

STAFF REPORT FOR THE PLANNING COMMISSION MEETING OF SEPTEMBER 30, 2020

FILE NO: LU-2020-0032

AGENDA ITEM: E.7

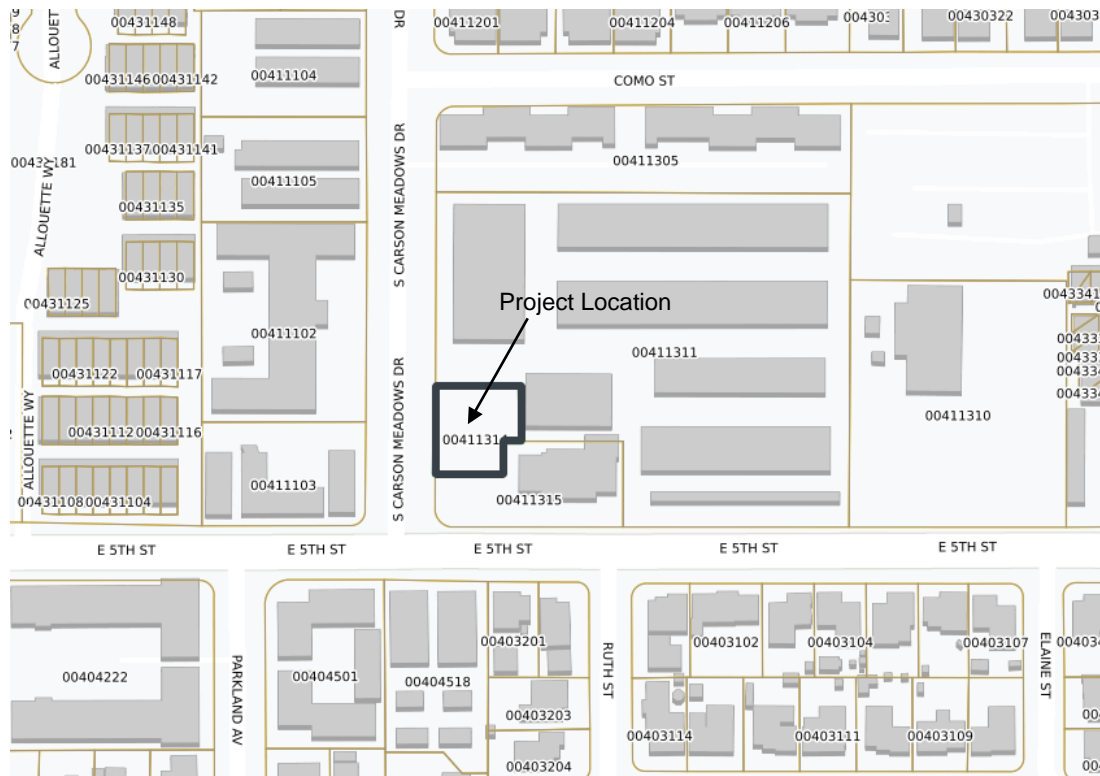
STAFF CONTACT: Heather Ferris, Associate Planner

AGENDA TITLE: For Possible Action: Discussion and possible action regarding a request for a Special Use Permit for a residential use on property zoned Retail Commercial (RC), located at 421 South Carson Meadows Drive, APN 004-113-14.

STAFF SUMMARY: The applicant is seeking to construct a duplex with associated parking. Two-family dwellings are allowed in the Retail Commercial zoning district subject to obtaining a Special Use Permit. The Planning Commission is authorized to approve a Special Use Permit.

PROPOSED MOTION: "I move to approve LU-2020-0032 based on the ability to make the required findings, and subject to the conditions of approval contained in the staff report."

VICINITY MAP:



RECOMMENDED CONDITIONS OF APPROVAL

1. All development shall be substantially in accordance with Special Use Permit plans and application materials on file with the Carson City Planning Division.
2. All on and off-site improvements shall conform to City standards and requirements.
3. The use for which this permit is approved shall commence within twelve (12) months of the date of final approval. A single, one (1) year extension must be requested in writing

to the Planning and Community Development Department thirty (30) days prior to the one (1) year expiration date. Should this permit not be initiated within one (1) year and no extension granted, the permit shall become null and void.

4. The applicant must sign and return the Notice of Decision within ten (10) days of receipt of notification. If the Notice of Decision is not signed and returned within ten (10) days, then the item may be rescheduled for the next Planning Commission meeting for further consideration.
5. The applicant shall submit information on any new exterior lighting that is proposed for installation with the building permit for this duplex. Exterior lighting shall comply with Carson City Development Standards, Division 1.3.

LEGAL REQUIREMENTS: Carson City Municipal Code (CCMC) 18.02.080 (Special Use Permits), CCMC 18.04.130 Retail Commercial (RC); Carson City Development Standards (CCDS) 1.18 Residential Development Standards in Non-Residential Districts.

MASTER PLAN DESIGNATION: Medium Density Residential (MDR)

PRESENT ZONING: Retail Commercial (RC)

KEY ISSUES: Will the proposed duplex be compatible with the surrounding neighborhood and be in keeping with the standards of the Carson City Municipal Code?

SURROUNDING ZONING AND LAND USE INFORMATION:

- EAST: Retail Commercial / Office and personal storage use
- WEST: Multi-Family Apartment / apartments
- NORTH: Retail Commercial / Office and personal storage use
- SOUTH: Retail Commercial / laundromat

ENVIRONMENTAL INFORMATION:

- FLOOD ZONE: Zone X-shaded (0.2% annual chance of floor hazard)
- EARTHQUAKE FAULT: Zone I (severe)
- FAULT ZONE: Beyond 500 feet
- SLOPE/DRAINAGE: The site is generally flat.

SITE DEVELOPMENT INFORMATION:

- LOT SIZE: 0.22 acres
- EXISTING DEVELOPMENT: Vacant
- PROPOSED DEVELOPMENT: Duplex
- PROPOSED PARKING: 2 per unit
- SETBACKS:

	Front (west)	Side (north)	Side (south)	Rear (east)
Required	0 feet	0 feet	0 feet	0 feet
Proposed	20 feet	14 feet	4 feet	10 feet

Note: Minimum setback of 20 feet required when adjacent to a residential zoning district (Division 1.18.4a).

- VARIANCES REQUESTED: None

PREVIOUS REVIEWS:

MPR-2020-0032: Request to construct a duplex with associated parking

DISCUSSION:

The applicant is proposing a duplex with associated parking and open space on a 0.22-acre parcel. Access will be from South Carson Meadows Drive. Parking is provided for the larger, 1,762 square foot unit via a two-car garage; and for the smaller, 1,128 square foot unit, parking will be provided via two uncovered parking spaces in the driveway and a single car garage. Each unit will have private rear yards which will provide the required open space. Additionally, landscaped areas will also be provided in the front yards of each unit.

The larger unit is proposed to be 3-bedroom, 2-bath unit. The smaller of the two units is proposed to be a 2-bedroom, 2-bath unit. The single-story building will have an overall height of approximately eighteen feet. Building materials are proposed to be composition shingles on the roof and stucco siding.

Per CCMC 18.04.130, two-family dwellings are a conditional use in the Retail Commercial zoning district. Therefore, the use may only establish upon approval of a Special Use Permit by the Planning Commission.

PUBLIC COMMENTS: Public notices were mailed on September 11, 2020 to 35 property owners within 350 feet of the subject property pursuant to the provisions of NRS and CCMC for the Special Use Permit application. As of the completion of this report, no letters from property owners in the vicinity of the proposed project have been received. Any comments that are received after this report is completed will be submitted to the Planning Commission prior to or at the meeting on September 30, 2020, depending on the date of submission of the comments to the Planning Division.

OTHER CITY DEPARTMENTS OR OUTSIDE AGENCY COMMENTS: The following comments were received by various city departments. Recommendations have been incorporated into the recommended conditions of approval, where applicable.

Fire Department:

The project must comply with the International Fire Code and northern Nevada Fire Code as adopted by Carson City.

Engineering Division:

The Engineering Division has no preference or objection to the special use request provided that the following conditions are met:

- The project must meet all applicable Carson City Development Standards including the installation of new curb, gutter, sidewalk, and driveway apron per CCMC 11.12.081.

The Engineering Division has reviewed the application within our areas of purview relative to adopted standards and practices and to the provisions of CCMC 18.02.080, Conditional Uses. The Engineering Division offers the following discussion:

C.C.M.C. 18.02.080 (5a) - Master Plan

The request is not in conflict with any Engineering Master Plans.

C.C.M.C. 18.02.080 (5b) – Use, Peaceful Enjoyment, Economic Value, Compatibility

Development Engineering has no comment on this finding.

C.C.M.C. 18.02.080 (5c) - Traffic/Pedestrians

The existing infrastructure and proposed driveway are sufficient to provide safe access and circulation if conditions are met.

C.C.M.C. 18.02.080 (5d) - Public Services

The existing sewer, water, and storm drain infrastructure are sufficient to provide service to the project.

C.C.M.C. 18.02.080 (5e) – Title 18 Standards

Development Engineering has no comment on this finding.

C.C.M.C. 18.02.080 (5f) – Public health, Safety, Convenience, and Welfare

The project meets engineering standards for health and safety.

C.C.M.C. 18.02.080 (5g) – Material Damage or Prejudice to Other Property

Development Engineering has no comment on this finding.

C.C.M.C. 18.02.080 (5h) – Adequate Information

The plans and reports provided were adequate for this analysis.

