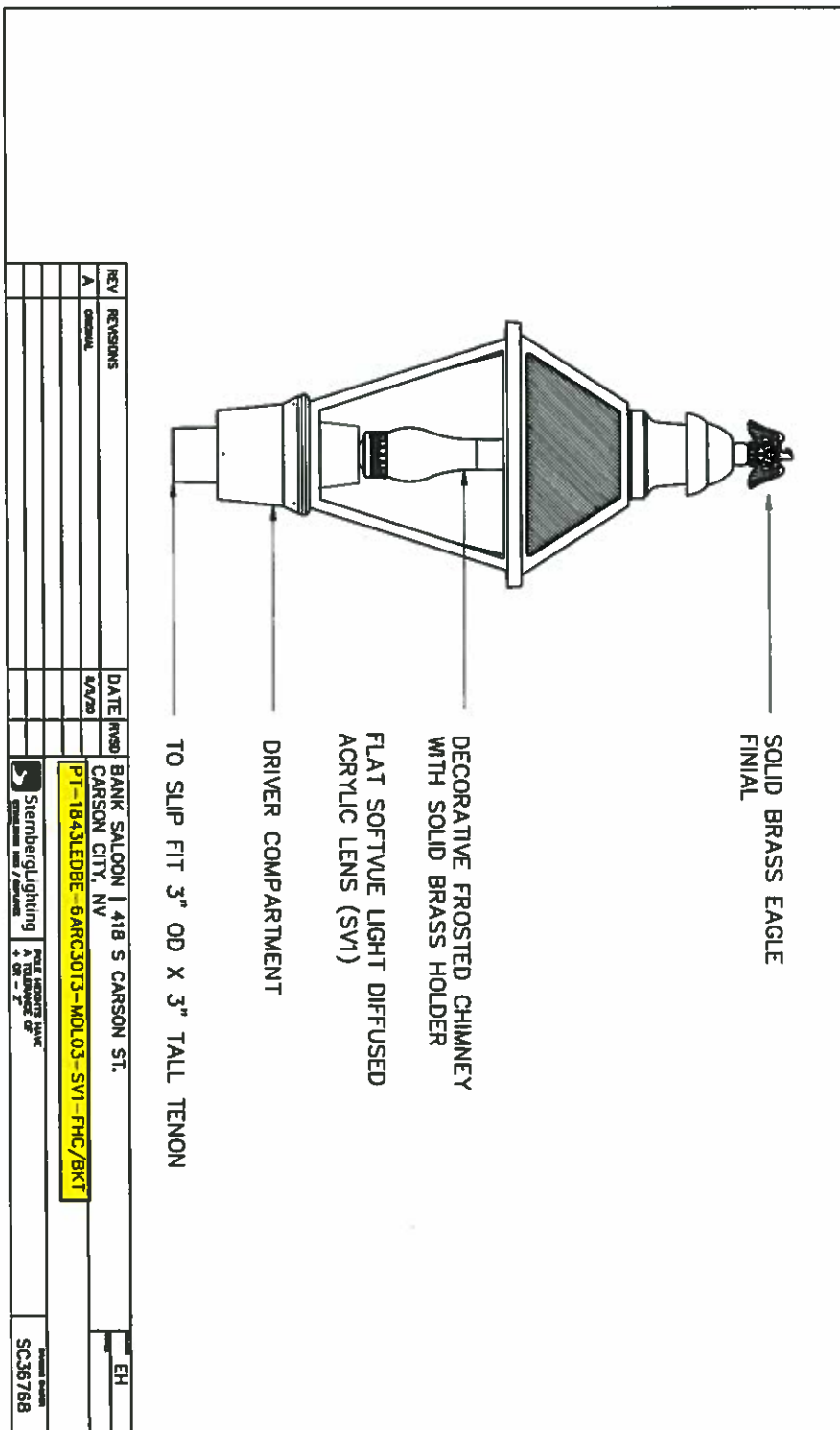


Job Name:
 CARSON CITY BANK SALOON - N071620ANV
 (REV 0)
 Owner: CITY OF CARSON CITY (CARSON CITY)

Catalog Number:
 PT-1843LEDDE-6ARC30T3-MDL03-
 SV1-FHC/BKT
 Notes:

Type:

ALRREN20-4352



Submitted by Associated Lighting Reps., Inc.

Catalog Number: 3912FP4-.188-GFI LPIUC/BKT

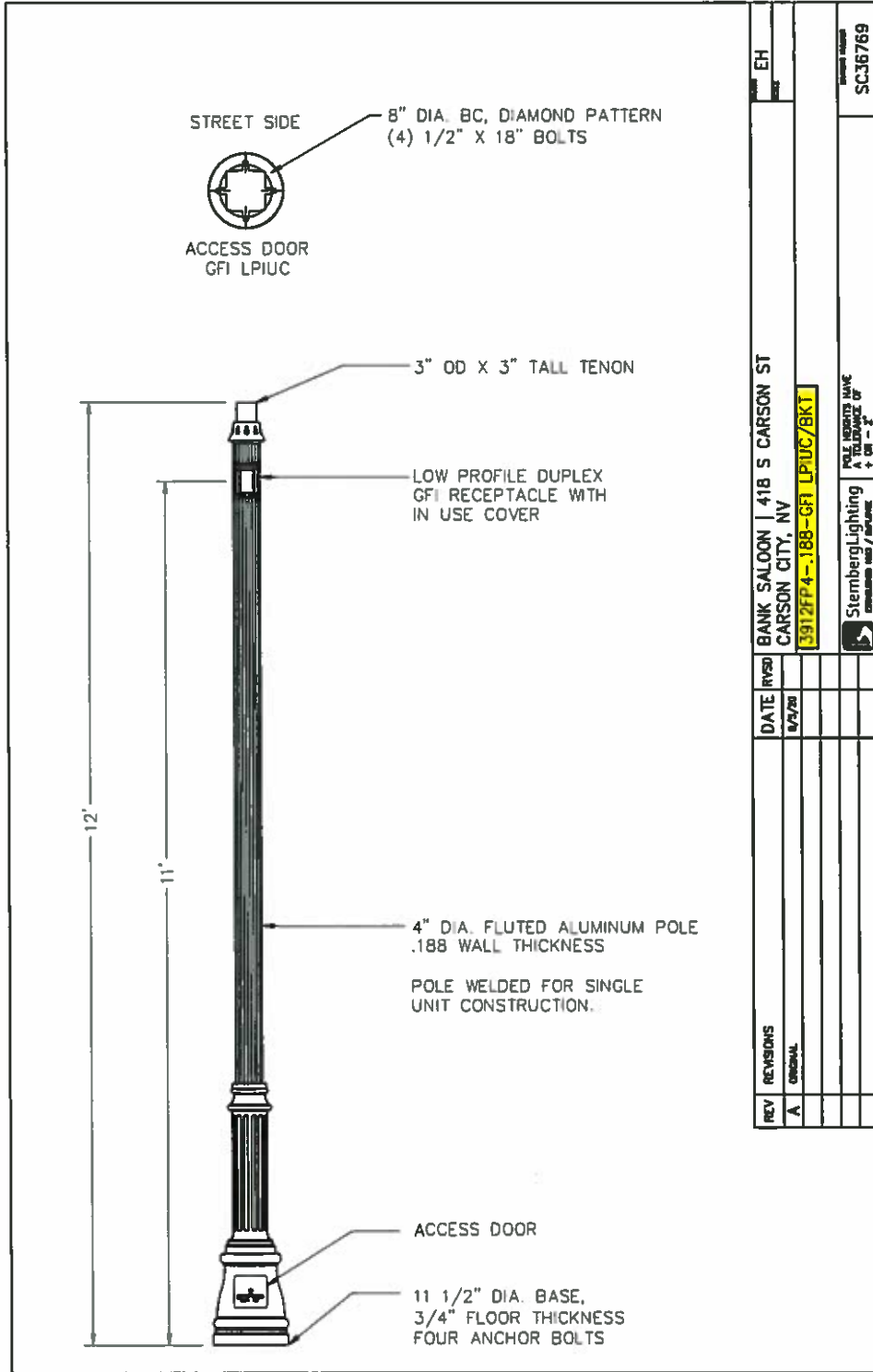
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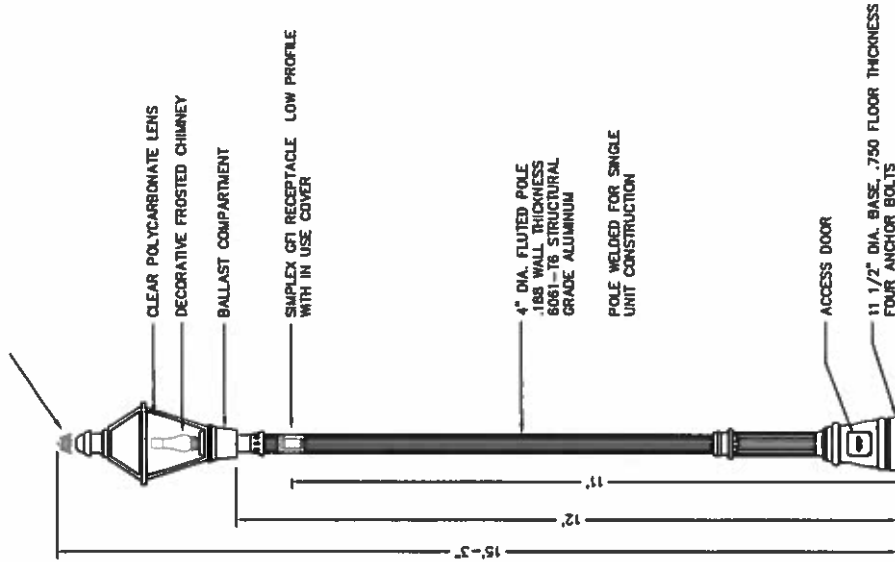
Job Name:
CARSON CITY BANK SALOON - N071620ANV
(REV 0)
Owner: CITY OF CARSON CITY (CARSON CITY)

