

STAFF REPORT FOR ADMINISTRATIVE HEARING MEETING OF AUGUST 31, 2022

FILE NO: LU-2022-0329

AGENDA ITEM: 3.A

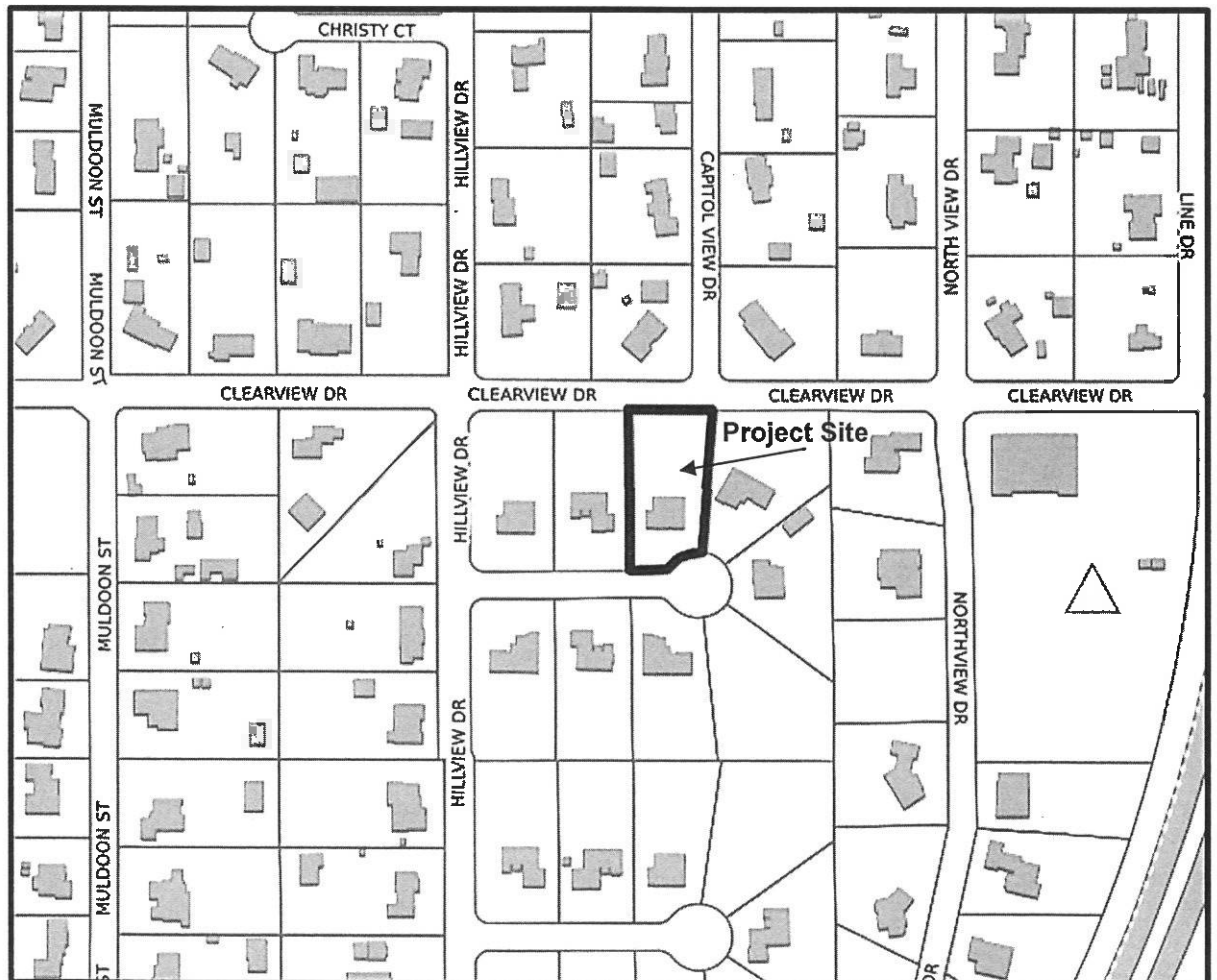
STAFF AUTHOR: Lena Reseck, Assistant Planner

AGENDA TITLE: LU-2022-0329 For Possible Action: Discussion and possible action regarding a request for an Administrative Permit to allow for the construction of an accessory structure with a cumulative square footage totaling 59 percent of the size of the primary structure on property zoned Single Family 1 Acre located at 1428 Canyon Vista Court. (Lena Reseck, lreseck@carson.org)

Summary: The applicant is proposing construction of a 1,500 square foot shop. A shop is a permitted accessory use in the Single Family 1 Acre zoning district; however, Carson City Municipal Code ("CCMC") 18.05.055 requires approval of an Administrative Permit if the cumulative square footage of the accessory structure(s) on-site are more than 50 percent, but less than 75 percent of the square footage of the primary structure.

PROPOSED ACTION: "I approve the administrative permit based on the findings and subject to the conditions of approval contained in the staff report."

VICINITY MAP:



RECOMMENDED CONDITIONS OF APPROVAL:

The following shall be completed prior to commencement of the use:

1. The applicant must sign and return the Notice of Decision for conditions for approval within 10 days of receipt of notification. If the Notice of Decision is not signed and returned within 10 days, then the item may be rescheduled for the next Administrative Permit Hearing for further consideration.
2. All development shall be substantially in accordance with the development plans approved with this application, except as otherwise modified by these conditions of approval.
3. All on and off-site improvements shall conform to City standards and requirements.
4. The applicant shall meet all the conditions of approval and commence the use for which this permit is granted, within 12 months of the date of Administrative Permit Hearing approval. A single, one-year extension of time may be granted if requested in writing to the Planning Division 30 days prior to the one-year expiration date. Should this permit not be initiated within one-year and no extension granted, the permit shall become null and void.

The following shall be submitted with a Building Permit application:

5. The applicant shall submit a copy of the Notice of Decision and conditions of approval with the Building Permit application.
6. The exterior building materials and colors shall be compatible with the existing residence. The proposed colors shall be submitted to the Planning Division for review and approval during the Building Permit submission.