SPECIAL USE PERMIT FINDINGS: Staff's recommendation is based upon the findings as required by CCMC Section 18.02.080 (Special Use Permits) enumerated below and substantiated in the public record for the project.

1. *Will be consistent with the master plan elements.*

The subject property is designated Medium Density Residential. This designation is intended to allow primarily for single-family residences at a density of 3-8 dwelling units per acre. This area is unusual in that although it has a Master Plan designation of Medium Density Residential, there is a mix of both residential and commercial zonings. The proposed residential use is consistent with the Master Plan.

2. *Will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and will cause no objectionable noise, vibrations, fumes, odors, dust, glare or physical activity.*

The proposed duplex will not be detrimental to the use, peaceful enjoyment, or economic value of surrounding properties. The site is north of an existing laundromat, east of multi-family apartments, and west and south of an office/personal storage facility. Other uses in the surrounding area are predominately residential in nature. The duplex is consistent with the predominant use in the area and will not cause objectionable noise, vibrations, fumes, odors, dust, glare, or physical activity.

3. *Will have little or no detrimental effect on vehicular or pedestrian traffic.*

The proposed use will not have a detrimental effect on vehicular or pedestrian traffic. The existing and proposed infrastructure are sufficient to provide safe access for vehicles and pedestrians. As part of the development, sidewalk, curb, gutter and new driveway aprons will be required to be installed. Parking is proposed to be provided on-site at a ratio of 2 spaces per unit with on-street parking providing additional space for guest parking.

4. Will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage, and other public improvements.

The proposed duplex will not overburden existing public services and facilities. The existing sewer, water, and storm drain infrastructure are enough to provide service to the project.

5. Meets the definition and specific standards set forth elsewhere in this title for such particular use and meets the purpose statement of that district.

Two-family residential development is a conditional use in accordance with CCMC 18.04.130 Retail Commercial Conditional Uses and requires a Special Use Permit. With the approval of this Special Use Permit and recommended conditions of approval, the project will meet the definition and specific standards required to support this use in the Retail Commercial zoning district.

Residential uses proposed in non-residential zoning districts are subject to specific criteria outlined in the Carson City Development Standards, Section 1.18 – Residential Development Standards in Non-Residential Districts. The development standards and how the proposed project meets them are addressed below.

1.18 Residential Development Standards in Non-Residential Districts.

1. Permitted uses. Residential uses are only allowed as permitted by Chapter 18.04, Use Districts, as a primary or conditional use in the applicable zoning districts.

The proposed two-family residential use is a conditional use allowed with the approval of a Special Use Permit in the Retail Commercial (RC) zoning district.

2. Maximum permitted density. There is no maximum residential density within non-residential zoning districts subject to meeting the height, setback, parking and open space requirements of Chapter 18.04.

The proposed application complies with the height limitations, setback requirements, parking requirements, and open space requirements.

3. Maximum building height shall be the maximum height established by the zoning district in which the project is located.

The maximum building height in the Retail Commercial zoning district is 45 feet. The building, as scaled on the plans, has a height of approximately 16 feet, thus complying with the limitation.

4. Setbacks. Minimum setbacks shall be those established by the zoning district in which the project is located, subject to the following:
 - a. In the NB, RC, GO and GO zoning districts, a minimum setback of 20 feet is required adjacent to a residential zoning district, with an additional 10 feet for each story above one story if adjacent to a single-family zoning district.

The subject property is adjacent to residential zoning on the west, across South Carson

Meadows Drive. For the purposes of setback requirements for adjacent uses, where an adjacent parcel is located across a public right-of-way, setback requirements are measured from the centerline of the right-of-way. Therefore, the setback along the northern, southern, and eastern property lines is 0 feet and the setback along the western property line is 20 feet, measured from the centerline of South Carson Meadows Drive. The applicant is providing for a minimum of 20 feet from the western most property line.

- b. A minimum setback of 10 feet is required from the right-of-way of an arterial street as identified in the adopted Transportation Master Plan, excluding the Downtown Mixed-Use area.

South Carson Meadows Drive is not identified in the Transportation Master Plan as an arterial street.

5. Required parking. Two spaces per dwelling unit, and in compliance with the Development Standards Division 2, Parking and Loading.

Per Division 2, two parking spaces are required for each dwelling unit. If on-street parking is not permitted on adjacent streets, guest parking at a ratio of one space per two units must be accommodated on site. This site would require a total of 4 parking spaces (2 for each unit) with on-street parking being permitted on South Carson Meadows Drive. The applicant proposed a two-car garage for the larger unit. The smaller unit will meet the parking requirement with 2 off-street spaces in front of the unit. Additionally, the smaller unit will be provided with a single car garage.

6. Open Space.
 - a. For Multi-Family Residential development, a minimum of 150 square feet per dwelling unit of common open space must be provided. For projects of 10 or more units, areas of common open space may only include contiguous landscaped areas with no dimension less than 15 feet, and a minimum of 100 square feet per unit of the common open space area must be designed for recreation, which may include but not be limited to picnic areas, sports courts, a softscape surface covered with turf, sand or similar materials acceptable for use by young children, including play equipment and trees, with no dimension less than 25 feet.

The project is not multi-family therefore, this does not apply.

- b. For Multi-Family Residential development, a minimum of 100 square feet of additional open space must be provided for each unit either as private open space or common open space.

The project is not multi-family therefore, this does not apply.

- c. For Single-Family Residential development or Two-Family Residential development, a minimum of 250 square feet of open space must be provided for each unit either as private open space or common open space.

The project proposes private rear yards for each unit. The smaller unit will have a rear yard of approximately 449 square feet and the larger unit will have a rear yard of approximately 473 square feet. Additional open space will be provided in the front yards as well.

- d. Front and street side yard setback areas may not be included toward meeting the open space requirements.

As noted in c above the requirement for open space is met with private rear yards in excess of the required 250 square feet.

- 7. Landscaping. Landscaping shall comply with the Carson City Development Standards Division 3, Landscaping.

Division 3 of the Development Standards does not apply to new construction of single family or two-family dwellings; however, the site plan indicates that landscaping will be installed.

- 8. Special Use Permit review standards. Where a residential use is a conditional use within a given zoning district, the Planning Commission shall make two of the following findings in the affirmative in the review of the Special Use Permit in addition to the required findings of Section 18.02.080 of the Carson City Municipal Code.

Findings a and b can be met as outlined below. Findings c and d cannot be met.

- a. The development is not situated on a primary commercial arterial street frontage.

This finding can be met. South Carson Meadows Drive is not a primary commercial arterial. It is designated as a local street

- b. The development is integrated into a mixed-use development that includes commercial development.

This finding can be met. Although the subject property is intended to develop as solely residential, it is adjacent to commercial and residential uses alike, thus creating a mixed-use area. The Master Plan designation for the area is Medium Density Residential and residential uses are the predominant use in the area.

- c. The applicant has provided evidence that the site is not a viable location for commercial uses.

This finding is not met. The applicant did not provide evidence that the site is not viable for commercial uses.

- d. The site is designated Mixed-Use Commercial, Mixed-Use Residential or Mixed-Use Employment on the Master Plan Land Use Map and the project meets all applicable mixed-use criteria and standards.

This finding is not met. The site is not designated for Mixed-Use on the Master Plan Land Use Map.

6. *Will not be detrimental to the public health, safety, convenience and welfare.*

As conditioned, the proposed development will not be detrimental to public health, safety, convenience and welfare. The use is compatible with other residential uses in the

neighborhood.

7. Will not result in material damage or prejudice to other property in the vicinity.

The proposed project will not result in material damage to other property in the vicinity. The site is north of an existing laundromat, east of multi-family apartments, and west and south of an office/personal storage facility. Other uses in the surrounding area are predominately residential in nature. The duplex is consistent with the predominant use in the area.

Attachments:
Application (LU-2020-0032)

Carson City Planning Division
108 E. Proctor Street · Carson City NV 89701
Phone: (775) 887-2180 • E-mail: planning@carson.org

FOR OFFICE USE ONLY:

CCMC 18.02.080

SPECIAL USE PERMIT

FEE*: \$2,450.00 MAJOR
\$2,200.00 MINOR (Residential zoning districts)
+ noticing fee
*Due after application is deemed complete by staff

SUBMITTAL PACKET – 4 Complete Packets (1 Unbound Original and 3 Copies) including:

- Application Form
- Detailed Written Project Description
- Site Plan
- Building Elevation Drawings and Floor Plans
- Special Use Permit Findings
- Master Plan Policy Checklist
- Applicant's Acknowledgment Statement
- Documentation of Taxes Paid-to-Date
- Project Impact Reports (Engineering)

CD or USB DRIVE with complete application in PDF

Application Received and Reviewed By: _____

Submittal Deadline: Planning Commission application submittal [schedule](#).

Note: Submittals must be of sufficient clarity and detail for all departments to adequately review the request. Additional information may be required.

FILE

APPLICANT PHONE #

MAILING ADDRESS, CITY, STATE, ZIP

EMAIL ADDRESS

PROPERTY OWNER PHONE #

MAILING ADDRESS, CITY, STATE, ZIP

EMAIL ADDRESS

APPLICANT AGENT/REPRESENTATIVE PHONE #

MAILING ADDRESS, CITY STATE, ZIP

EMAIL ADDRESS

Project's Assessor Parcel Number(s):

Street Address

004-113-14

421 S CARSON MEADOW DR

Project's Master Plan Designation

Project's Current Zoning

Nearest Major Cross Street(s)

Please provide a brief description of your proposed project and/or proposed use below. Provide additional pages to describe your request in more detail.