Notes:

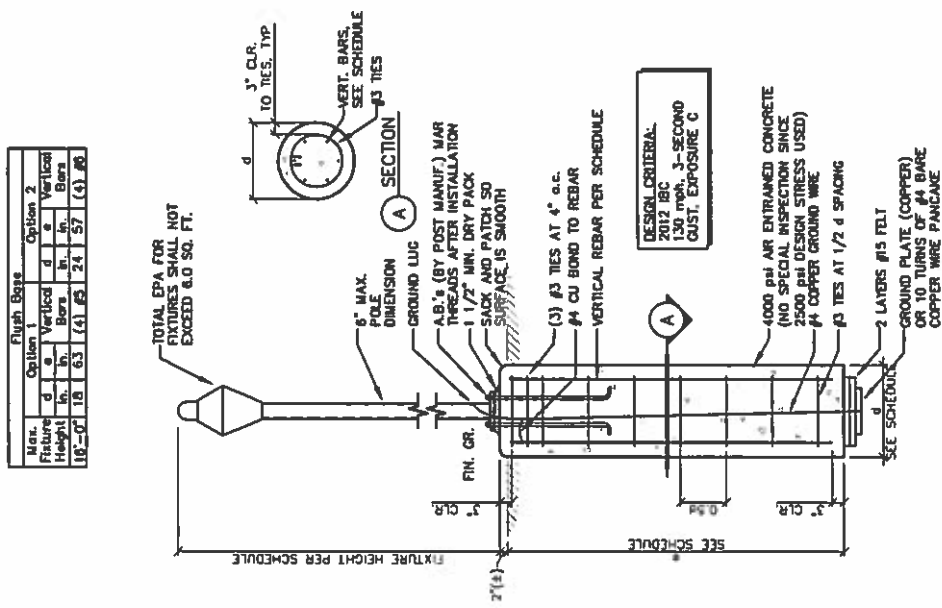
ALRREN20-4352



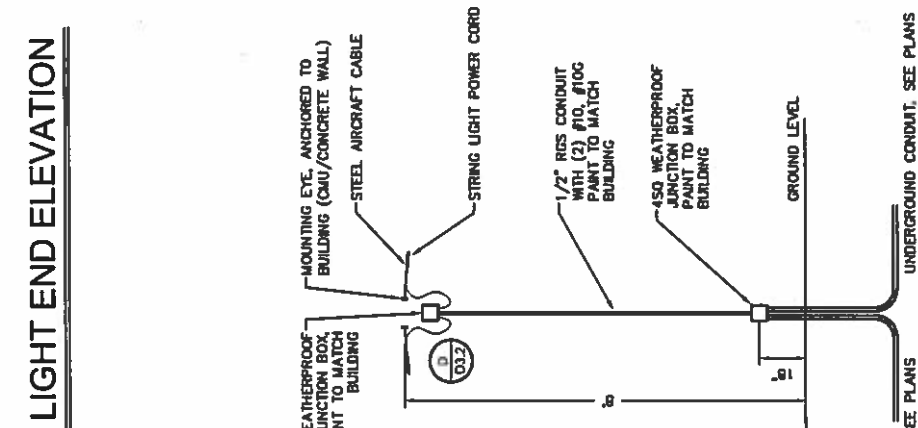
LIGHT END ELEVATION



B DECORATIVE STREET POLE



A POLE BASE - FLUSH



LIGHT CONNECTION ELEVATION

Flush Base					
Max. Fixture Height	Option 1		Option 2		Vertical Bars
	d	e	d	e	
18'-0"	18	6.3	14	6.3	(4) #3
					(4) #5

DESIGN CRITERIA:
2012 IBC
130 mph, 3-SECOND GUST, EXPOSURE C

4000 PSI AIR ENTRAINED CONCRETE (NO SPECIAL INSPECTION SINCE 2500 PSI DESIGN STRESS USED)
#4 COPPER GROUND WIRE

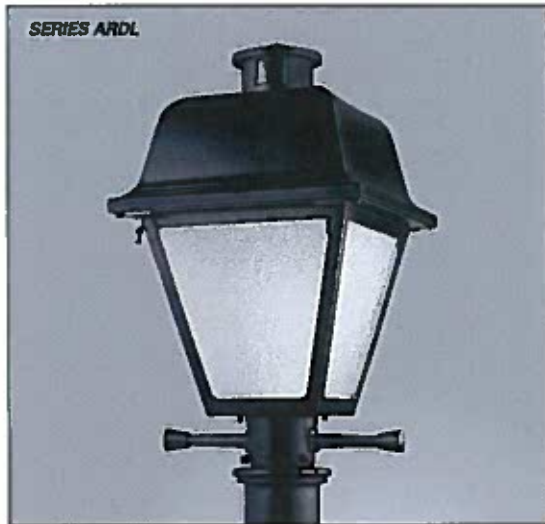
#3 TIES AT 1/2 4 SPACING
2 LAYERS #15 FELT
GROUND PLATE (COPPER) OR 10 TURNS OF #4 BARE COPPER WIRE PANCAKE

SEE PLANS
UNDERGROUND CONDUIT, SEE PLANS

Parking Lot Lighting Submittal

American Revolution Deluxe LED Series ARDL

PRODUCT OVERVIEW



Features:

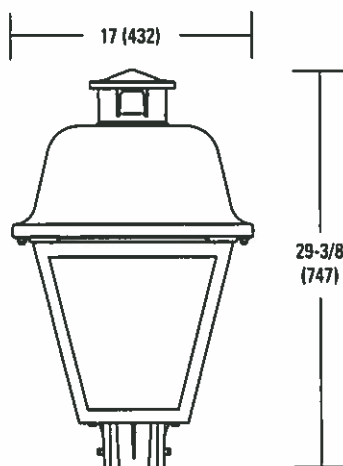
- Colonial LED lantern, replaces HID models up to 150W HPS for street and area lighting applications
- Eleven (11) LED performance packages deliver just the right amount of light for any given application up to 12,000 lumens
- Available in color temperature choices of 2700K, 3000K, 4000K, and 5000K
- Four (4) distinct light distribution options provide design flexibility, available in Type II, Type III, Type IV, and Type V
- Die-cast aluminum housing with choice of acrylic or polycarbonate panel reflectors; engineered for sturdy life-long performance
- Die-cast aluminum hood features a trigger latch (TL) option and captive thumb screws for fast, easy electrical and optical chamber access
- Standard paint finish is smooth / gloss
- Housing is tenon pole-mounted and designed for use with a 3" tall by 2-3/8" to 3" diameter tenon, and secured by three set screws.
- Rated L70, LED life greater than 100,000 hours at 25°C
- Complies with all applicable ANSI C136 standards
- CSA listed and suitable for up to 40°C ambient
- Surge protection device (standard) exceeds ANSI/IEEE C62.41-2002 Category C High (10kV/10kA) and ANSI C136.2-2015 Enhanced (10kV/5kA). 20KV Option exceeds ANSI/IEEE C62.41-2002 Category C High (10kV/10kA) and ANSI C136.2-2015 Extreme (20kV/10kA)
- Equipped with LED electronic 0-10V dimmable driver

Applications:

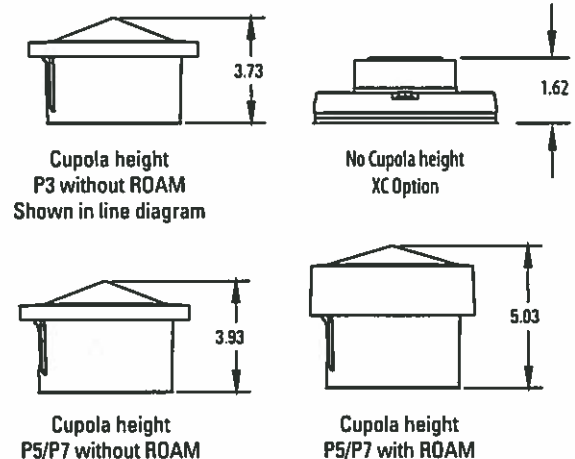
Streetscapes
Walkways
Pathways
Parks



DIMENSIONS



Effective Projected Area (EPA)
The EPA for the ARDL 2.4 sq. ft.
P5 or P7 option total height is 24.9 (633).
Approx. Wt. = 39 lbs.