The following are general requirements applicable through the life of the project:

7. Any other detached accessory structures proposed for the site will require additional review and approval of an Administrative Permit or Special Use Permit prior to construction.

LEGAL REQUIREMENTS: CCMC 18.02.110 (Administrative Permits), 18.04.055 (Single Family 1 Acre, Accessory Permitted Uses), 18.04.190 (Residential Districts Intensity and Dimensional Standards), 18.05.055 (Accessory Structures).

MASTER PLAN DESIGNATION: Low-Density Residential ("LDR")

PRESENT ZONING: Single Family 1 Acre

KEY ISSUES: Will the proposed accessory structure have an adverse impact on the adjacent residential neighborhood?

SURROUNDING ZONING AND LAND USE INFORMATION:

NORTH: Single Family 1 Acre /Single Family Residence
EAST: Single Family 1 Acre /Single Family Residence
SOUTH: Single Family 1 Acre /Single Family Residence
WEST: Single Family 1 Acre /Single Family Residence

ENVIRONMENTAL INFORMATION:

1. FLOOD ZONE: Zone X
2. EARTHQUAKE FAULT: IV Least Severity beyond 500 feet
3. SLOPE/DRAINAGE: Site is relatively flat.

SITE DEVELOPMENT INFORMATION:

1. LOT SIZE: 0.90 acres
2. PROPOSED STRUCTURE SIZE: 1,500 square feet
3. SETBACKS:

Required per CCMC 18.04.190

Front: 30 feet; Side: 15 feet; Street Side: 20 feet; Rear: 30 feet

Proposed

Front: 209 feet; Side: 48.6 feet on left side and 91 feet on right side; Rear: 45.6 feet

DISCUSSION AND BACKGROUND:

The applicant is seeking to construct a detached shop. A detached shop is a permitted accessory use in the Single Family 1 Acre zoning district; however, CCMC 18.05.055 requires approval of an Administrative Permit if the cumulative square footage of the accessory structure(s) on-site are more than 50 percent, but less than 75 percent, of the square footage of the primary structure. The subject property contains a single-family residence, totaling 2,968 square feet. The square footage of the proposed accessory structure totals 1,500 square feet. There are existing accessory structures on the property that include a shed (120 square feet) and a greenhouse (120 square feet). The total accessory structure square footage including the proposed accessory structure will be 1,740 square feet or 59 percent of the residence.

PUBLIC COMMENTS: Pursuant to CCMC 18.02.045, public notices were mailed to 37 adjacent property owners within 500 feet of the subject site on August 18, 2022. As of the writing of this report, one written comment has been received. Any comments that are received after this report is completed will be submitted to the Hearings Examiner prior to or at the meeting on August 31, 2022, depending on the date of submission of the comments to the Planning Department.

AGENCY COMMENTS: The following comments were received from City departments. Comments have been incorporated into the recommended conditions of approval where applicable.

Building Division:

- Designs to the 2018 Code Series and Northern Nevada Amendments (Building and Fire), Please verify plans follow the Nevada Blue Book guidelines (with Design Criteria on cover Page)
- Apply for permits at permitcenter.carson.org

Development Engineering Division:

Development Engineering has no preference or objection to the special use request provided that the following conditions are met:

- The driveway from the proposed shop door to the existing driveway must be constructed of compacted base and may be topped with decomposed granite or gravel.

ENGINEERING DISCUSSION:

Development Engineering has reviewed the application within our areas of purview relative to adopted standards and practices and to the provisions of CCMC 18.02.080, Conditional Uses. Development Engineering offers the following discussion:

CCMC 18.02.080(5)(a) - Master Plan

The request is not in conflict with any Engineering Master Plans.

CCMC 18.02.080(5)(b) – Use, Peaceful Enjoyment, Economic Value, Compatibility

Development Engineering has no comment on this finding.

CCMC 18.02.080(5)(c) - Traffic/Pedestrians

The project has a negligible impact on vehicular and pedestrian traffic.

CCMC 18.02.080(5)(d) - Public Services

The project has a negligible impact on City water, sewer, and storm drain systems.

CCMC 18.02.080(5)(e) – Title 18 Standards

Development Engineering has no comment on this finding.

CCMC 18.02.080(5)(f) – Public health, Safety, Convenience, and Welfare

The project meets engineering standards for health and safety.

CCMC 18.02.080(5)(g) – Material Damage or Prejudice to Other Property

Development Engineering has no comment on this finding.

CCMC 18.02.080(5)(h) – Adequate Information

The plans and reports provided were adequate for this analysis.

Fire Department:

1. Project must comply with the International Fire Code and Northern Nevada Fire Code amendments as adopted by Carson City.

FINDINGS: Staff's recommendation is based upon the findings as required by CCMC Section 18.02.110 (Administrative Permits) enumerated below and substantiated in the public record for the project.

1. **Will be consistent with the master plan elements.**

The primary use of the Low-Density Residential master plan designation is neighborhoods which primarily include single-family residences. A detached shop is considered an accessory use in the Single Family 1 Acre zoning district and is therefore consistent with the master plan. The project site is a larger, single family lot in a rural setting. Detached accessory structures are common in such areas.

2. **Will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and will cause no objectionable noise, vibrations, fumes, odors, dust, glare or physical activity.**

The proposed shop will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or general neighborhood. The need for the Administrative Permit is due to the cumulative square footage of the accessory structure, not the use itself. Detached accessory structures such as garages, shops, and sheds are common on larger single family lots in

rural areas.

3. Will have little or no detrimental effect on vehicular or pedestrian traffic.

A detached shop is a permitted accessory use in the Single Family 1 Acre zoning district. The construction of the shop will not result in an increase in vehicular or pedestrian traffic beyond what is assumed for a single-family residential use and will therefore have little or no detrimental effect on vehicular or pedestrian traffic.

4. Will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary sewer, public roads, storm drainage, and other public improvements.

A detached shop is a permitted accessory use in the Single Family 1 Acre zoning district. The project will include connecting to water and electrical from the primary structure but does not require modifications to the existing storm drain infrastructure. The construction of the accessory structure will have no impact on existing services and facilities.

5. Meets the definition and specific standards set forth elsewhere in this title for such particular use and meets the purpose statement of that district.