PROPERTY OWNER'S AFFIDAVIT

I, DUNG S TRUONG, being duly deposed, do hereby affirm that I am the record owner of the subject property, and that I have knowledge of, and I agree to, the filing of this application.

Signature Dung So Truong

Address 1300 E FIFTH ST CARSON CITY

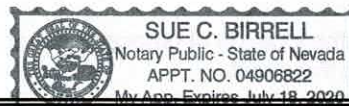
Date 6-17-20

Use additional page(s) if necessary for additional owners.

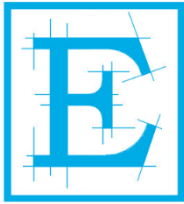
STATE OF NEVADA)
COUNTY)

On June 4, 2020, Dung So Truong, personally appeared before me, a notary public, personally known (or proved) to me to be the person whose name is subscribed to the foregoing document and who acknowledged to me that he/she executed the foregoing document.

Signature Sue C Birrell
Notary Public



NOTE: If your project is located within the Historic District or airport area, it may need to be scheduled before the Historic Resources Commission or the Airport Authority in addition to being scheduled for review by the Planning Commission. Planning staff can help you make this determination.



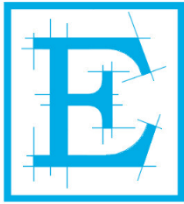
Element

Residential Design Studio

Carson City Planning Division
108 E. Proctor Street
Carson City, NV 89701

Project Description:

Proposed project is a two-family, single story dwelling consisting of type V-B construction located at 421 S. Carson Meadows Drive in Carson City, Nevada. Unit A is a 1,762 sq. ft. 3-bedroom, 2-bath unit with a 2-car garage and Unit B is a 1,128 sq. ft. 2-bedroom, 2-bath unit with a 1-car garage.



Carson City Planning Division
108 E. Proctor Street
Carson City, NV 89701

Special Use Permit Application Findings:

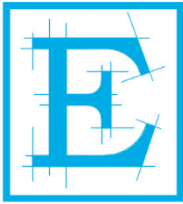
1. Will be consistent with the objectives of the Master Plan elements.

Comment: The proposed project will align with the goals of the Carson City Master Plan. The proposed project will provide housing diversity in an area that currently consist of both single family and multi-family housing and is consistent with the adjacent neighborhood providing workforce and non-workforce housing.

2. Will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and is compatible with and preserves the character and integrity of adjacent development and neighborhoods or includes improvements or modifications either on-site or within the public right-of-way to mitigate development related to adverse impacts such as noise, vibrations, fumes, odors, dust, glare or physical activity.

Comment:

- A. The land use designations adjoining the proposed project are as follows:
North and East: Public Storage – Retail Commercial Zoning
South: Laundromat – Retail Commercial Zoning
West: Multi-family housing - MFA Zoning
- B. The proposed project is located in an area that is predominately residential including a mix of similar single family and multi-family properties and as such the proposed project will not hurt property values or cause adverse conditions.
- C. The proposed project use is consistent with the general neighborhood and as such will not be detrimental to the use of, peaceful enjoyment or development of surrounding properties and the general neighborhood.
- D. Outdoor lighting on the proposed project will be limited to exterior wall mounted fixtures located at garages and pedestrian access locations on the proposed structure. Outdoor lighting will be full cut-off type fixtures to avoid light pollution on adjacent properties.



Element

Residential Design Studio

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- E. Landscaping shall be consistent with adjacent properties and city ordinance requirements. Drought resistant awn shall be used in the front of each units while the landscape buffer zone shall be planted with drought tolerant shrubs with a decorative $\frac{3}{4}$ " crushed rock mulch.
 - F. The proposed project brings additional workforce or non-workforce housing providing additional options to the rental market.

- 3. Will have little or no detrimental effect on vehicular or pedestrian traffic.

Comment: Proposed project is a two-family residential dwelling and thus will not have detrimental effect on vehicular or pedestrian traffic.

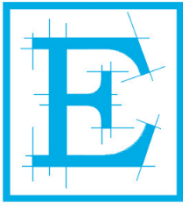
- 4. Will not overburden existing public services and facilities, including schools, police, and fire protection, water, sanitary sewer, public roads, storm drainage and other public improvements.

Comment:

- A. Proposed project is a two-family residential dwelling and thus the addition to the student population will be minimal.
- B. Proposed project is a two-family residential dwelling and thus the burden on the police and fire protection will be minimal.
- C. The municipal water service currently existing on the site is sufficient to meet the needs of the proposed project with no additional burden to the existing system.
- D. The proposed project will have (2) two residential paved driveways which will slope to drain to unpaved areas or drainage swales for natural drainage or drainage basins as necessary.
- E. The existing sewage disposal trunk line has adequate capacity to handle the proposed project.
- F. New driveway aprons will be required for access to proposed project. Driveway aprons, concrete curbs, gutters, and sidewalks shall be installed or otherwise repaired per Carson City development standards.
- G. Statements are based on information provided by current land owner, Carson City Engineering, and Carson City Public Works.

- 5. Meets the definition and specific standards set forth elsewhere in Carson City Municipal Code, Title 18 for such particular use and meets the purpose statement of that district.

Comment: The proposed project is a 2-family dwelling and as such is a conditional use in the zoning district.



Element

Residential Design Studio

6. Will not be detrimental to the public health, safety, convenience, and welfare.

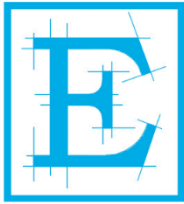
Comment: The proposed project is a two-family dwelling in lieu of a commercial occupancy for retail or manufacturing and thus poses no health, safety, convenience, and welfare risk to the public.

7. Will not result in material damage or prejudice to other property in the vicinity, as a result of proposed mitigation measures.

Comment: The proposed project is a two-family dwelling in lieu of a commercial occupancy for retail or manufacturing and is consistent with the surrounding neighborhood which will not result in material damage or prejudice to other property in the vicinity.

Brian Hendrix

Residential Designer



Carson City Planning Division
108 E. Proctor Street
Carson City, NV 89701

1.18.8 Residential Development Standards in Non-Residential District Findings:

A. The development is not situated on a primary commercial arterial street frontage.

Comment: The proposed project is located on S. Carson Meadow Drive which does not appear to be a primary commercial arterial street. S. Carson Meadow Drive is primarily used for residential access purposes.

B. The development is integrated into a mixed-use development that includes commercial development.

Comment: The proposed project is integrated into a mixed-use development. The proposed project is directly adjacent to both multi-family residential units and commercial development.

Brian Hendrix

Residential Designer



**SPECIAL USE PERMIT
PROJECT INFORMATION**

PROJECT SUMMARY

2,800 SQ. FT. TWO-FAMILY DWELLING
UNIT A - 1,762 SQ. FT. 3-BEDROOM, 2-BATH, 2-CAR GARAGE
UNIT B - 1,028 SQ. FT. 2-BEDROOM, 2-BATH, 1-CAR GARAGE

BUILDING DATA

BUILDING SQUARE FOOTAGE: 2,800 SQ. FT.
CONSTRUCTION TYPE: "V"
NUMBER OF STORIES: 1

ZONING DATA

APN - 004-113-12
LAND USE: RETAIL COMMERCIAL
BUILDING USE: RESIDENTIAL

OWNER:

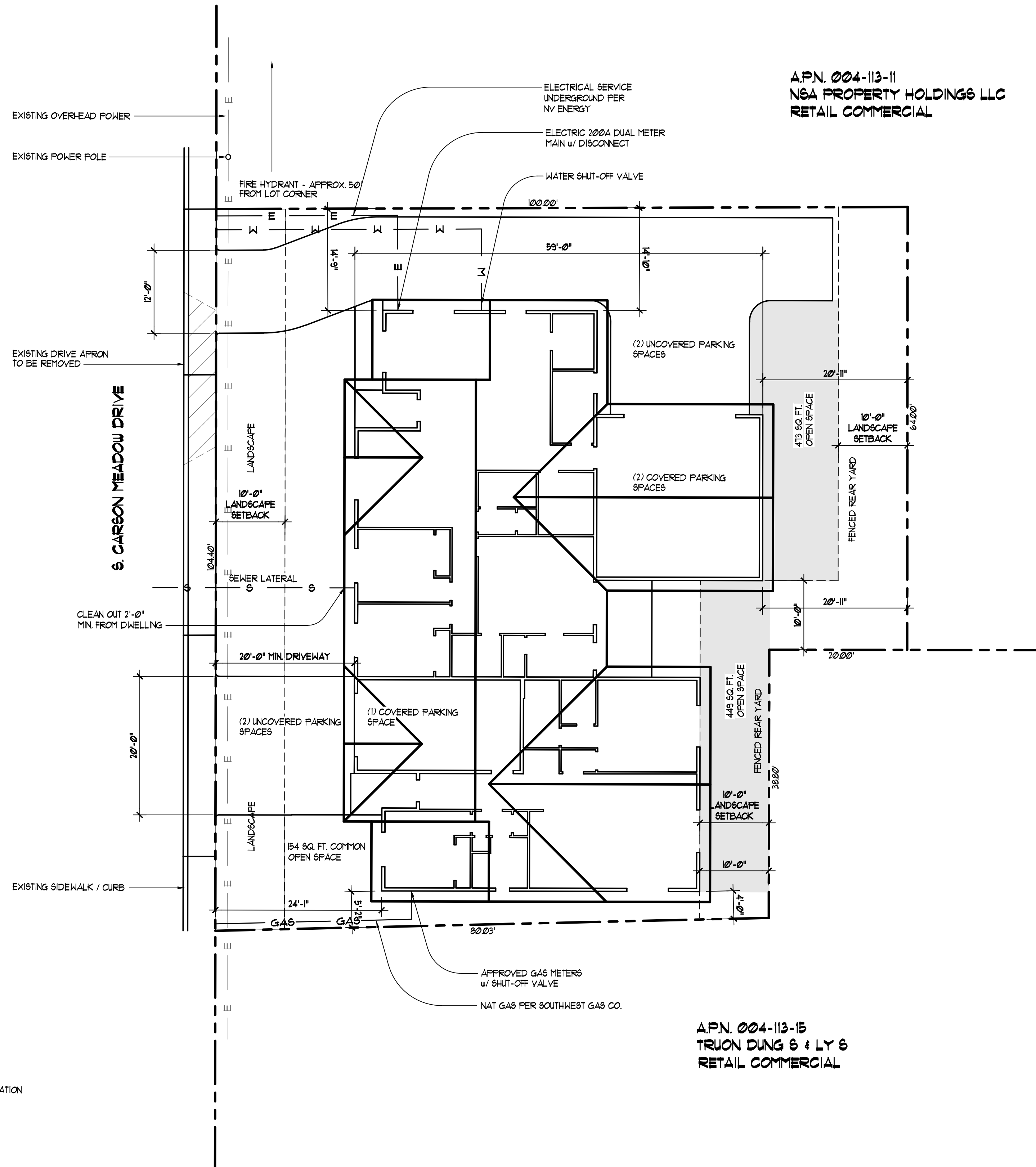
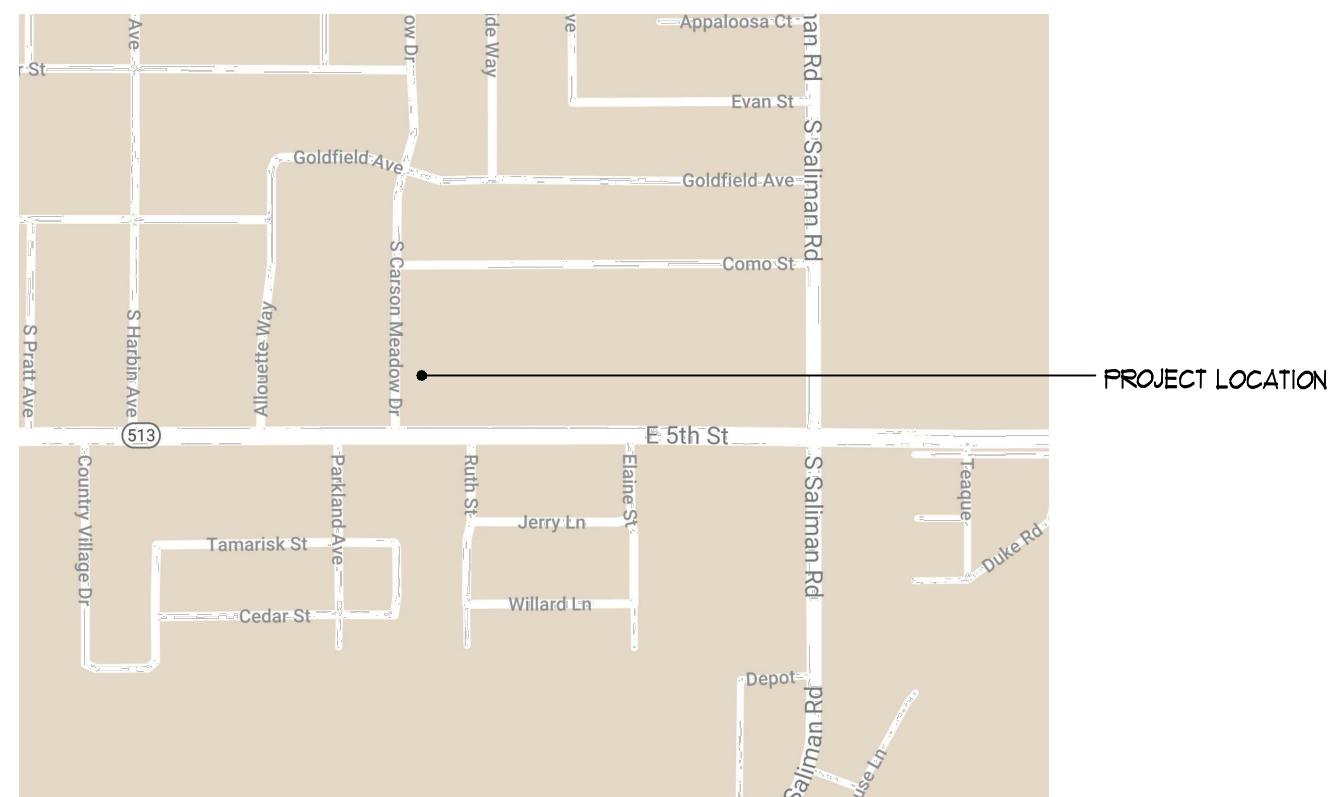
DUNG SO TRUONG
1300 E. FIFTH STREET
CARSON CITY, NV 89701

PARKING:

UNIT A:
2 COVERED - GARAGE
2 - UNCOVERED - DRIVEWAY

UNIT B:
1-COVERED - GARAGE
1-UNCOVERED - DRIVEWAY

VICINITY MAP



APN. 004-113-15
TRUONG DUNG S & LY S
RETAIL COMMERCIAL

APN. 004-113-11
NSA PROPERTY HOLDINGS LLC
RETAIL COMMERCIAL

SITE PLAN

APN. 004-113-14

ACREAGE: 0.22 ACRES

FLOOD ZONE: UNDETERMINED

ZONING: RC

SETBACKS: FRONT - 0' (10' LANDSCAPE)
SIDES - 0'
REAR - 0' (10' LANDSCAPE)

PHYSICAL ADDRESS:

421 S. CARSON MEADOW DRIVE
CARSON CITY, NEVADA

PROPOSED 2,800 SQ. FT. TWO-FAMILY DWELLING
UNIT A - 1,762 SQ. FT. 3 BEDROOM, 2 BATH, 2-CAR GARAGE
UNIT B - 1,028 SQ. FT. 2 BEDROOM, 2 BATH, 1-CAR GARAGE

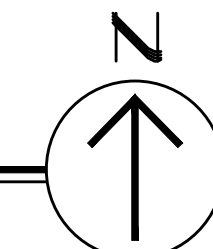
THIS IS NOT A SURVEY. THIS SITE PLAN WAS PREPARED BASED UPON TOPOGRAPHIC AND/OR MAP INFORMATION PROVIDED BY OTHERS. THE CONTRACTOR OF RECORD SHALL VERIFY EXISTING SITE CONDITIONS PRIOR TO COMMENCEMENT OF ANY WORK.

SITE PLAN NOTES:

- THIS IS NOT A SURVEY, THIS PLAN WAS PREPARED USING TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS.
- THE OWNER / CONTRACTOR SHALL MAINTAIN A DUST CONTROL PROGRAM INCLUDING WATERING OF OPEN AREAS.
- GRADING SHALL BE DONE IN A METHOD TO PREVENT DUST FROM TRAVERSING THE PROPERTY LINE.
- THE OWNER / CONTRACTOR SHALL FIELD VERIFY ALL ELEVATIONS, DIMENSIONS, FLOW LINES, EXISTING CONDITIONS, AND UTILITY CONNECTIONS PRIOR TO START OF CONSTRUCTION. OWNER / CONTRACTOR SHALL NOTIFY PROJECT DESIGNER OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
- THE OWNER / CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE TO EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION. THE OWNER / CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION.
- OWNER / CONTRACTOR SHALL REMOVE ALL SITE DEBRIS PRIOR TO COMPLETION OF CONSTRUCTION.
- COMPACTED FILL SHALL BE PLACED IN LAYERS OF NOT MORE THAN 8 INCHES IN THICKNESS, AT A MOISTURE CONTENT WITHIN TWO PERCENT (2%) OPTIMAL SOIL SHOULD BE COMPACTED TO MINIMUM DENSITY OF 90 PERCENT OF OPTIMAL DENSITY IN BUILDING AREAS.
- MAXIMUM SLOPE TO BE 3:1 UNLESS SLOPE STABILIZATION IS USED.
- PROVIDE TEMPORARY EROSION CONTROL FENCING WHERE NECESSARY OR REQUIRED.
- CONTRACTOR TO SUPPLY SITE CONSTRUCTION FENCING AT LIMITS OF DISTURBANCE WHERE NECESSARY OR REQUIRED.