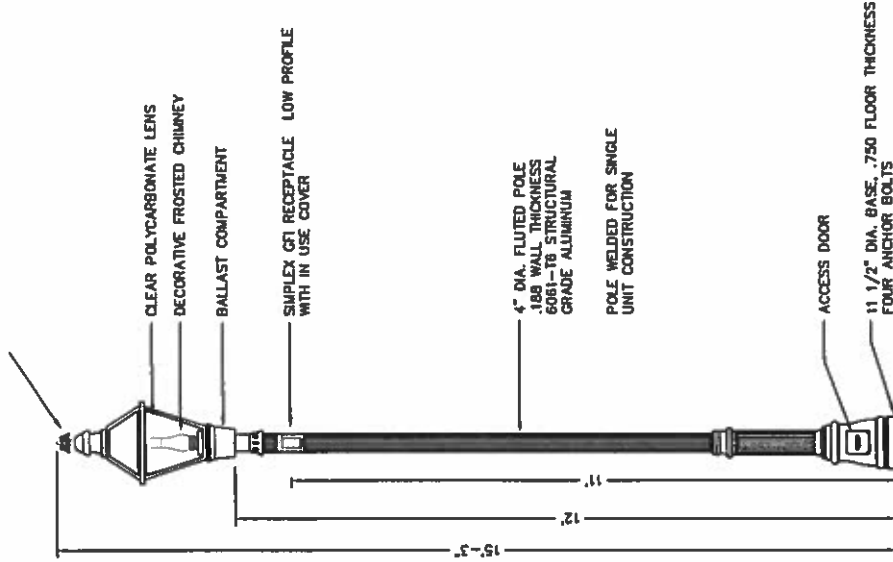
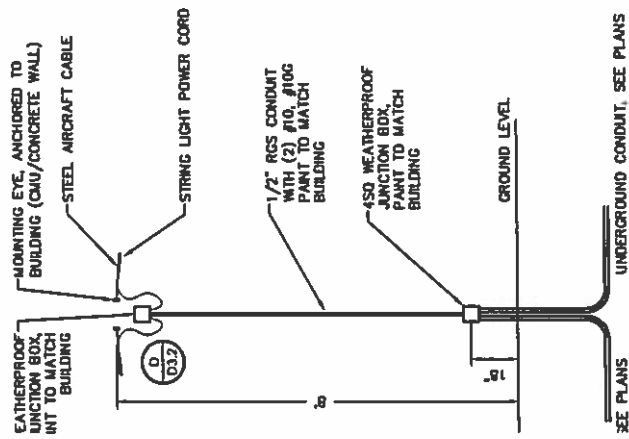


All dimensions are inches (millimeters) unless otherwise noted.

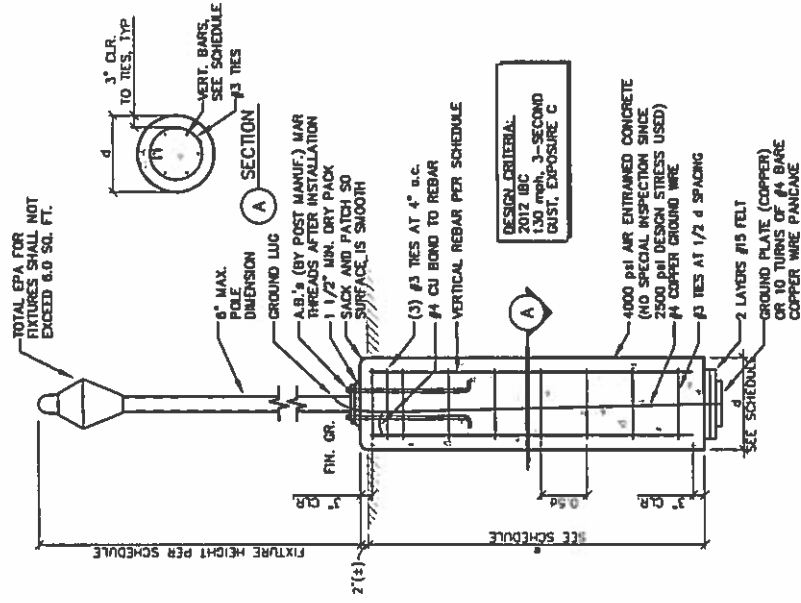
Note: Specifications subject to change without notice.
American Revolution Deluxe LED Series - ARDL

AEL American
Electric
Lighting

LIGHT END ELEVATION



Flush Base					
Area	Option 1		Option 2		Notes
	d	h	d	h	
Fixture Height	18	24	18	24	(4) #5 (4) #8
Base	18	24	18	24	



LIGHT CONNECTION ELEVATION

B DECORATIVE STREET POLE

A POLE BASE - FLUSH

Fencing Submittal

BUILDERS FENCE COMPANY, INC.

BFC IRON

BFC RESIDENTIAL

STANDARD HEIGHTS TO GROUND LEVEL:

3', 4', 5', 6'

STANDARD PANEL LENGTHS:

94", 120" & 143 1/2"

STANDARD TUBE SIZES:

PICKETS (SQUARE) 5/8" X 5/8" 18 ga.

RAILS (SQUARE) 1" X 1" 16 ga.

RECOMMENDED FINISH:

Galva-Guard I

Note: See page 4 for optional finishes.

GATE AVAILABILITY:

Single swing, double swing, ground track sliding & full cantilever slide gates.

Custom lengths can be manufactured at either nominal or no additional costs.

POSTS:

Posts are supplied according to weight and size of fence material. They are available for dirt-set, concrete-set or flange mounting.

INSTALLATION:

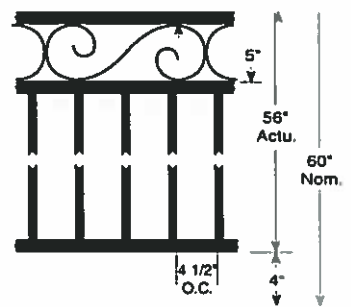
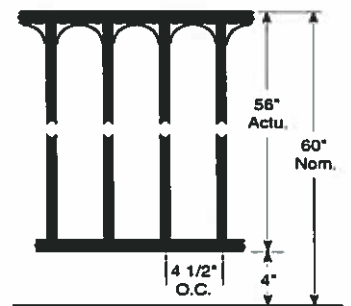
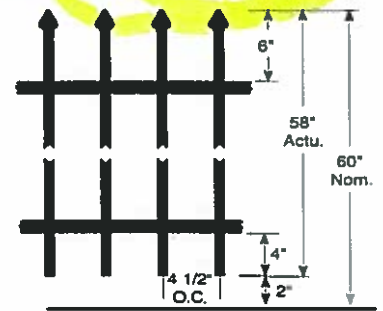
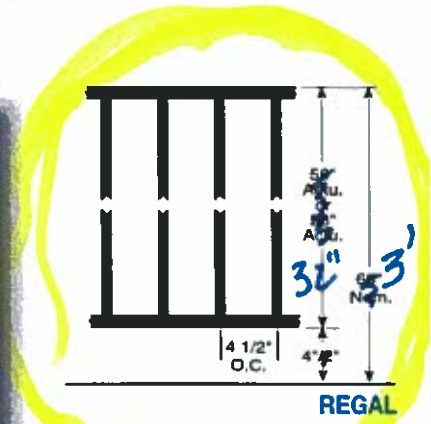
All fence panels and gates are delivered prepared for welded installation. BFC offers wall mount and post mounting brackets if required.