The application has been reviewed for compliance with the code. The subject parcel is zoned Single Family 1 Acre. The intent of this zoning is to provide for development of low-density, large lot, single family detached residential units. A detached shop is a permitted accessory use in this zoning district. Per CCMC 18.05.055, the cumulative square footage of detached accessory structures exceeding 50 percent but less than 75 percent of the size of the primary structure requires approval of an Administrative Permit. The proposed 1,500 square foot accessory structure along with existing 120 square foot shed and 120 square foot greenhouse is 59 percent of the size of the primary residence. The primary residence is 2,968 square feet. The proposed detached shop will be placed in compliance with all required setbacks and height limitations of the Single Family 1 Acre zoning district. As designed and conditioned the accessory structure meets the standards outlined in Title 18.

6. Will not be detrimental to the public health, safety, convenience and welfare.

A detached shop is a permitted accessory use in the Single Family 1 Acre zoning district. An Administrative Permit is only required because the cumulative square footage of the accessory structures is more than 50 percent, but less than 75 percent of the size of the primary structure. The square footage of the accessory structure will not be detrimental to the public health, safety, convenience, and welfare. Prior to construction beginning, the applicant will be required to obtain a building permit for the accessory structure which will ensure the structure will be built to current standards.

7. Will not result in material damage or prejudice to other property in the vicinity.

The subject parcel is zoned Single Family 1 Acre. The intent of this zoning is to provide for development of low-density, large lot, single family detached residential units. Accessory structures, such as shops, are permitted accessory uses in this zoning district. Per CCMC 18.05.055, if the cumulative square footage of detached accessory structures exceeds 50 percent but less than 75 percent of the size of the primary structure an Administrative Permit is required. The proposed 1,500 square foot accessory structure along with existing 120 square foot shed and 120 square foot greenhouse is 59 percent of the size of the primary residence and will be constructed in compliance with all required setbacks and height limitations of the Single Family 1 Acre zoning district. As

proposed and conditioned the accessory structure will not result in the material damage or prejudice to other property in the vicinity.

Attachments

Application (LU-2022-0329)

Public Comment

ADMINISTRATIVE PERMIT (CCMC 18.02.110)	
FILE # LU-2022-0329	
APPLICANT SJS Family Trust 10/3/2005 James & Shannon Silva Trustees	PHONE # 775-721-4132
MAILING ADDRESS, CITY, STATE, ZIP 1428 Canyon Vista Ct, Carson City NV 89701	
EMAIL ADDRESS Shannonsilva71@gmail.com	
PROPERTY OWNER SJS Family Trust 10/3/2005 James & Shannon Silva Trustees	PHONE # 775-721-4132
MAILING ADDRESS, CITY, STATE, ZIP 1428 Canyon Vista Ct, Carson City NV 89701	
EMAIL ADDRESS Shannonsilva71@gmail.com	
APPLICANT AGENT/REPRESENTATIVE Joe Millett; J Millett Construction	PHONE # 775-721-4132
MAILING ADDRESS, CITY, STATE, ZIP 4635 Northview Dr; Carson City NV 89701	
EMAIL ADDRESS JMillettconst@ymail.com	
PROJECT'S ASSESSOR PARCEL NUMBER(S): 010-721-16	STREET ADDRESS 1428 Canyon Vista Ct, Carson City NV 89701



108 E. Proctor Street, Carson City, NV 89701
Phone: (775) 887-2180
Email: planning@carson.org

FEE: \$750 plus noticing fee
ADDITIONAL REVIEW FEE: \$60/hour over 10 hours

SUBMITTAL PACKET – Submit application electronically at permitcenter.carson.org, email completed packet to planning@carson.org or submit one unbound original and a CD or USB drive with complete application in PDF:

- Application Form
- Detailed Written Project Description
- Site Plan
- Administrative Permit Findings
- Master Plan Policy Checklist

Meeting Date: 8/31/2022

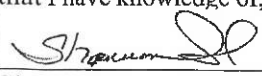
Note: Submittals must be of sufficient clarity and detail for all departments to adequately review the request. Additional information may be required.

Please provide a description of your proposed project below. Provide additional pages to describe your request in more detail.

30x50 residential personal use shop located on rear portion of parcel used for hobby projects, personal vehicle repair and personal storage

PROPERTY OWNER'S AFFIDAVIT

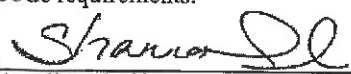
I, Shannon Silva being duly deposed, do hereby affirm that I am the record owner of the subject property, and that I have knowledge of, and I agree to, the filing of this application.

 1428 Canyon Vista Ct, Carson City NV 89701 7/15/2022

Signature Address Date

ACKNOWLEDGMENT OF APPLICANT

I certify that the forgoing statements are true and correct to the best of my knowledge and belief. I agree to fully comply with all conditions as established by the staff report and/or Hearings Examiner. I am aware that this permit becomes null and void if the use is not initiated within one year of the date of the Planning Director's approval; and I understand that this permit may be revoked for violation of any of the conditions of approval. I further understand that approval of this application does not exempt me from all City code requirements.

 Shannon Silva 7/15/2022

Applicant's Signature Print Name Date

Administrative Findings- 1428 Canyon Vista Ct

CCMC 18.02.080(5) FINDINGS. Findings from a preponderance of evidence must indicate that the proposed use:

1. Will be consistent with the objectives of the Master Plan elements.

DOES NOT APPLY- is not a development

2. Will not be detrimental to the use, peaceful enjoyment, economic value, or development of surrounding properties or the general neighborhood; and is compatible with and preserves the character and integrity of adjacent development and neighborhoods or includes improvements or modifications either on-site or within the public right-of-way to mitigate development related to adverse impacts such as noise, vibrations, fumes, odors, dust, glare or physical activity.

A. Residential use and zoning

B. Building to be constructed in accordance with CC&Rs built using same materials and colors as primary residence. Noise will be reduced because current work on property is done in the back or front yard not inside a structure. Current dust/dirt will be mitigated as structure will not only cover existing dirt but will block dust blowing in neighbors' yards from other neighbors undeveloped land. Glare, fumes, activity, vibration, odors will either be reduced or does not apply. Property on Hillview (3 houses away adjoining subdivision) has a metal shop used for similar purposes but has higher wall height and neighbor 2 doors over has RV garage built in accordance with same CCRs.