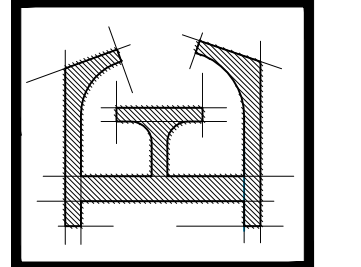
SITE PLAN

SCALE: 1" = 10'-0"



REVISIONS

Element
Residential Design Studio LLC
675 Fairview St. #208 Carson City, NV 89701
Bian Penhix R.D. #20-RD (775) 890-3662
WWW.ELEMENTNEVADA.COM



OWNER / CONTRACTOR:
DUNG SO TRUONG
1300 E. FIFTH ST.
CARSON CITY, NV 89701

PROJECT:
TRUONG DUPLEX
421 S. CARSON MEADOWS DR.
CARSON CITY, NV 89701
APN. 004-113-14

DATE: 6/19/2020
JOB NO.: 041-20
FILE: 0415P1
SCALE: 1" = 10'-0"

SHEET
0 - 1



**SPECIAL USE PERMIT
PROJECT INFORMATION**

PROJECT SUMMARY

2,800 SQ. FT. TWO-FAMILY DWELLING
UNIT A - 1,762 SQ. FT. 3-BEDROOM, 2-BATH, 2-CAR GARAGE
UNIT B - 1,028 SQ. FT. 2-BEDROOM, 2-BATH, 1-CAR GARAGE

BUILDING DATA

BUILDING SQUARE FOOTAGE: 2,800 SQ. FT.
CONSTRUCTION TYPE: "V"
NUMBER OF STORIES: 1

ZONING DATA

APN - 005-053-12
LAND USE: RETAIL COMMERCIAL
BUILDING USE: RESIDENTIAL

OWNER:

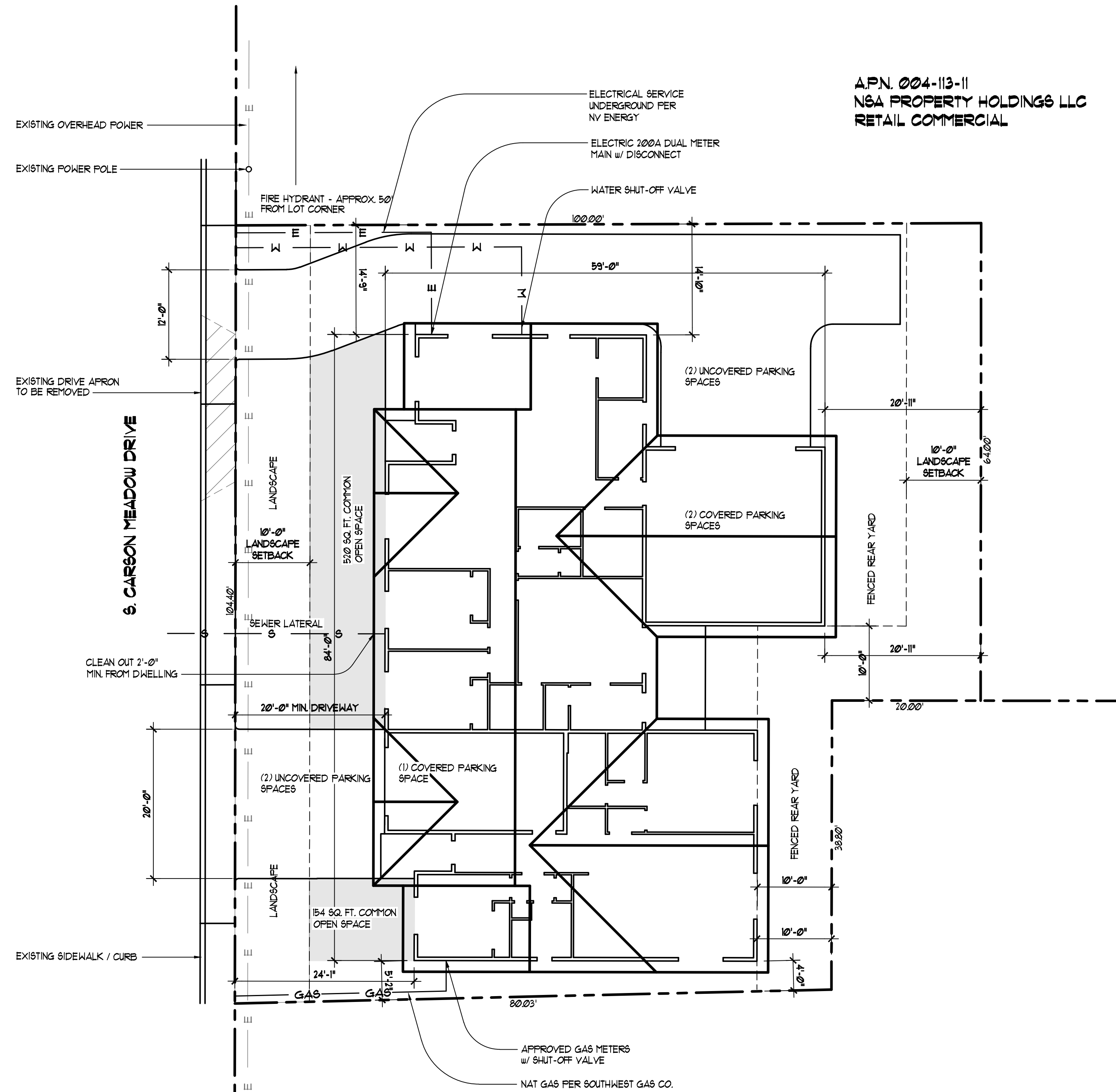
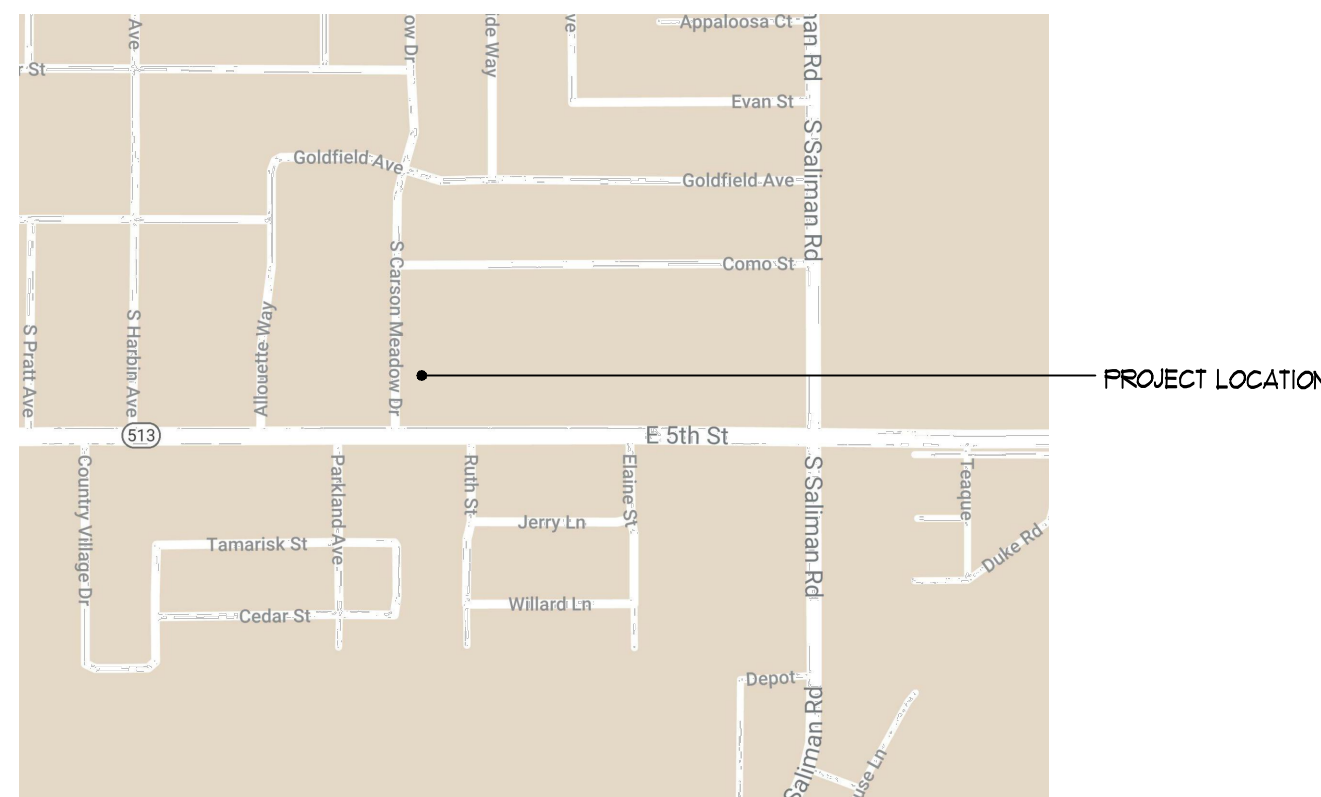
DUNG SO TRUONG
1300 E. FIFTH STREET
CARSON CITY, NV 89701

PARKING:

UNIT A:
2 COVERED - GARAGE
2- UNCOVERED - DRIVEWAY

UNIT B:
1-COVERED - GARAGE
1-UNCOVERED - DRIVEWAY

VICINITY MAP



SITE PLAN

APN. 004-113-14

ACREAGE: 0.22 ACRES

FLOOD ZONE: UNDETERMINED

ZONING: RC

SETBACKS: FRONT - 0' (10' LANDSCAPE)
SIDES - 0'
REAR - 0' (10' LANDSCAPE)

PHYSICAL ADDRESS:

421 S. CARSON MEADOW DRIVE
CARSON CITY, NEVADA

PROPOSED 2,800 SQ. FT. TWO-FAMILY DWELLING
UNIT A - 1,762 SQ. FT. 3 BEDROOM, 2 BATH, 2-CAR GARAGE
UNIT B - 1,028 SQ. FT. 2 BEDROOM, 2 BATH, 1-CAR GARAGE

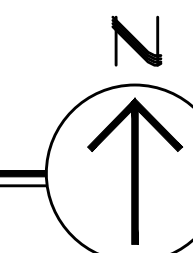
THIS IS NOT A SURVEY. THIS SITE PLAN WAS PREPARED BASED UPON TOPOGRAPHIC AND/OR MAP INFORMATION PROVIDED BY OTHERS. THE CONTRACTOR OF RECORD SHALL VERIFY EXISTING SITE CONDITIONS PRIOR TO COMMENCEMENT OF ANY WORK.