OPTIONS:

BFC's Residential Iron Fencing offers endless choices of twisted pickets, scroll work, cast iron finials, rings, flame-cut letters and arching rails providing a unique design for the home.

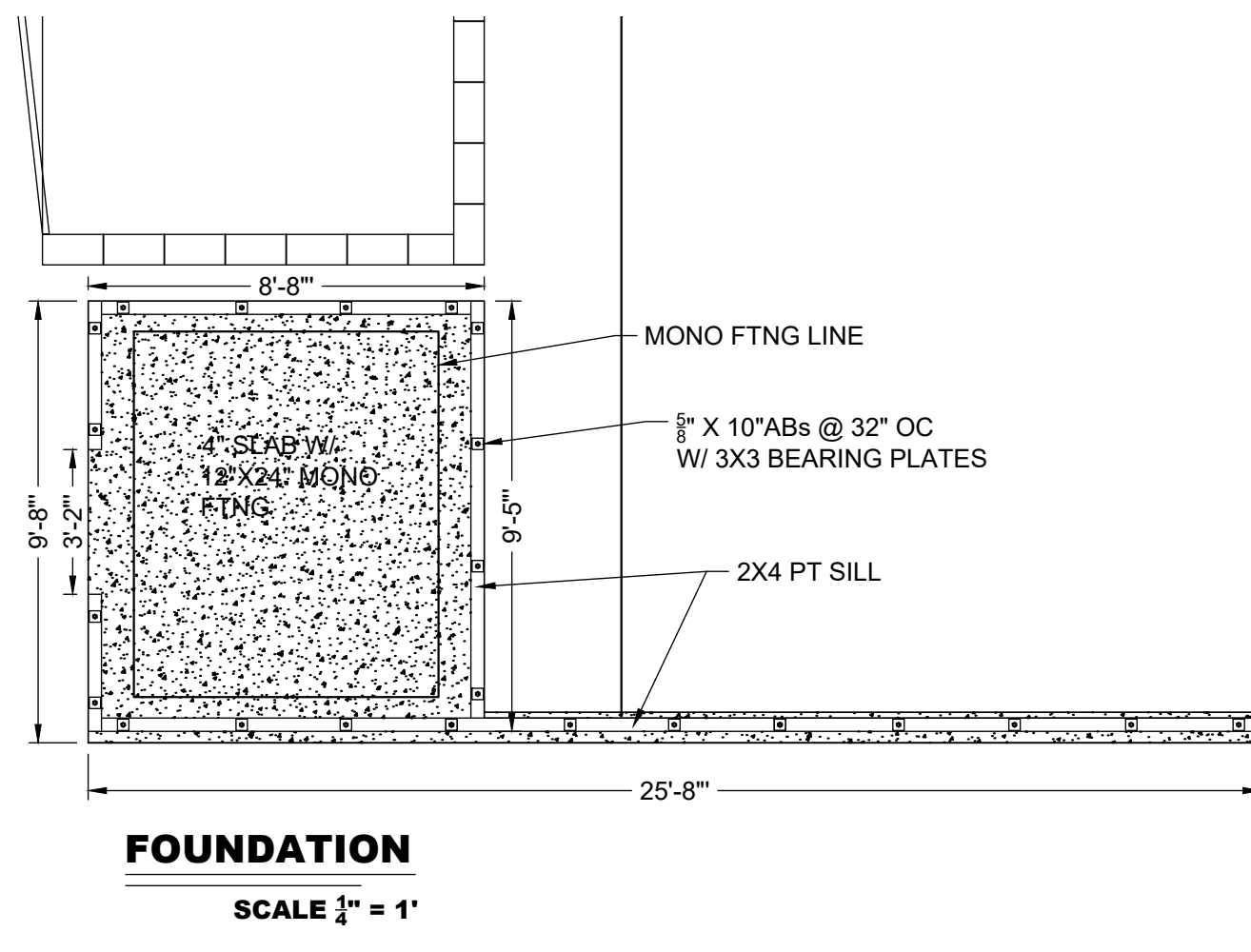


Complete
ADA
compliant
Security Systems
Available

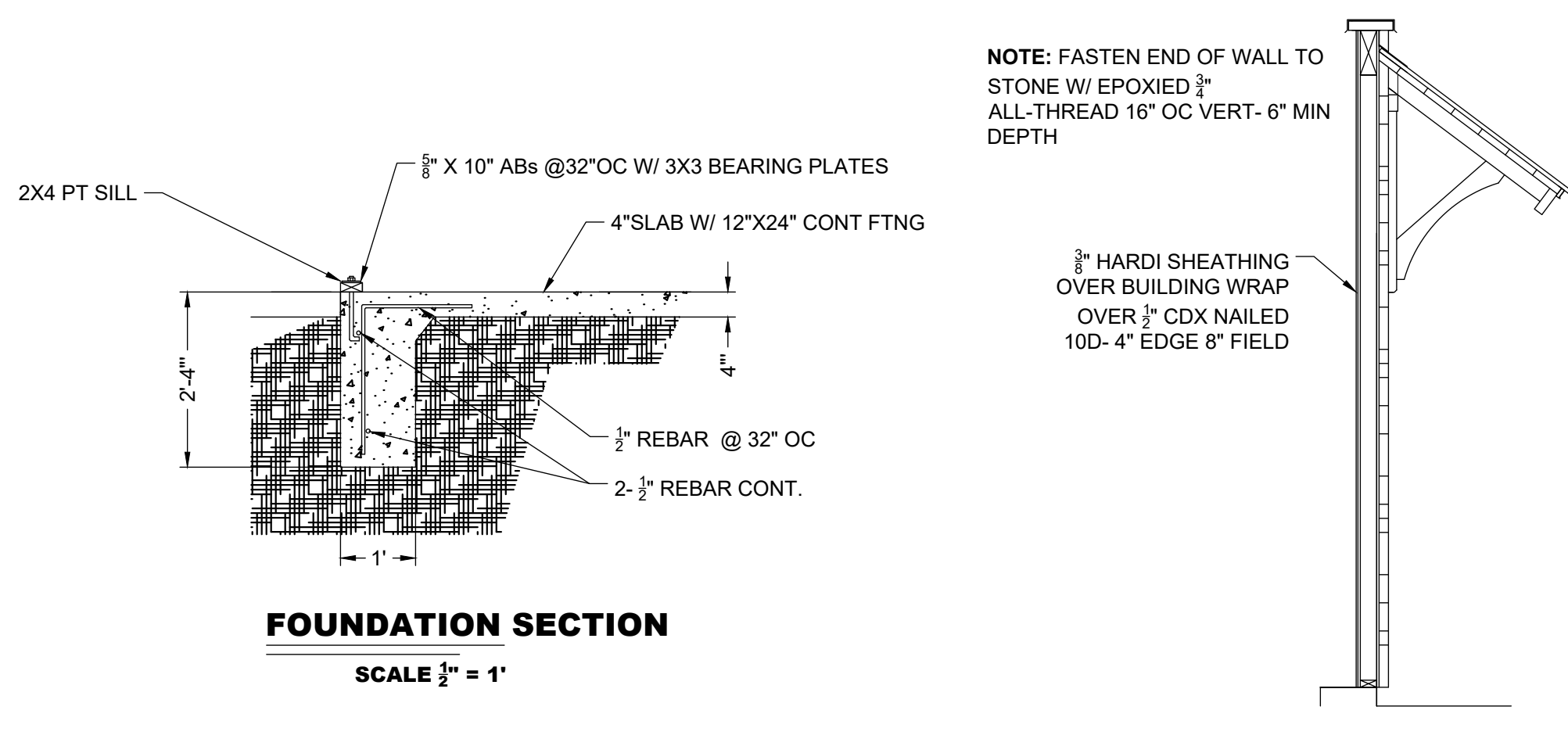


BFC Residential Iron Fencing adds both beauty and security to any home.