C. Structure is to be built on our property and is consistent visually and in use with other structures in the general neighborhood. Meets CCR requirements to maintain cohesiveness with neighbors and will not infringe on others property or ability to develop on their own property. Height is no higher than surrounding structures so any perceived views will not be obstructed any more than any other structures that can be built on neighboring parcels.

D. Lighting is to be residential in nature and motion detected for security purposes and will face our residence. Normal residential driveway wattage and height placement.

E. No landscaping. Surrounding land to be as is but future land surrounding building will eventually be rocked which will further mitigate current amount of dust/dirt. Plan allows for potential planting of trees or shrubs along property lines.

3. Will have little or no detrimental effect on vehicular or pedestrian traffic.

Does not apply- Structure to be built within property boundaries. Access will be through gates at front of property which is currently used for accessing rear of parcel. No access or traffic would be added from that of the residential use. Building used for personal use on existing property. Parcel is on a cul de sac. Building would have no impact on vehicle or pedestrian traffic.

4. Will not overburden existing public services and facilities, including schools, police and fire protection, water, sanitary, sewer, public roads, storm drainage and other public improvements.

A. No effect on schools

B. Would have no more effect on fire and police than any other structure in the area or current residence.

C. Water will be run from residence line to hose bib on exterior of building. No additional water will be used than is currently used on property. Subdivision started development 6 years ago, so all lines are new. Water lines will be run to building from existing lines not served by a well.

D. Drainage will be accommodated as per engineered plans.

E. No sewer to be connected.

F. No road improvement proposed or needed.

G. Private engineer, contractor, plans.

5. Meets the definition and specific standards set forth elsewhere in Carson City Municipal Code, Title 18 for such particular use and meets the purpose statement of that district.

Property is SF1A and falls within the parameters of Residential districts intensity and dimensional standards and is allowed under an accessory structure with a permitted use.

6. Will not be detrimental to the public health, safety, convenience, and welfare.

Project has no effect impact or benefit to public as it is for private residential use.

7. Will not result in material damage or prejudice to other property in the vicinity, because of proposed mitigation measures.

Does not apply

Master Plan Policy Checklist

Special Use Permits & Major Project Reviews & Administrative Permits

PURPOSE

The purpose of a development checklist is to provide a list of questions that address whether a development proposal is in conformance with the goals and objectives of the 2006 Carson City Master Plan that are related to non-residential and multi-family residential development. This checklist is designed for developers, staff, and decision-makers and is intended to be used as a guide only.

Development Name: _____

Reviewed By: _____

Date of Review: _____

DEVELOPMENT CHECKLIST

The following five themes are those themes that appear in the Carson City Master Plan and which reflect the community's vision at a broad policy level. Each theme looks at how a proposed development can help achieve the goals of the Carson City Master Plan. A check mark indicates that the proposed development meets the applicable Master Plan policy. The Policy Number is indicated at the end of each policy statement summary. Refer to the Comprehensive Master Plan for complete policy language.

CHAPTER 3: A BALANCED LAND USE PATTERN



The Carson City Master Plan seeks to establish a balance of land uses within the community by providing employment opportunities, a diverse choice of housing, recreational opportunities, and retail services.

Is or does the proposed development: Does not apply- is not a development

- Meet the provisions of the Growth Management Ordinance (1.1d, Municipal Code 18.12)?
- Use sustainable building materials and construction techniques to promote water and energy conservation (1.1e, f)?
- Located in a priority infill development area (1.2a)?
- Provide pathway connections and easements consistent with the adopted Unified Pathways Master Plan and maintain access to adjacent public lands (1.4a)?

- Protect existing site features, as appropriate, including mature trees or other character-defining features (1.4c)?
- At adjacent county boundaries or adjacent to public lands, coordinated with the applicable agency with regards to compatibility, access and amenities (1.5a, b)?
- In identified Mixed-Use areas, promote mixed-use development patterns as appropriate for the surrounding context consistent with the land use descriptions of the applicable Mixed-Use designation, and meet the intent of the Mixed-Use Evaluation Criteria (2.1b, 2.2b, 2.3b, Land Use Districts, Appendix C)?
- Meet adopted standards (e.g. setbacks) for transitions between non-residential and residential zoning districts (2.1d)?
- Protect environmentally sensitive areas through proper setbacks, dedication, or other mechanisms (3.1b)?
- Sited outside the primary floodplain and away from geologic hazard areas or follows the required setbacks or other mitigation measures (3.3d, e)?
- Provide for levels of services (i.e. water, sewer, road improvements, sidewalks, etc.) consistent with the Land Use designation and adequate for the proposed development (Land Use table descriptions)?
- If located within an identified Specific Plan Area (SPA), meet the applicable policies of that SPA (Land Use Map, Chapter 8)?

CHAPTER 4: EQUITABLE DISTRIBUTION OF RECREATIONAL OPPORTUNITIES



The Carson City Master Plan seeks to continue providing a diverse range of park and recreational opportunities to include facilities and programming for all ages and varying interests to serve both existing and future neighborhoods.

Is or does the proposed development: does not apply- is not a development

- Provide park facilities commensurate with the demand created and consistent with the City's adopted standards (4.1b)?
- Consistent with the Open Space Master Plan and Carson River Master Plan (4.3a)?

CHAPTER 5: ECONOMIC VITALITY



The Carson City Master Plan seeks to maintain its strong diversified economic base by promoting principles which focus on retaining and enhancing the strong employment base, include a broader range of retail services in targeted areas, and include the roles of technology, tourism, recreational amenities, and other economic strengths vital to a successful community.

Is or does the proposed development: does not apply... not a development

- Encourage a citywide housing mix consistent with the labor force and non-labor force populations (5.1j)
- Encourage the development of regional retail centers (5.2a)
- Encourage reuse or redevelopment of underused retail spaces (5.2b)?
- Support heritage tourism activities, particularly those associated with historic resources, cultural institutions and the State Capitol (5.4a)?
- Promote revitalization of the Downtown core (5.6a)?
- Incorporate additional housing in and around Downtown, including lofts, condominiums, duplexes, live-work units (5.6c)?