SITE PLAN NOTES:

1. THIS IS NOT A SURVEY, THIS PLAN WAS PREPARED USING TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS.
2. THE OWNER / CONTRACTOR SHALL MAINTAIN A DUST CONTROL PROGRAM INCLUDING WATERING OF OPEN AREAS.
3. GRADING SHALL BE DONE IN A METHOD TO PREVENT DUST FROM TRAVERSING THE PROPERTY LINE.
4. THE OWNER / CONTRACTOR SHALL FIELD VERIFY ALL ELEVATIONS, DIMENSIONS, FLOW LINES, EXISTING CONDITIONS, AND UTILITY CONNECTIONS PRIOR TO START OF CONSTRUCTION. OWNER / CONTRACTOR SHALL NOTIFY PROJECT DESIGNER OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
5. THE OWNER / CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE TO EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION. THE OWNER / CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION.
6. OWNER / CONTRACTOR SHALL REMOVE ALL SITE DEBRIS PRIOR TO COMPLETION OF CONSTRUCTION.
7. COMPACTED FILL SHALL BE PLACED IN LAYERS OF NOT MORE THAN 8 INCHES IN THICKNESS, AT A MOISTURE CONTENT WITHIN TWO PERCENT (2%) OPTIMAL SOIL SHOULD BE COMPACTED TO MINIMUM DENSITY OF 90 PERCENT OF OPTIMAL DENSITY IN BUILDING AREAS.
8. MAXIMUM SLOPE TO BE 3:1 UNLESS SLOPE STABILIZATION IS USED.
9. PROVIDE TEMPORARY EROSION CONTROL FENCING WHERE NECESSARY OR REQUIRED.
10. CONTRACTOR TO SUPPLY SITE CONSTRUCTION FENCING AT LIMITS OF DISTURBANCE WHERE NECESSARY OR REQUIRED.

SITE PLAN

SCALE: 1" = 10'-0"



REVISIONS

Element
Residential Design Studio LLC
675 Fairview St. #208 Carson City, NV 89701
Brian Hendrix R.D. #20-RD (775) 890-3862
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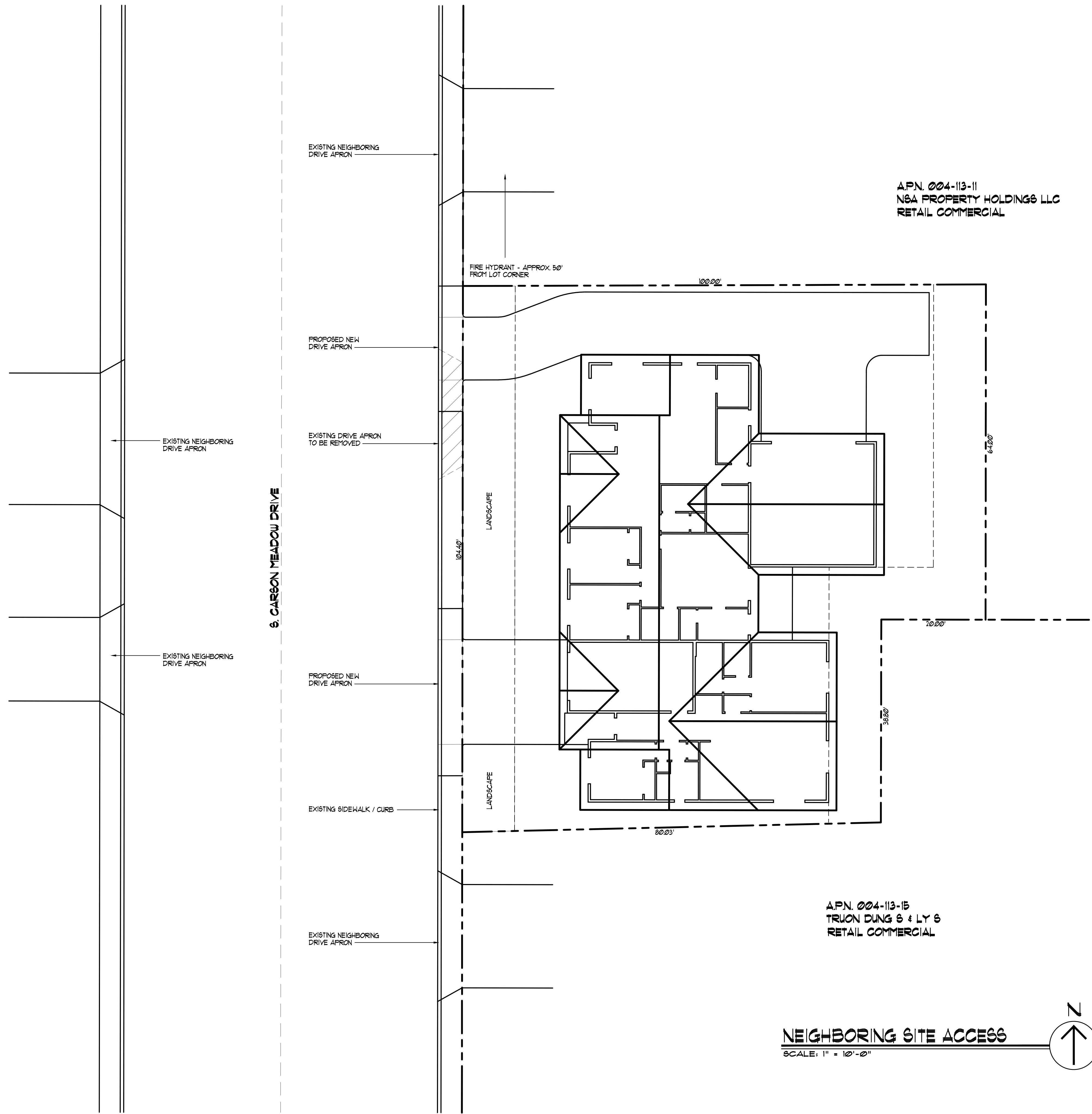


OWNER / CONTRACTOR:
DUNG SO TRUONG
1300 E. FIFTH ST.
CARSON CITY, NV 89701

PROJECT:
TRUONG DUPLEX
421 S. CARSON MEADOWS DR.
CARSON CITY, NV 89701
APN. 004-113-14

DATE	6/19/2020
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SCALE	1" = 10'-0"

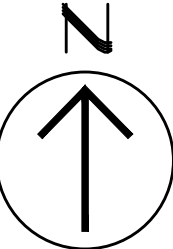
SHEET
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APN. 004-113-11
 NS&A PROPERTY HOLDINGS LLC
 RETAIL COMMERCIAL

APN. 004-113-15
 TRUON DUNG & LY S
 RETAIL COMMERCIAL

NEIGHBORING SITE ACCESS
 SCALE: 1" = 10'-0"



REVISIONS

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 WWW.ELEMENTNEVADA.COM



OWNER / CONTRACTOR:
 DUNG SO TRUONG
 1300 E. FIFTH ST.
 CARSON CITY, NV 89701

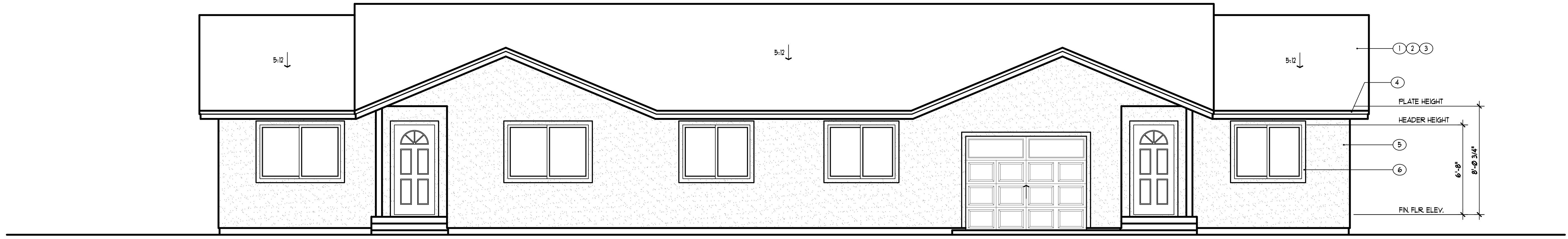
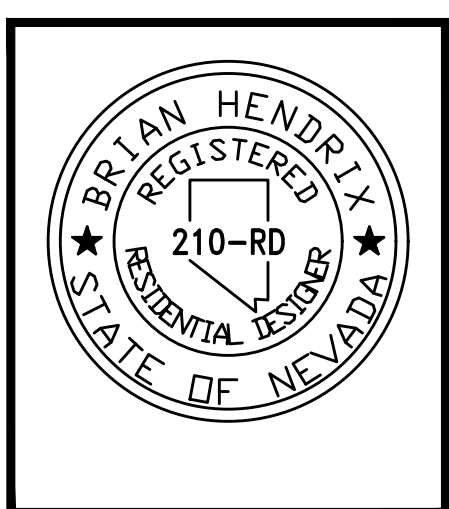
PROJECT:
 TRUONG DUPLEX
 421 S. CARSON MEADOWS DR.
 CARSON CITY, NV 89701
 APN. 004-113-14