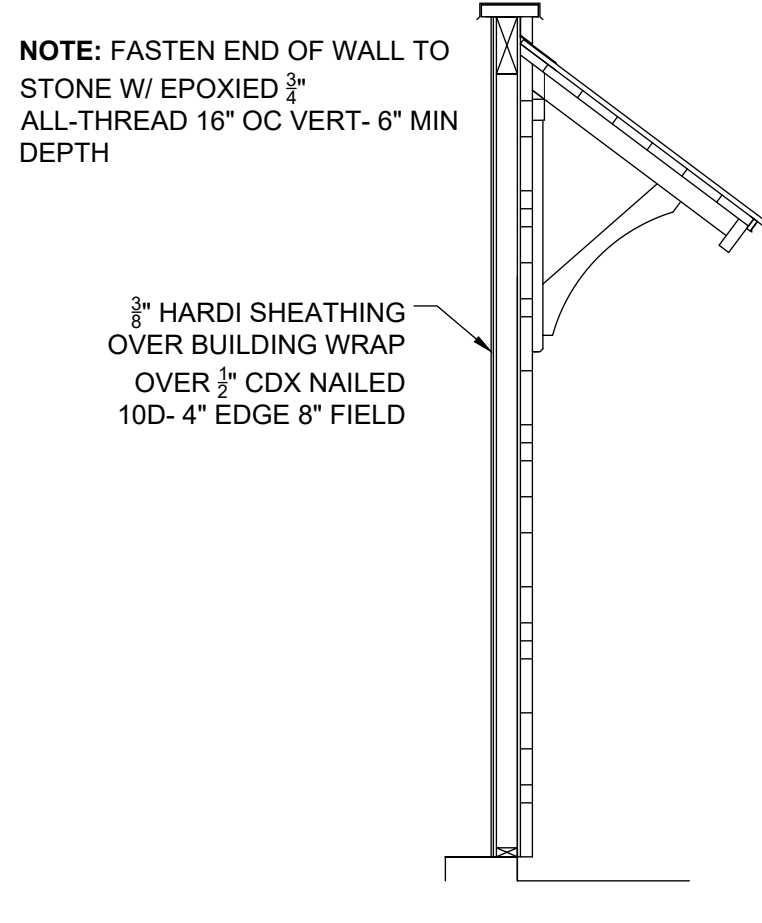




FOUNDATION
SCALE 1/4" = 1'

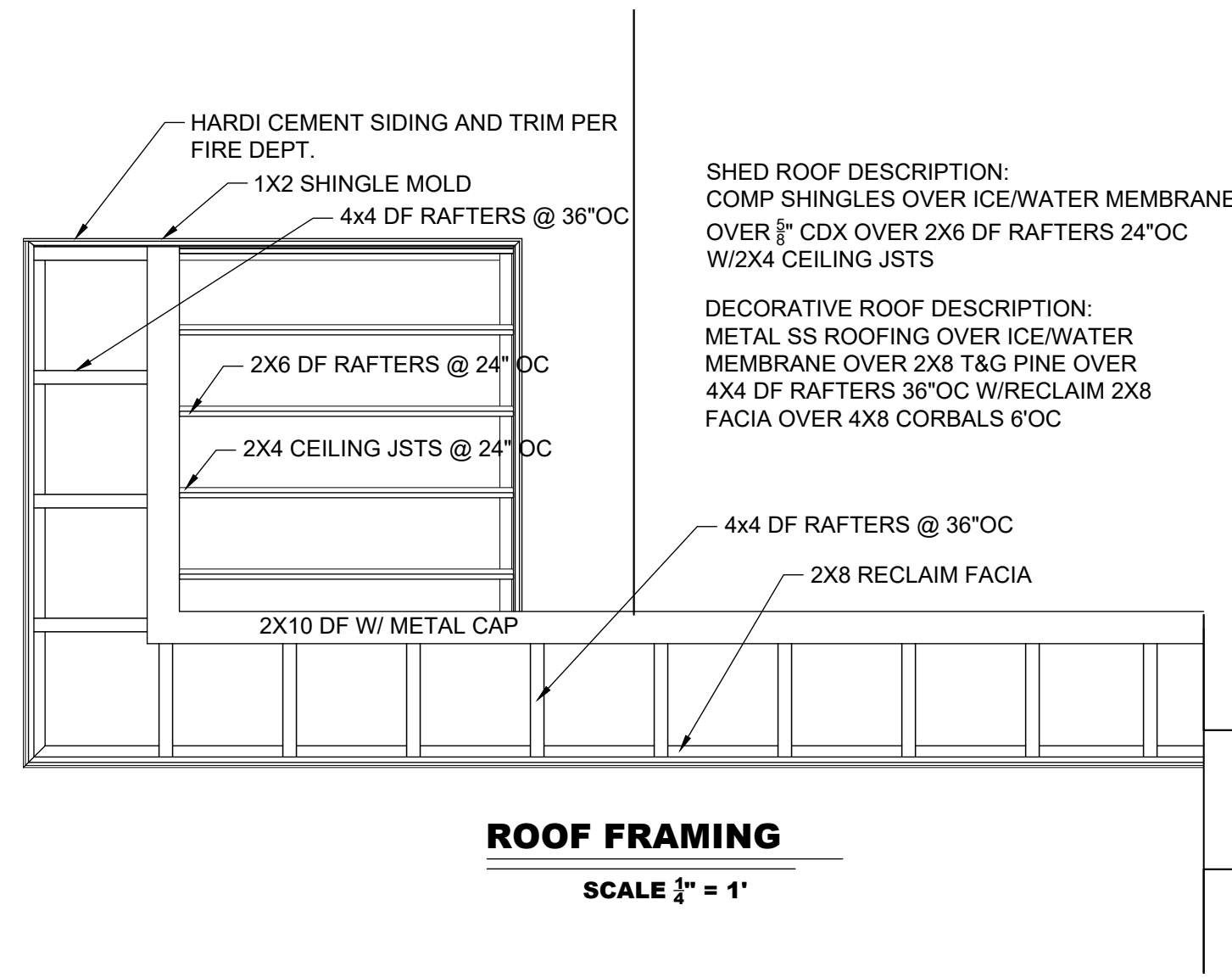


FOUNDATION SECTION
SCALE 1/2" = 1'



SCREEN WALL SECTION
SCALE 3/8" = 1'

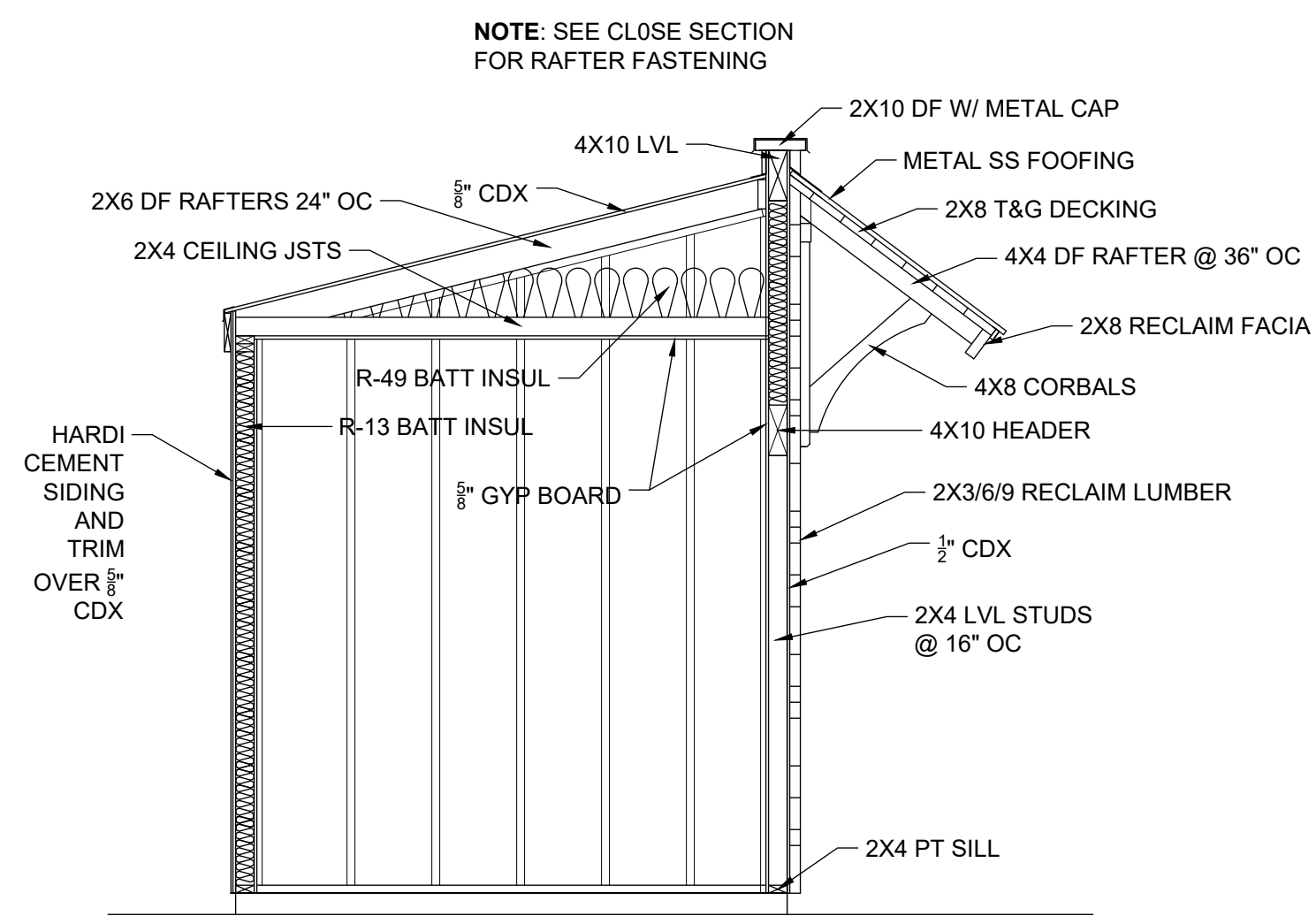
NOTE: FASTEN END OF WALL TO STONE W/ EPOXIED 3/4" ALL-THREAD 16" OC VERT- 6" MIN DEPTH



