

- 1. ALL INSPECTIONS REQUIRE 24-HOUR ADVANCE NOTICE.** If an appointment for a building inspection is necessary, call the Building Inspector between 7:30 and 8:00 a.m.
- The address of each job site must be posted at each site and visible from the street.
- The approved set of building plans must be on the job site at all times. Failure to comply will cause a delay in inspection approval.
- Re-inspection fees may be assessed when the approved plans are not readily available to the Inspector, when corrections called for are not made or when the portion of work for which the inspection is called is not complete.
- EXPIRATION:** Per CCMC 105.5
- All construction shall be performed in accordance with the City Ordinances and Adopted Codes.
- When the job is complete, the Permit Holder shall call for final inspection **before** occupancy.
- The Contractor's signature on this permit certifies that he or she has authority from the Owner to sign on his/her behalf and that the Owner is aware of the requirements of this Permit.
- REQUIRED INSPECTION:**

Section 109.1 General: All construction for which a permit is required shall be subject to inspection by the Building Official and all such construction shall remain accessible and exposed for inspection purposes until approved by the Building Official.

No work shall be done on any part of a building beyond the point indicated in such successive inspection, prior to approval of said inspection.

- All work listed on the Permit shall be accomplished by a properly licensed contractor. Contact Engineering for specific licenses required to work within the right-of-way.
- Call the Building Division to request all required inspections twenty-four (24) hours before the inspections are needed. A list of required inspections is printed on the inspection record card.
- All construction shall conform to City Ordinances, Municipal Codes, Development Standards, and the Standard Specifications and Details for Public Works Construction (Orange Book) as adopted by Carson City.
- The Contractor's or Subcontractor's signature on this permit denotes authority from the Owner to sign on his/her behalf and that the Owner is aware of all requirements of this Permit. Separate permits may be required by other agencies; e.g., Carson City Health Department and/or State agencies such as the Departments of Health, Transportation, or Environmental Protection.
- The Owner, Contractor, or Subcontractor shall call Underground Service Alert 1-800-227-2600 and Engineering at least two (2) working days but not more than 28 calendar days before excavation or demolition is scheduled to commence per NRS 455.110.
- A copy of this permit and an approved set of plans must be on the job site at all times. Failure to comply will cause a delay or cancellation of scheduled inspection(s).**
- Approval of the work under this Permit will be given only after refuse and debris have been removed from the job site and public right-of-way.
- EXPIRATION:** Per CCMC 105.5 if tied to a Building Permit.
The Contractor/Owner is responsible for applying for a new permit.

OCCUPYING A BUILDING BEFORE A CERTIFICATE OF OCCUPANCY IS ISSUED IS A VIOLATION OF THE CARSON CITY MUNICIPAL CODE.

To the fullest extent permitted by law, I, the undersigned, shall indemnify, hold harmless and defend, not excluding the City's right to participate, the City from and against all liabilities, claims, actions, damages, losses, and expenses, including, without limitation, reasonable attorneys' fees and cost, arising out of any alleged negligent or willful acts or omissions of contractors, sub-contractors, its officers, employees, and agents as a result of the issuance of this permit.

Print Name _____ Date 10/14/2019

SIGNATURE: _____ (OWNER)

(CONTRACTOR) _____

ISSUED BY: _____ Receipt No. 67948

CARSON CITY
 108 E. PROCTOR STREET
 CARSON CITY, NEVADA 89701

BUILDING DIVISION
 PHONE (775) 887-2310
 FAX (775) 887-2202

ENGINEERING DIVISION
 PHONE (775) 887-2300
 FAX (775) 887-2283


INSPECTION RECORD

Application Number . . . 18-00001015
 Property Address . . . 1555 KINGS CANYON RD

Owner JOHNSON, DAVID A
 Contractor . . . OWNER

SINGLE FAMILY REMODEL

<u>Inspection</u>	<u>App by</u>	<u>Date</u>	<u>Inspection</u>	<u>App by</u>	<u>Date</u>
INTERIOR ISOLATED PIERS	_____	_____	SUB FLOOR FRAMING	_____	_____
SUB FLOOR GAS PIPING	_____	_____	SUB FLOOR HVAC	_____	_____
SUB FLOOR PLUMBING	_____	_____	INTERIOR SHEAR NAILING	_____	_____
SEISMIC HARDWARE	_____	_____	ROUGH ELECTRIC	_____	_____
ROUGH GAS PIPING	_____	_____	ROUGH HVAC	_____	_____
ROUGH PLUMBING	_____	_____	FRAME	_____	_____
INSULATION	_____	_____	WALL BOARD NAILING	_____	_____
SHOWER PAN LINER	_____	_____	GAS TEST	_____	_____
FINAL ELECTRICAL	_____	_____	FINAL HVAC	_____	_____
GAS TURN-IN	_____	_____	FINAL GAS	_____	_____
FINAL PLUMBING	_____	_____	BLDG. SEWER	_____	_____
FINAL BUILDING	_____	_____	_____	_____	_____
_____	_____	_____	_____	_____	_____