DATE	6/19/2020
JOB NO.	041-20
FILE	0418P2
SCALE	1" = 10'-0"

SHEET
C-2

REVISIONS

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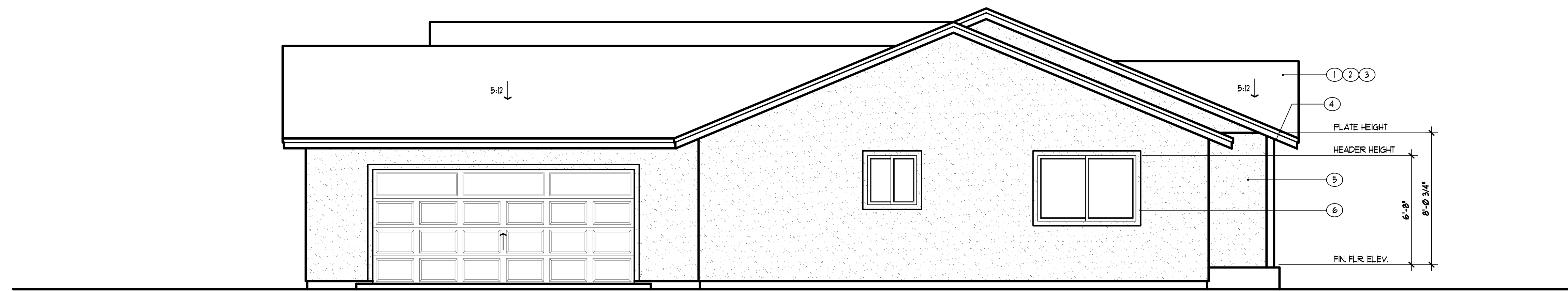



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

1. COMPOSITION SHINGLES INSTALLED PER MFG'S. SPECS. AND TO CONFORM TO 2018 IRC SECTION 905
2. USE ROOF VENTS PER 2018 IRC SECTION R806
3. ALL METAL'S AND FLASHING'S SHALL BE PAINTED TO MATCH ADJACENT SURFACES
4. 2x8 PAINTED FASCIA W/ 1x SHINGLE MOLD
5. EXTERIOR PLASTER (STUCCO) INSTALLED PER 2018 IRC SECTION 102.1
6. 2x STYROFOAM / STUCCO DOOR & WINDOW TRIM

DRAINAGE
PROVIDE DRAINAGE AWAY FROM BUILDING AT A MINIMUM OF 3% SLOPE FOR 10'. WHERE LOT LINES, WALLS, SLOPES, OR OTHER PHYSICAL BARRIERS PROHIBIT 6" OF FALL WITHIN THE FIRST 10', DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE.

OWNER / CONTRACTOR:
DUNG SO TRUONG
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CARSON CITY, NV 89701

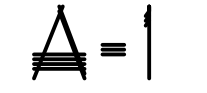


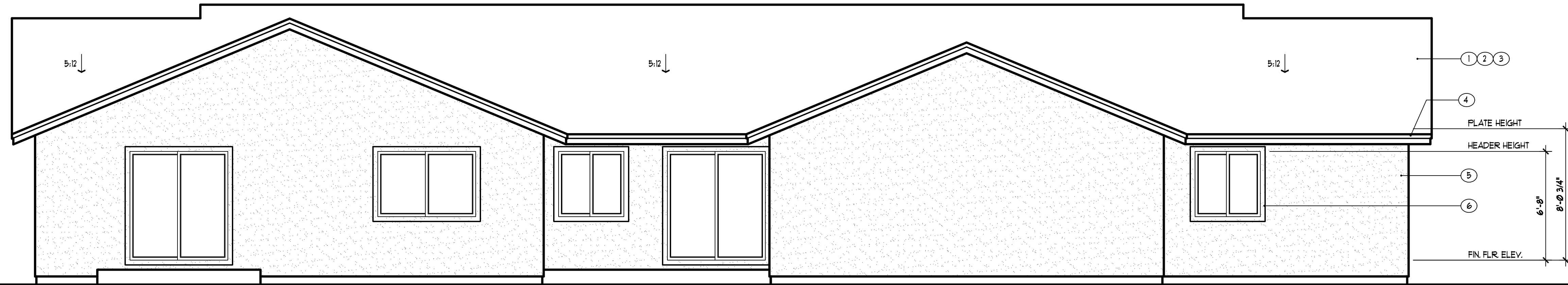
RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

PROJECT:
TRUONG DUPLEX
421 S. CARSON MEADOWS DR.
CARSON CITY, NV 89701
A.P.N. 004-113-14

DATE	6/19/2020
JOB NO.	041-20
FILE	041EL1
SCALE	1/4" = 1'-0"

SHEET
A-1



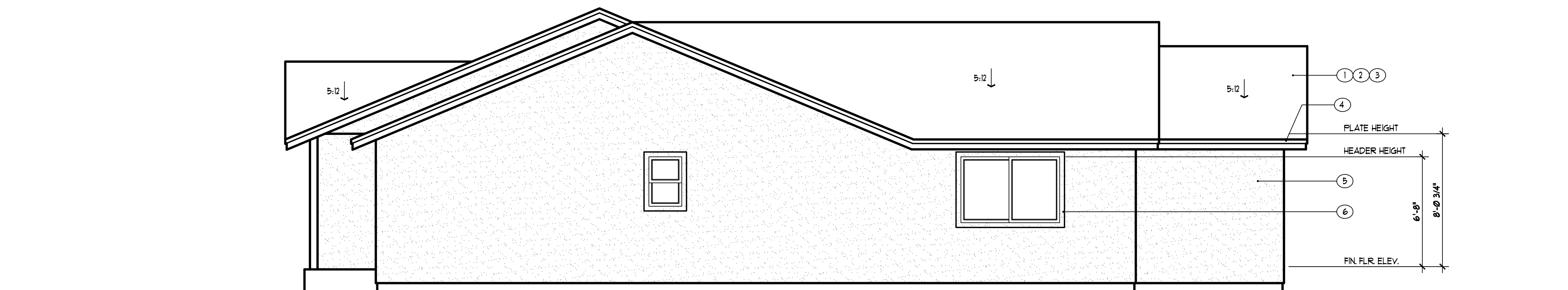


REAR ELEVATION

SCALE: 1/4" = 1'-0"

1. COMPOSITION SHINGLES INSTALLED PER MFG'S. SPECS. AND TO CONFORM TO 2018 IRC SECTION 905
2. USE ROOF VENTS PER 2018 IRC SECTION R806
3. ALL METAL'S AND FLASHING'S SHALL BE PAINTED TO MATCH ADJACENT SURFACES
4. 2x8 PAINTED FASCIA W/ 1x SHINGLE MOLD
5. EXTERIOR PLASTER (STUCCO) INSTALLED PER 2018 IRC SECTION 103.1
6. 2x STYROFOAM / STUCCO DOOR & WINDOW TRIM

DRAINAGE
 PROVIDE DRAINAGE AWAY FROM BUILDING AT A MINIMUM OF 3% SLOPE FOR 10'. WHERE LOT LINES, WALLS, SLOPES, OR OTHER PHYSICAL BARRIERS PROHIBIT 6" OF FALL WITHIN THE FIRST 10', DRAINS OR SALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE.