CHAPTER 6: LIVABLE NEIGHBORHOODS AND ACTIVITY CENTERS



The Carson City Master Plan seeks to promote safe, attractive and diverse neighborhoods, compact mixed-use activity centers, and a vibrant, pedestrian-friendly Downtown.

Is or does the proposed development: Not a development

- Use durable, long-lasting building materials (6.1a)?
- Promote variety and visual interest through the incorporation of varied building styles and colors, garage orientation and other features (6.1b)?
- Provide variety and visual interest through the incorporation of well-articulated building facades, clearly identified entrances and pedestrian connections, landscaping and other features consistent with the Development Standards (6.1c)?
- Provide appropriate height, density and setback transitions and connectivity to surrounding development to ensure compatibility with surrounding development for infill projects or adjacent to existing rural neighborhoods (6.2a, 9.3b 9.4a)?
- If located in an identified Mixed-Use Activity Center area, contain the appropriate mix, size and density of land uses consistent with the Mixed-Use district policies (7.1a, b)?
- If located Downtown:
 - Integrate an appropriate mix and density of uses (8.1a, e)?
 - Include buildings at the appropriate scale for the applicable Downtown Character Area (8.1b)?
 - Incorporate appropriate public spaces, plazas and other amenities (8.1d)?
- Incorporate a mix of housing models and densities appropriate for the project location and size (9.1a)?

CHAPTER 7: A CONNECTED CITY



The Carson City Master Plan seeks promote a sense of community by linking its many neighborhoods, employment areas, activity centers, parks, recreational

amenities and schools with an extensive system of interconnected roadways, multi-use pathways, bicycle facilities, and sidewalks.

Is or does the proposed development: does not apply- not a development

- Promote transit-supportive development patterns (e.g. mixed-use, pedestrian-oriented, higher density) along major travel corridors to facilitate future transit (11.2b)?
- Maintain and enhance roadway connections and networks consistent with the Transportation Master Plan (11.2c)?
- Provide appropriate pathways through the development and to surrounding lands, including parks and public lands, consistent with the Unified Pathways Master Plan (12.1a, c)?

OWNER INFORMATION

JAMES & SHANNON SILVA
1428 CANYON VISTA COURT
CARSON CITY, NV 89701
PHONE: 775-721-4132
EMAIL: shannonssilva71@gmail.com

OWNER INFORMATION

JAMES & SHANNON SILVA
1428 CANYON VISTA COURT
CARSON CITY, NV 89701
PHONE: 775-721-4132
EMAIL: shannonssilva71@gmail.com

SITE INFORMATION

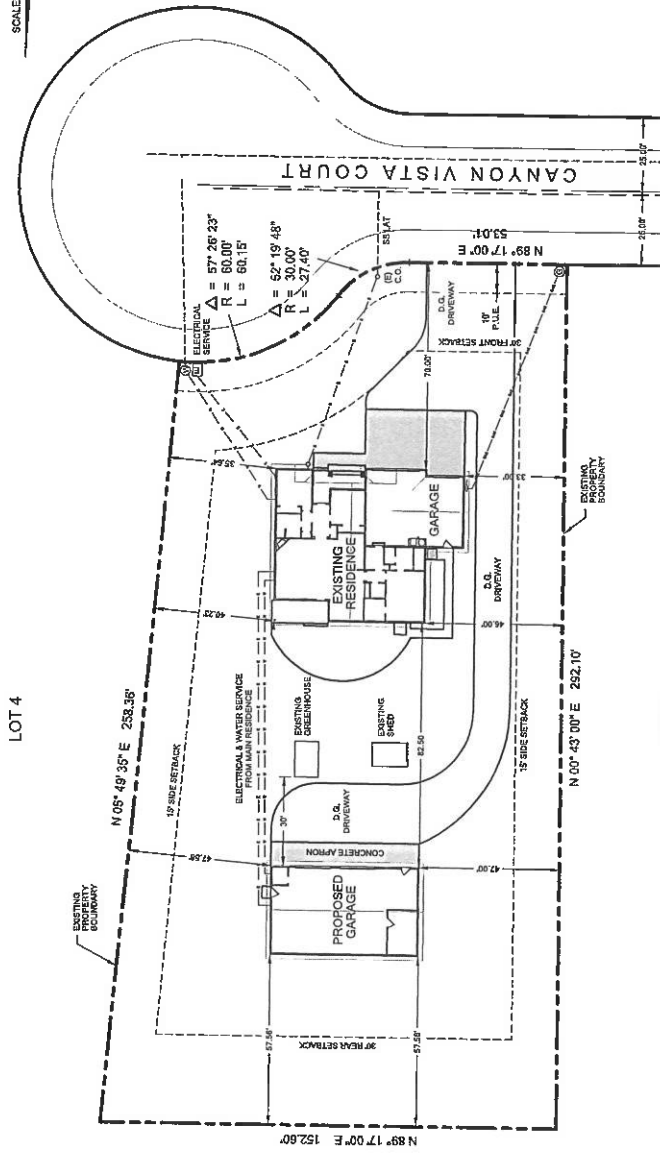
CANYON VISTA SUBDIVISION
A.P.N. NUMBER - 010-721-16
1428 CANYON VISTA COURT
CARSON CITY, NV 89701
LOT SIZE - 0.30 ACRES
38,215 SF
ZONING - SF1A
FLOOD ZONE - "X"

SETBACKS:
FRONT - 30'
SIDE - 15'
REAR - 30'
STREET SIDE - 20'

NOTE:

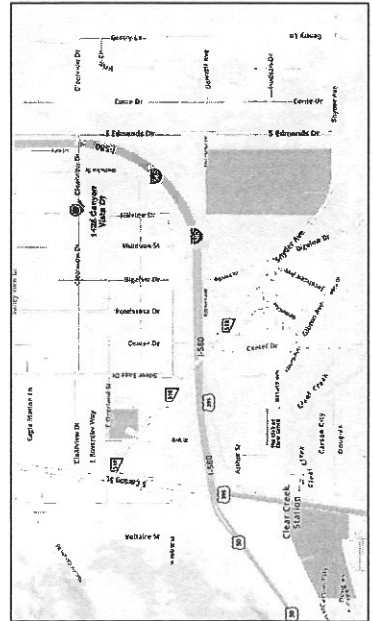
CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS AND CONNECTIONS PRIOR TO CONSTRUCTION

SCALE: 1" = 20'



1428 CANYON VISTA COURT

SCALE: 1" = 20'



MORRIS RESIDENTIAL DESIGN, INC.
SERVICES TO ENHANCE YOUR PROPERTY
1775 W. HARRISON BLVD.
SUITE 100
CARSONVILLE, NV 89701
PHONE: 775-721-4132
WWW.MORRISRESIDENTIALDESIGN.COM



4/19/21

PROJECT FOR:
SILVA
GARAGE
1428 CANYON VISTA CT
CARSON CITY, NV 89701
A.P.N. 010-721-16

DATE: 4/19/21
JOB NO.:
DWC:
SCALE: 1" = 20'
SHEET NO.:
DATE:

PROJECT
SITE PLAN
C1.0



ALL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE 2018 INTERNATIONAL RESIDENTIAL CODE AND ALL STATE AND LOCAL CODES AND ORDINANCES. ALL WORKMANSHIP AND MATERIALS SHALL MEET F.H.A. STANDARDS. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES PRIOR TO ANY WORK COMMENCING.

NO SURVEY PROVIDED



4/19/21

PROJECT FOR:
SILVA GARAGE
 1422 CANYON VISTA CT
 GARAGE CITY, UT 84301
 A.P.N. 016-0241-16

DATE	4/19/21
JOB NO.	MPF-DWG
DWG.	142
SCALE	1/8" = 1'-0"