ROOF FRAMING
SCALE 1/2" = 1'

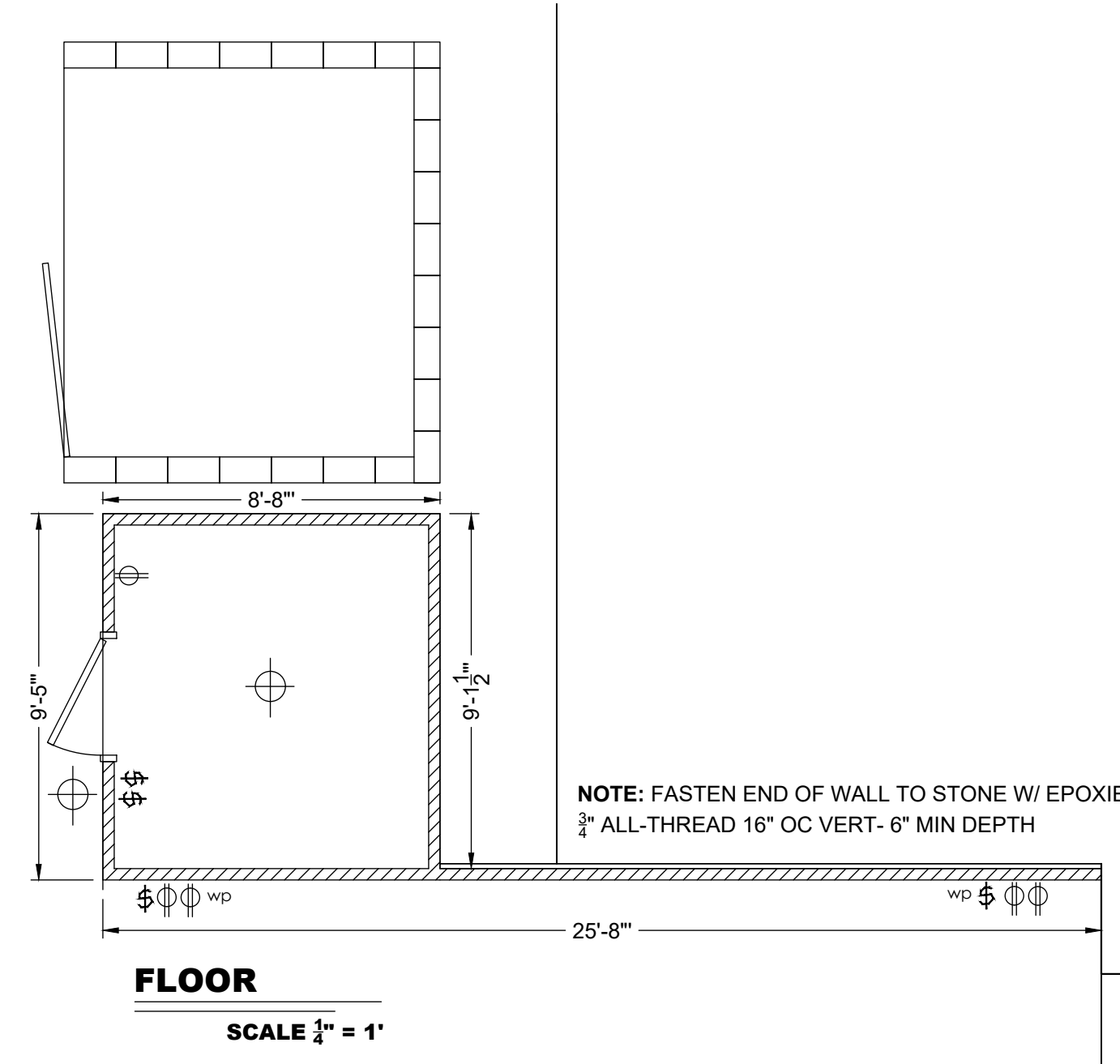
SHED ROOF DESCRIPTION:
COMP SHINGLES OVER ICE/WATER MEMBRANE OVER 1/2" CDX OVER 2X6 DF RAFTERS 24" OC W/2X4 CEILING JSTS

DECORATIVE ROOF DESCRIPTION:
METAL SS ROOFING OVER ICE/WATER MEMBRANE OVER 2X8 T&G PINE OVER 4X4 DF RAFTERS 36" OC W/RECLAIM 2X8 FACIA OVER 4X8 CORBALS 6" OC



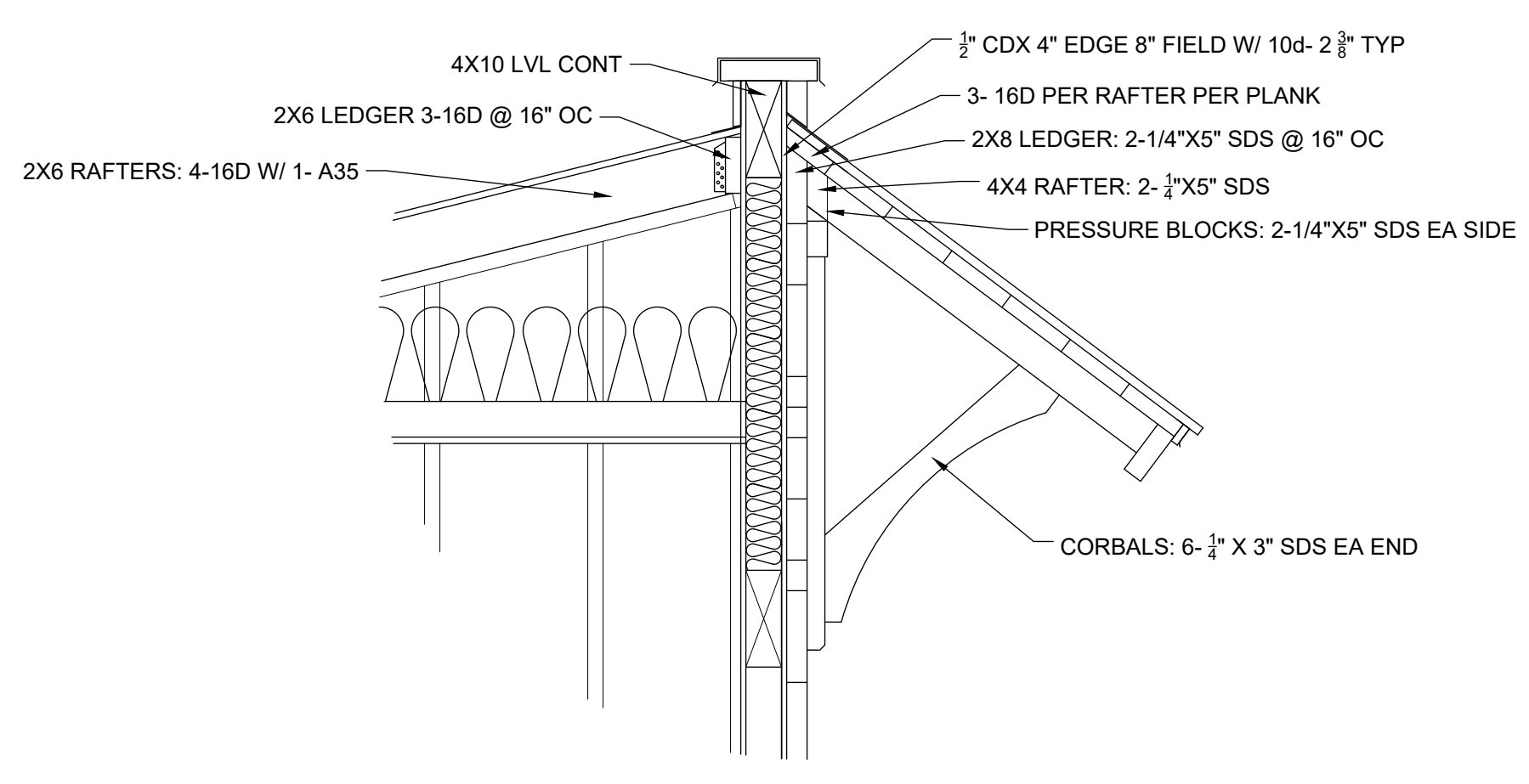
FRAMING SECTION
SCALE 3/8" = 1'