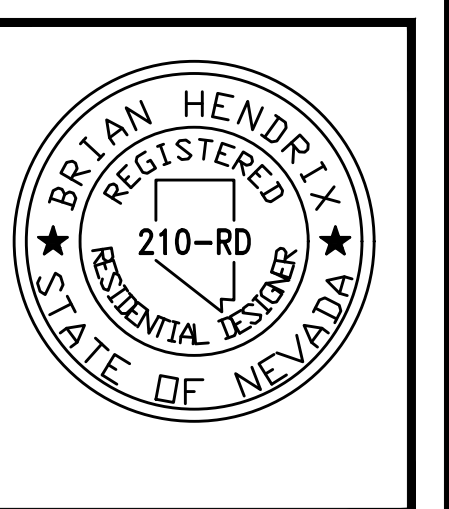


LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

REVISIONS

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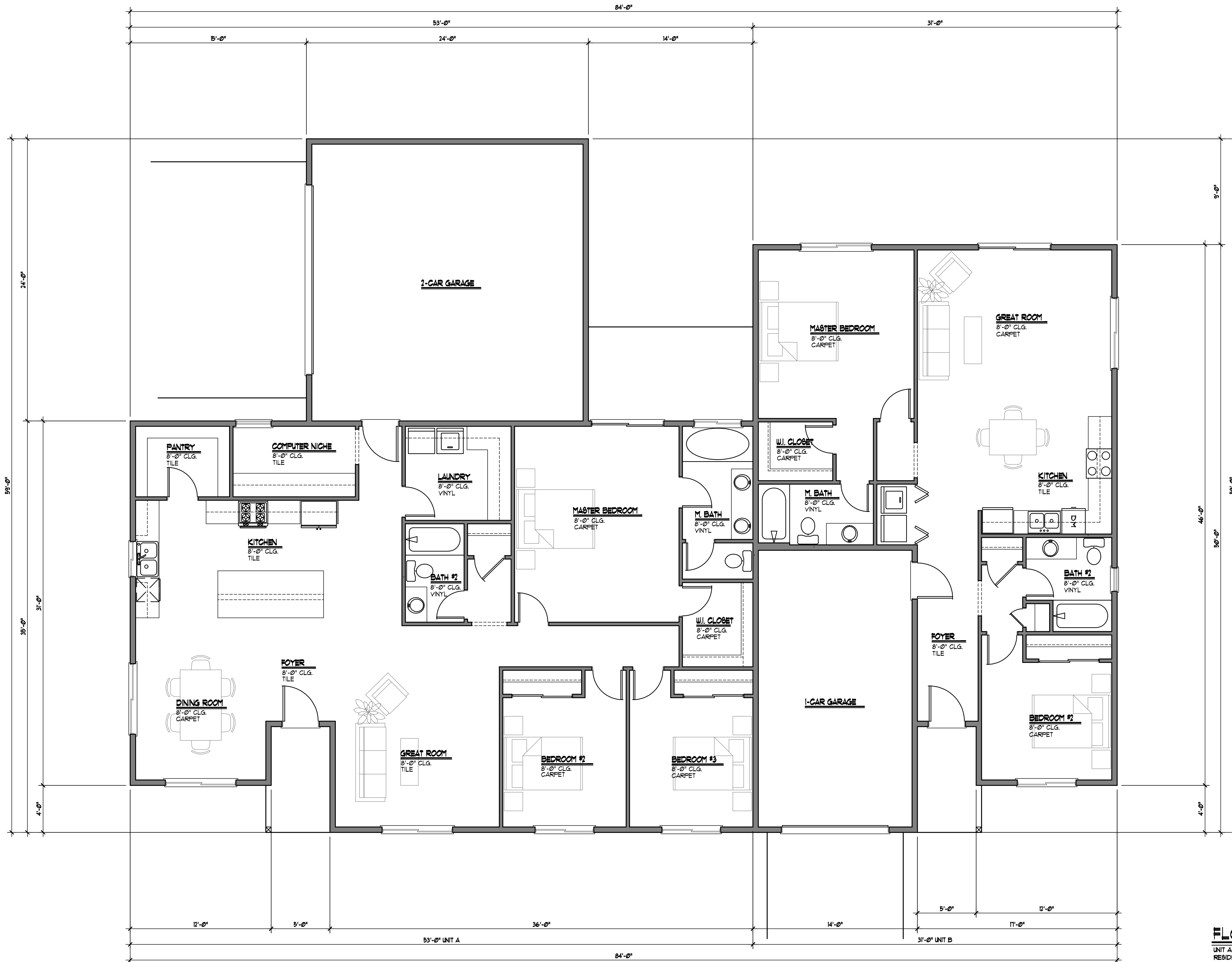


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DATE	6/19/2020
JOB NO.	041-20
FILE	04IEL2
SCALE	1/4" = 1'-0"

SHEET
A-2



GENERAL NOTES:

SAFETY GLAZING MUST BE USED IN ALL HAZARDOUS AREAS PER 2018 IRC SECTION R-308

PROVIDE AT LEAST 1 EMERGENCY EGRESS WINDOW IN ROOMS USED FOR SLEEPING WHICH MEET THE FOLLOWING DIMENSIONS:
 MIN 5.7 SQ. FT. OF TOTAL AREA
 MIN. CLEAR OPENING HEIGHT OF 24"
 MIN. CLEAR OPENING WIDTH OF 20"
 MAX. CLR. OPENING HEIGHT FROM FF. 44"
 PER 2018 IRC SECTION R310.1

PROVIDE LANDINGS PER 2018 IRC SECTION 313

PROVIDE LIGHT AND VENTILATION PER 2018 IRC SECTION 309

ALL LUMBER SHALL BE STD. NO. 2 GRADE OR BETTER UNLESS OTHERWISE NOTED

MEASUREMENTS ARE TO STUD FACE UNLESS OTHERWISE NOTED

ALL WORK & MATERIAL SHALL CONFORM TO ALL PERTINENT REQUIREMENTS OF THE 2018 I.R.C. AND ALL LOCAL GOVERNING CODES, REGULATIONS, AND ORDINANCES.

WHERE CERAMIC TILE IS INSTALLED IN TUB AND SHOWER AREAS, ONLY GLASS MAT GYPSUM BACKING PANEL, FIBER-REINFORCED GYPSUM PANELS, NON-ASBESTOS FIBER CEMENT BACKER BOARD, AND NON-ASBESTOS FIBER MAT REINFORCED CEMENTITIOUS BACKER UNITS SHALL BE USED PER 2018 IRC R102.4.

TUB AND SHOWER SPACES WITH SHOWER HEADS SHALL HAVE WALLS FINISHED WITH A NON-ABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN 6'-0" (12") ABOVE THE FLOOR PER 2018 IRC 307.2.

ALL BATHROOM WINDOWS SHALL BE SAFETY GLAZED PER 2018 IRC 308.4.5.

ALL GARAGE SLABS WITH 8"STEM WALL FOUNDATION SHALL SLOPE TOWARDS THE GARAGE DOOR AT A 2% SLOPE MINIMUM.

MAINTAIN A 1" MINIMUM AIR SPACE BETWEEN FIBERGLASS BATT INSULATION AND ROOF SHEATHING AS REQUIRED PER 2018 IRC R806.3.

WHERE 1/2" AND 5/8" GYPSUM BOARD IS APPLIED TO CEILING WITH FRAMING SPACED AT 24" O.C. PANELS SHALL BE INSTALLED PERPENDICULAR TO FRAMING TO MINIMIZE SAGGING PER 2018 IRC TABLE R102.3.5.

WATER HEATERS SHALL BE SEISMICALLY BRACED PER 2018 IRC M1307.2.

ACCESS HATCHES AND DOORS FROM CONDITIONED SPACE TO UNCONDITIONED SPACE SHALL BE WEATHER STRIPPED AND INSULATED TO A LEVEL EQUIVALENT TO THE INSULATION ON THE SURROUNDING SURFACES PER 2018 IECC SEC. 402.2.3

BUILDING ENVELOPE AIR TIGHTNESS SHALL COMPLY WITH 2018 IECC SEC. 402.2.1 DOOR BLOWER TEST AND SEC. 402.2.2 VISUAL INSPECTION.

ALL THERMOSTATS TO BE PROGRAMMABLE TYPE PER 2018 IECC SEC. 403.1.1

ALL HVAC SUPPLY DUCTS IN UNCONDITIONED SPACE MUST BE INSULATED TO R-8 MIN. AND RETURN AIR DUCTS IN UNCONDITIONED SPACE MUST BE INSULATED TO R-6 MIN. PER 2018 IECC SEC. 403.2.1

ALL DUCTS, AIR HANDLERS, FILTER BOXES, AND BUILDING CAVITIES USED AS DUCTS SHALL BE SEALED. DUCTS LOCATED OUTSIDE THE CONDITIONED SPACE SHALL BE TESTED FOR TIGHTNESS PER POST-CONSTRUCTION TEST OR ROUGH-IN TEST PER 2018 IECC SEC. 403.2.2

DISHWASHER (24" x 24") VERIFY DIMENSIONS w/ MFG.

39" CLEAR REFRIGERATOR SPACE (PROVIDE RECESSED COLD WATER BIB & SHUT-OFF FOR ICE MAKER)

WASHER SPACE: PROVIDE RECESSED WATER AND DRAIN CONNECTIONS. IF RECESSED BOX OCCURS IN GARAGE FIREWALL, IT MUST BE METAL & WATER TIGHT PAN OF CORROSION RESISTANCE MATERIAL WITH DRAIN TO AN APPROVED LOCATION IS RECOMMENDED OVER WOOD FLOORS.

DRYER SPACE: PROVIDE RECESSED BOX w/ SMOOTH METAL DRYER VENT DUCT TO OUTSIDE w/ BACKDRAFT DAMPER (4" DIA. / 14" MAX / 2 ELBOWS MAX.)

A/C CONDENSER: PROVIDE CONCRETE PAD. (VERIFY LOCATION) PROVIDE 200% WEATHER-PROOF DISCONNECT AND (WITHIN 25') A 110v WEATHERPROOF OUTLET.

PROVIDE ADEQUATE BLOCKING (2x6 FLAT) IN WALLS AT ALL TOWEL BARS, GRAB BARS, CABINETS ETC.

FLOOR PLAN

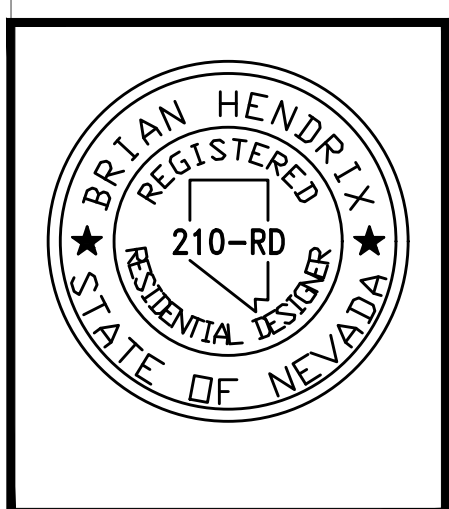
UNIT A: RESIDENCE: 1762 SQ. FT. GARAGE: 516 SQ. FT.
 UNIT B: RESIDENCE: 1028 SQ. FT. GARAGE: 329 SQ. FT.

SCALE: 1/4" = 1'-0"

REVISIONS

Element
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