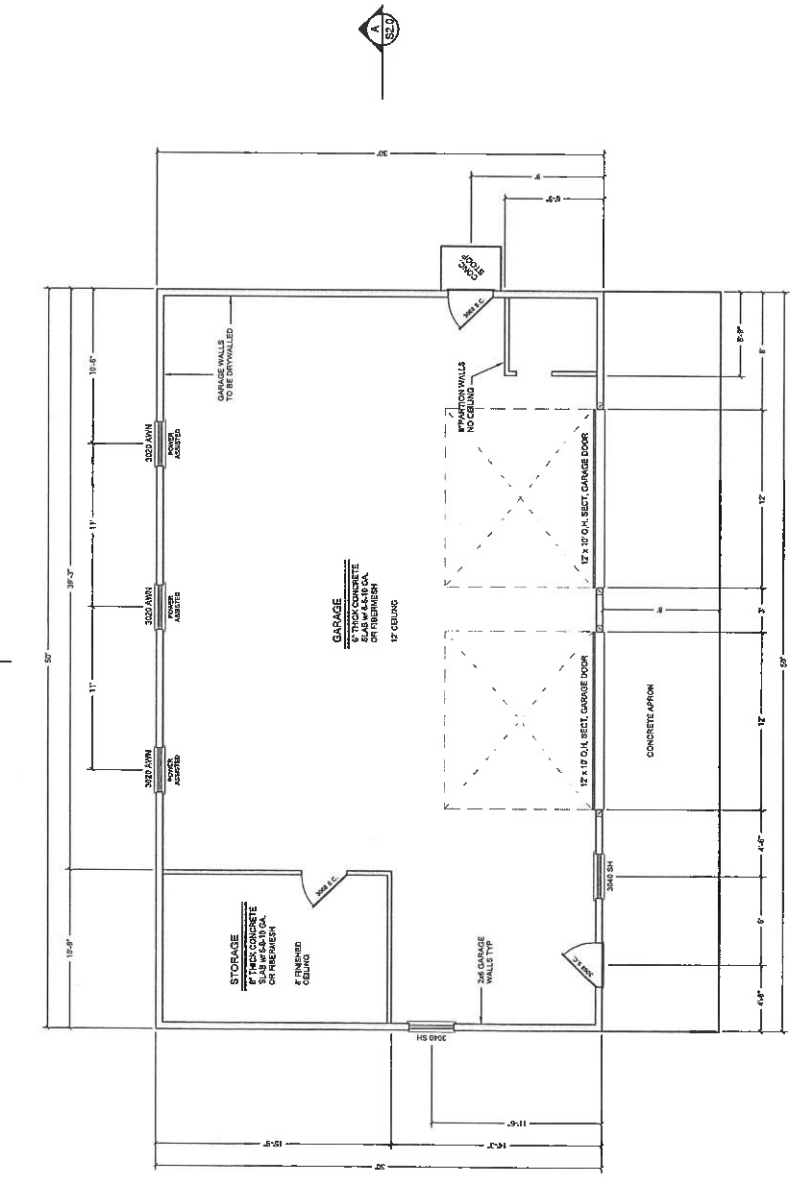
REVISIONS	DATE

MAIN FLOOR PLAN

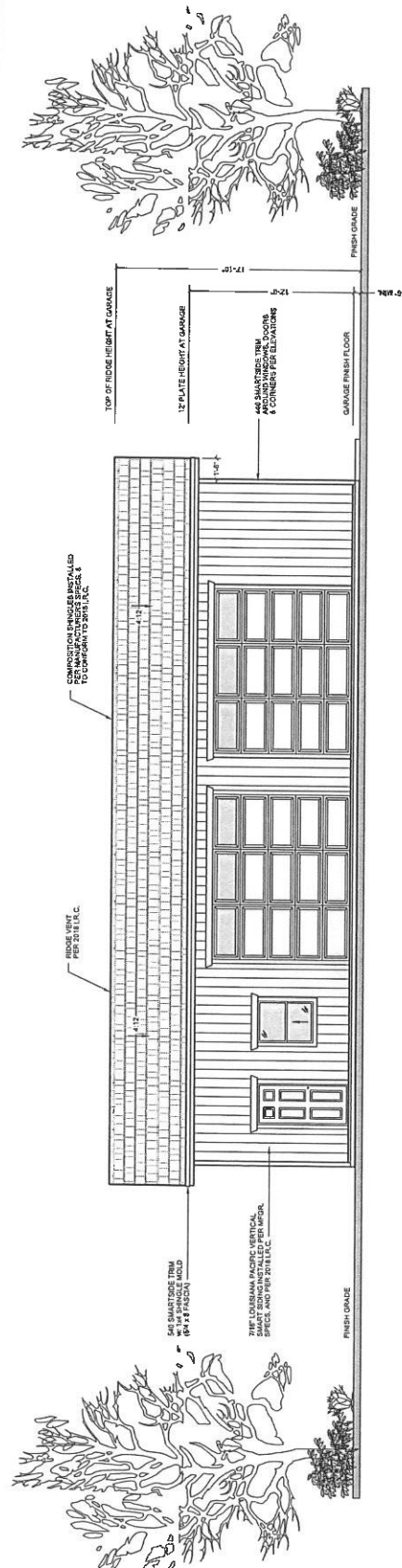
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GENERAL NOTES:

1. PARTY GLAZING MUST BE USED IN ALL WINDOWS UNLESS PERMITTED BY LOCAL CODES.
2. ALL FINISHES SHALL BE IN ACCORDANCE WITH THE 2018 IBC, AND REQUIREMENTS OF THE 2018 I.E.C. AND ALL OTHER APPLICABLE LOCAL, STATE, FEDERAL, AND COUNTY REGULATIONS & ORDINANCES.
3. ALL LUMBER SHALL BE S.D.D. NO. 2, UNLESS OTHERWISE NOTED OTHERWISE.
4. PROVIDE AT LEAST 1 EMERGENCY EGRESS WINDOW IN ROOMS USED FOR THE FOLLOWING DIMENSIONS:
 - MIN. 20" HIG. OR TOTAL AREA MIN. CLEAR OPENING WIDTH OF 20" MIN. CLEAR OPENING WIDTH OF 20" MIN. CLEAR OPENING HEIGHT OF 20" MIN. CLEAR OPENING HEIGHT OF 20" MIN. CLEAR OPENING HEIGHT OF 20"
5. ALL WINDOWS PERMITTED BY LOCAL CODES SHALL BE AT LEAST 20" HIG. AT THE THRESHOLD. WINDOW SIZES SHALL BE MEASURED IN THE DIRECTION OF TRAVEL. DIMENSIONS ARE TO STUD FACE UNLESS OTHERWISE NOTED.
6. DOORS & PARTITIONS SHALL BE CALUMED & FINISHED WITH 1/2" GYP BOARD, DOORS AND WINDOWS.
7. LUMB SPRINKLERS & PROTECTION SYSTEMS SHALL INCLUDE AN APPROVED VACUUM PREVENTION DEVICE PER IBC I.E.C.
8. GAS PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE 2018 IBC, CHAPTER 13 AND TO CONFORM WITH LOCAL GAS SUPPLIER REQUIREMENTS.
9. PROVIDE MECHANICAL VENTILATION PER IBC I.E.C.



MAIN FLOOR PLAN
 SCALE 1/8" = 1'-0"
 GARAGE SQ. FT. 330
 CONG. APRON SQ. FT. 300
 TOTAL SQ. FT. 630



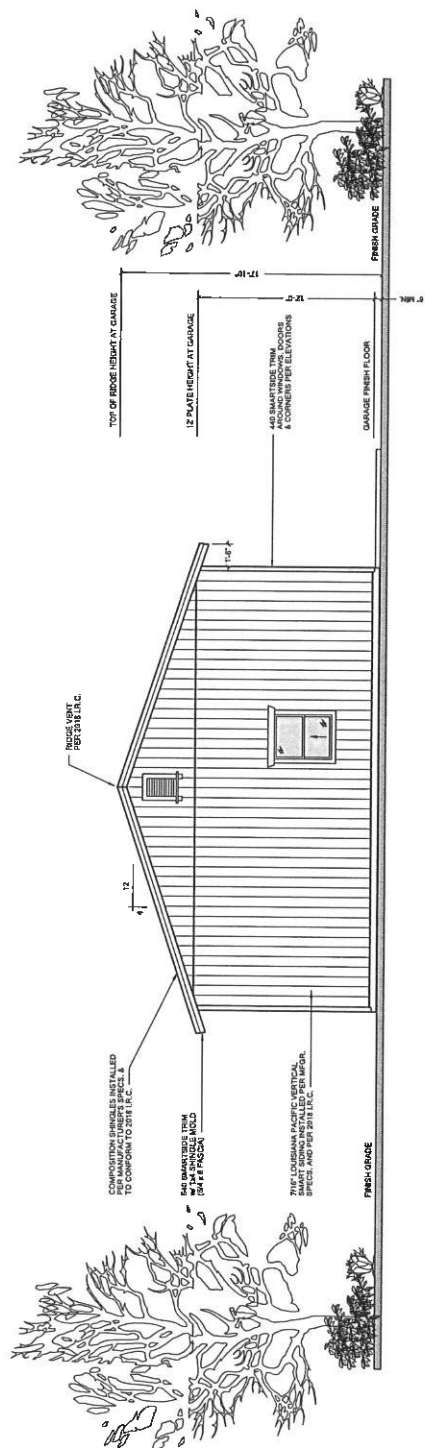
SOUTH ELEVATION
 SCALE 1/4" = 1'-0"

ALL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE 2018 INTERNATIONAL RESIDENTIAL CODES AND LOCAL CODES AND ORDINANCES. ALL WORKMAN SHALL BE INSTALLED IN ACCORDANCE WITH STANDARD PRACTICES OF THEIR RESPECTIVE TRADES. THE INFORMATION CONTAINED IN THESE PLANS TO BE CONFIRMED BY THE OWNER OR CONTRACTOR BEFORE ANY WORK IS TO BEGIN.