NOTE: SEE CLOSE SECTION FOR RAFTER FASTENING

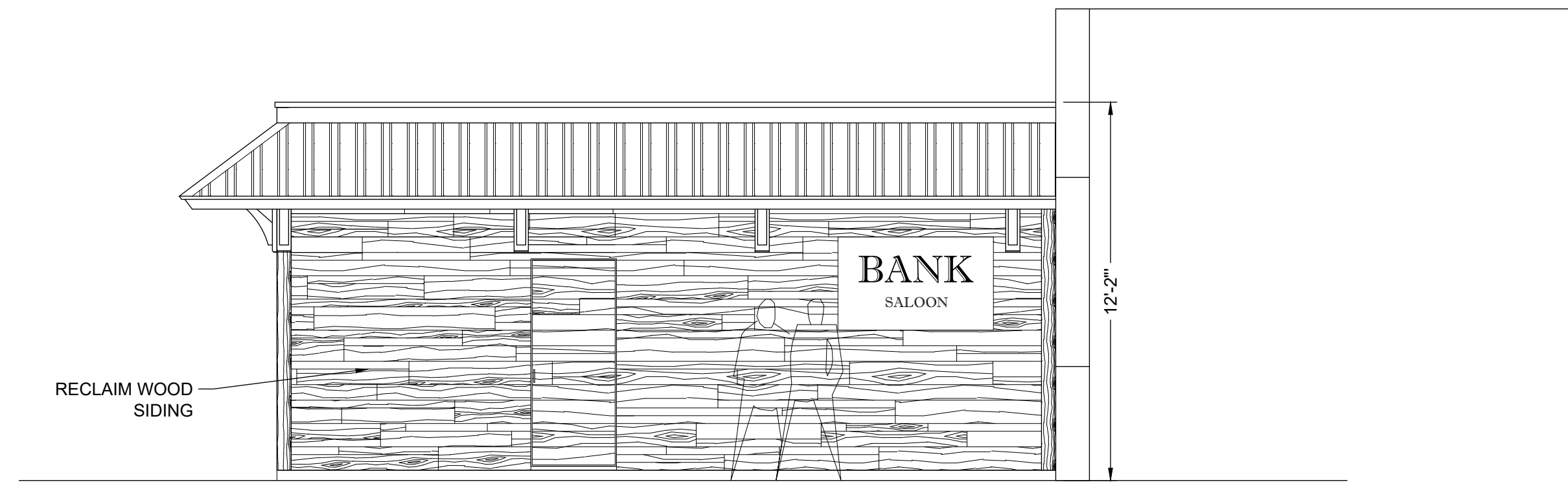


FLOOR
SCALE 1/4" = 1'

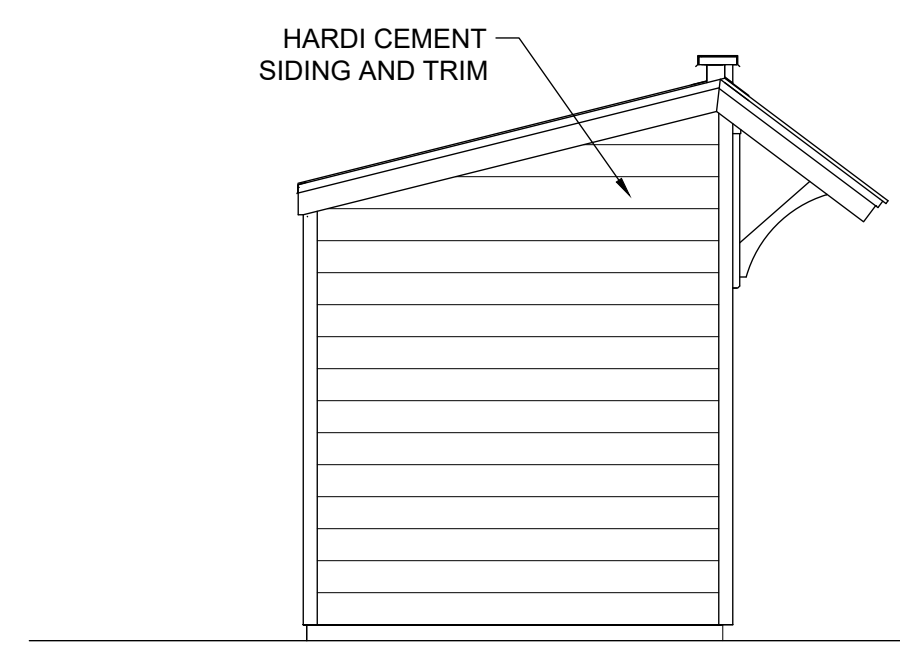
NOTE: FASTEN END OF WALL TO STONE W/ EPOXIED 3/4" ALL-THREAD 16" OC VERT- 6" MIN DEPTH



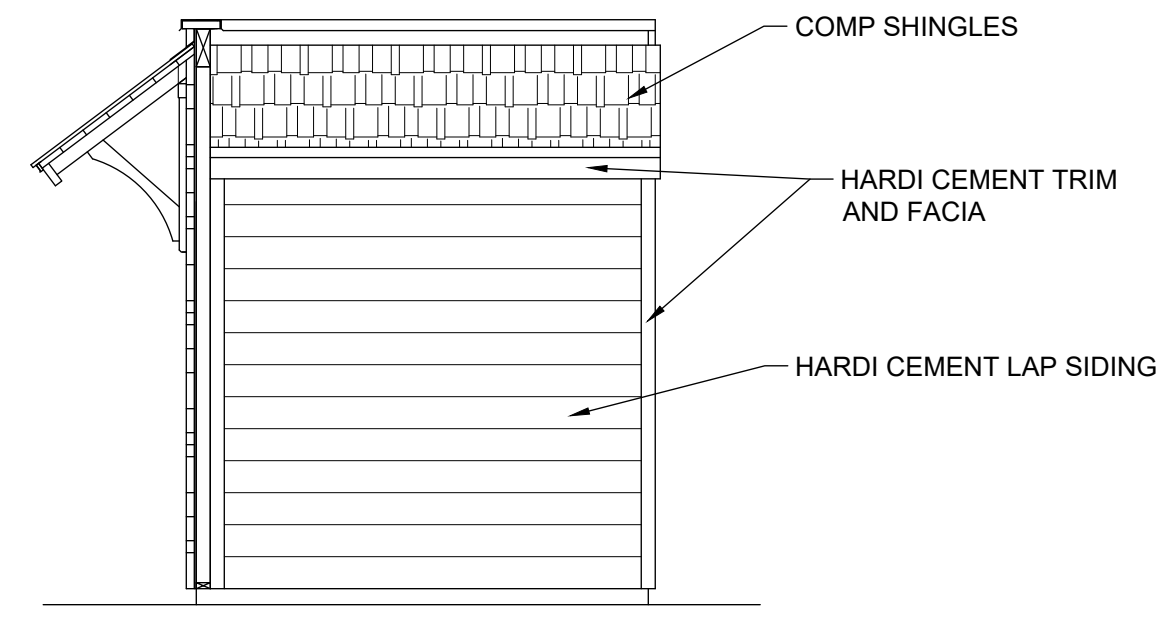
RAFTER FASTENING
SCALE 3/8" = 1'