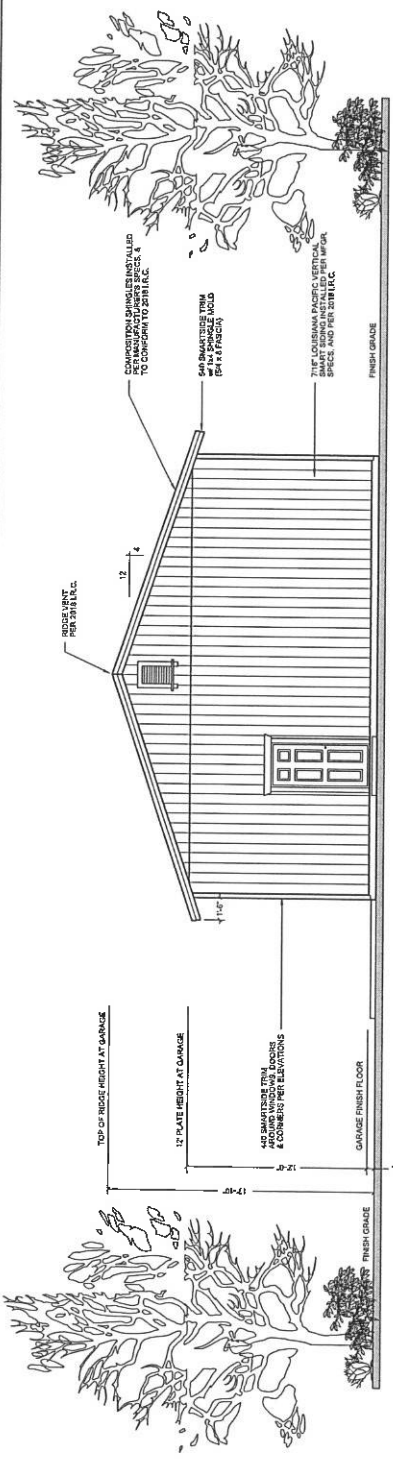
ATTIC VENTILATION:
 ATTIC VENTILATION PER 2018 I.B.C.
 PROVIDE VENTS AND RIGID JACKS, LEAK VENTS AND RIDGE VENT

UNDERFLOOR VENTILATION:
 NOT APPLICABLE

DRAINAGE:
 PROVIDE DRAINAGE AWAY FROM BUILDING AT A MINIMUM OF 5% SLOPE FOR 10'



WEST ELEVATION
 SCALE 1/4" = 1'-0"



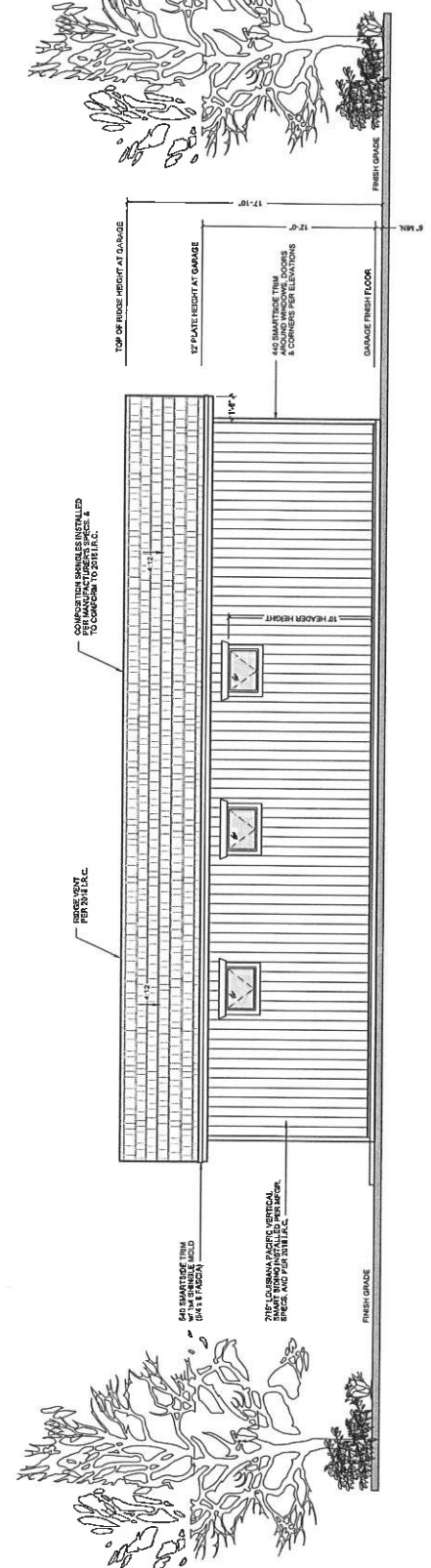
EAST ELEVATION
SCALE: 1/4" = 1'-0"

ALL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE 2018 RESIDENTIAL BUILDING CODE AND ALL STATE AND LOCAL CODES AND ORDINANCES. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH STANDARD PRACTICES OF THEIR RESPECTIVE INDUSTRY. THE CONTRACTOR SHALL VERIFY THESE PLANS TO BE CONFORMED BY THE OWNER OR CONTRACTOR BEFORE ANY WORK IS TO BEGIN.

ATTIC VENTILATION:
ATTIC VENTILATION PER 2018 I.B.C. SHALL BE INSTALLED AT JOISTS, RAFTERS AND RIDGE VENT.

UNDERFLOOR VENTILATION:
NOT APPLICABLE

DRAINAGE:
PROVIDE DRAINAGE AWAY FROM BUILDING AT A MINIMUM OF 5% SLOPE FOR 10'



NORTH ELEVATION
SCALE: 1/4" = 1'-0"

Lena Reseck

From: Planning Department
Sent: Friday, August 19, 2022 1:17 PM
To: Lena Reseck
Subject: FW: LU-2022-0329

From: Muriel Troyner <mtroyner@gmail.com>
Sent: Thursday, August 18, 2022 5:05 PM
To: Planning Department <planning@carson.org>
Subject: LU-2022-0329

This message originated outside of Carson City's email system. Use caution if this message contains attachments, links, or requests for information.

I am writing to make it known that I am not in favor of a structure this large being built at 1428 Canyon Vista Court. The immensity of this structure would definitely block the views from my front window at 4247 Northview Drive. Thank you.

—
Muriel Maiden