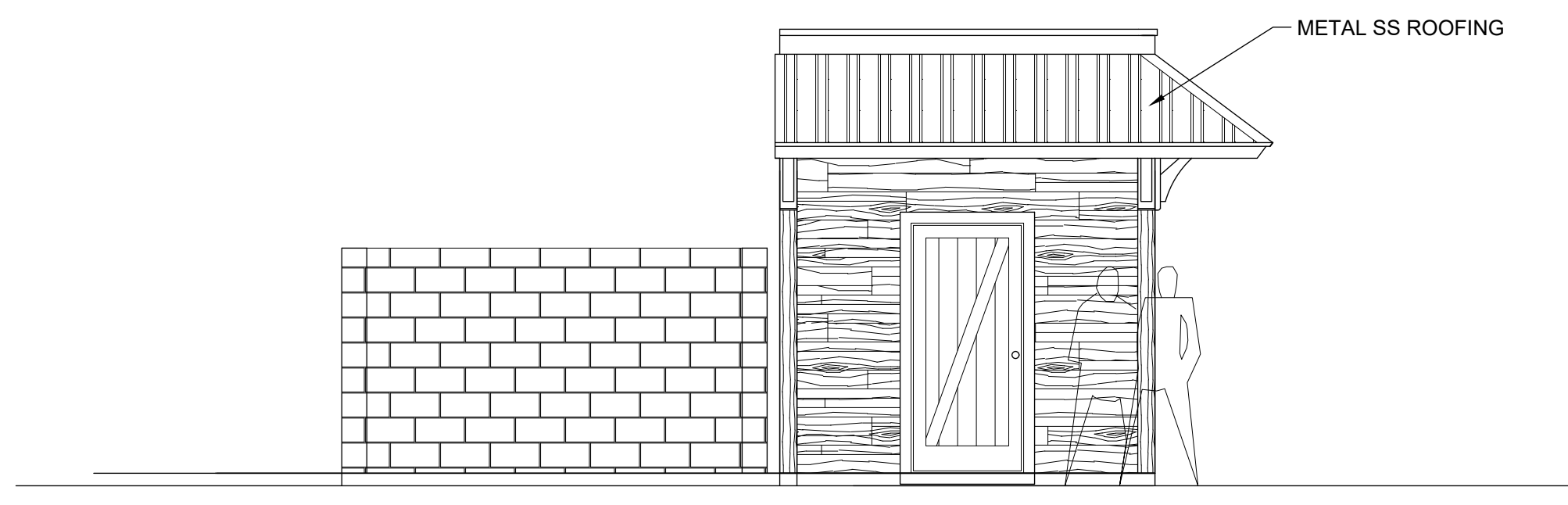
SOUTH ELEVATION
SCALE 1/2" = 1'



SOUTH ELEVATION
SCALE 1/2" = 1'



EAST ELEVATION
SCALE 1/2" = 1'



WEST ELEVATION
SCALE 1/2" = 1'

Signature

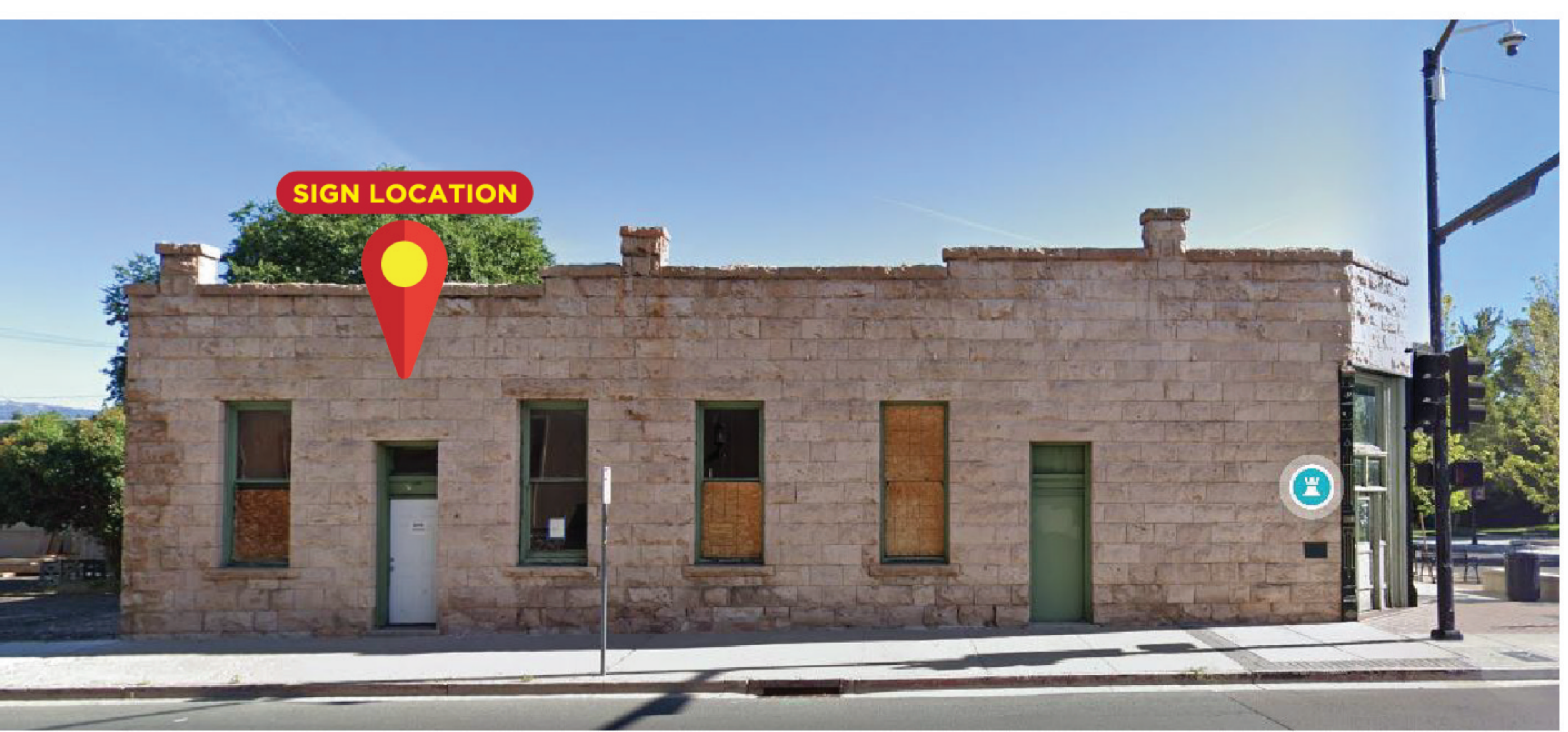
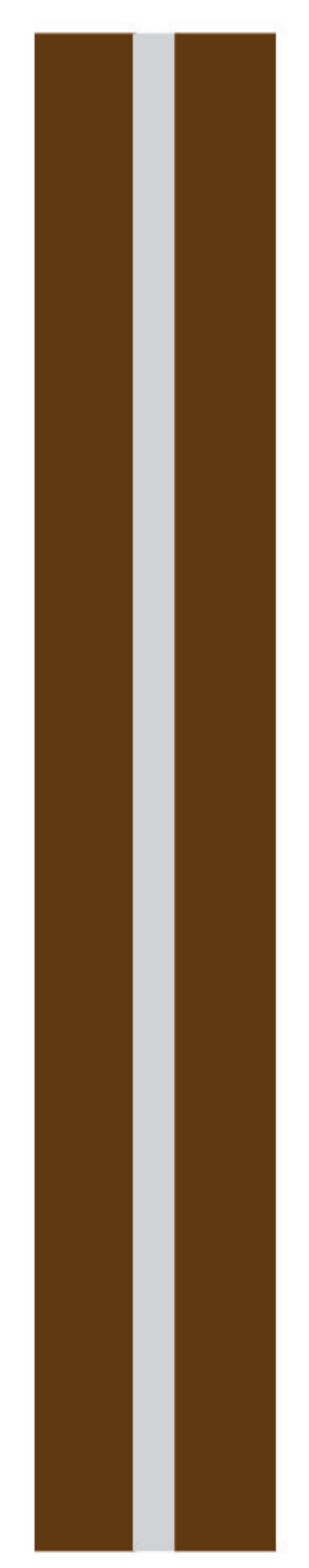
Gary Laack Construction, Inc.
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laackconstruction@gmail.com
Lic. limit 3,000,000

PROJECT: Bank Saloon Shed
418 Carson St
Carson City, NV 89702
APN: 003-116-04

DATE: 08/05/20
REVISED: 08/05/20
DRAWN BY: G LAACK
CHECKED BY: GL
SHEET TOTAL: 1
JOB NO.: 178

DRAWING: SHED
SCALE: Per Plan

SHEET NO.: **A-101**



1902 IDAHO ST.
CARSON CITY, NV.
O/775.883.9259
F/775.883.9266

Project No:
Date:
Revision:

Element:
Location:
Sales Rep:

PROJECT

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