 <p>009-014-18</p>	CARSON CITY COMMUNITY DEVELOPMENT - BUILDING DIVISION 108 E. PROCTOR ST CARSON CITY, NV 89701 (775) 887-2310 FAX (775) 887-2202 PERMIT APPLICATION			Submittal Date: 7-10-18 Permit Number: 18-1015 Application Type/Initials: SFR/LTS Bin Number: U Standard Plan Number:
	Assessor's Parcel # 009-CM-18	Jobsite Street Address: 1555 KINGS CANYON RD	Valuation 65,000	
	Proposed Construction Description: Upgrade & remodel existing house			
	Owner	Owner's Name DAVID A. JOHNSON		Phone Number 775-351-4852
		Mailing Address 1555 KINGS CANYON RD.		Notify of Application Status? yes
City Carson City		State NV	Zip Code 89703	Email Address: davidjohnsont@yahoo.com
Contractor	Contractor's Name		Nevada License #/Limit Amt	
	Mailing Address		Phone Number	
	City	State	Zip Code	
Contact *	Contact Name David Johnson		Title/Company	
	Mailing Address 1555 Kings Canyon Rd		Phone Number 775-351-4852	
	City Carson City	State NV	Zip Code 89703	Email Address davidjohnsont@yahoo.com
Project Information	City Water <input checked="" type="checkbox"/>	City Sewer <input type="checkbox"/> or Septic System <input type="checkbox"/>	Fire Sprinklers Yes <input type="checkbox"/> or No <input type="checkbox"/>	Wildland Urban Interface Yes <input type="checkbox"/> or No <input type="checkbox"/>
	or Well <input type="checkbox"/>	Septic Size	Zoning District	Flood Zone
	I will save, indemnify, and keep harmless CARSON CITY, its officers, employees, and agents against all liabilities, judgments, costs, and expenses which may accrue against them in consequence of the granting of this permit, inspections, or use of any on-site or off-site improvements placed by virtue hereof, and will in all things strictly comply with all applicable rules, ordinances, and laws. Signature constitutes an attestation by the owner that application complies with all covenants, conditions, and restrictions.			
Applicant's Signature			Date:	
Property Owner's Signature			Date: 7/10/18	
OFFICE USE ONLY	BUILDING PERMIT FEES		TRACKING	
	Receipt #: 6052	Plan Check Fee: 120 390.00	Building	Date: 7-10-18
	Received By: 15	Permit Fee:	Engineering	Date:
	Other Fees:	TOTAL FEES DUE: 715	Planning	Date:
	Comments: 67948		Fire	Date:
			Health	Date:
		Environmental	Date:	

* The contact person listed on the permit will be the person addressed on all correspondence and phone calls.

2012 NORTHERN NEVADA AMENDMENTS
 2011 NORTHERN NEVADA AMENDMENTS
 (regarding the International Energy Conservation Code)
 2012 INTERNATIONAL BUILDING CODE
 2012 INTERNATIONAL RESIDENTIAL CODE
 2012 INTERNATIONAL EXISTING BUILDING CODE
 2012 INTERNATIONAL PROPERTY MAINTENANCE CODE
 2012 INTERNATIONAL SWIMMING POOL AND SPA CODE
 2009 INTERNATIONAL ENERGY CONVERSION CODE
 2012 INTERNATIONAL FUEL GAS CODE
 2012 UNIFORM MECHANICAL CODE
 2012 UNIFORM PLUMBING CODE
 2011 ELECTRICAL CODE
 2009 ICC/ANSI A117.1

GENERAL REQUIREMENTS

ADDRESSES
 Address shall be plainly visible and legible from the street or frontage road.
 Address numbers shall be a minimum of (4") inches in height.
 The address numbers shall be of contrasting color to their background.
 Brass or gold numbers shall not be posted.
 (Address numbers on curb are not acceptable.)
 Permanent address numbers shall be provided on the mailbox or on a permanent sign or post adjacent to the driveway entrance of a flag lot.
 Permanent address numbers shall be provided and located in a conspicuous or clearly visible location on the alley or waterway side of the structure.

ELECTRICAL NOTES

ELECTRICAL OUTLETS SHALL BE INSTALLED SO NO POINT ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN SIX FEET (6') FROM AN OUTLET IN THAT SPACE.
 FIXTURES IN CLOTHES CLOSET SHALL BE PERMITTED TO BE INSTALLED AS FOLLOWS (PER 2011 NEC 410.8(g)).
 SURFACE MOUNTED INCANDESCENT FIXTURE INSTALLED ON THE WALL ABOVE THE DOOR OR ON THE CEILING, PROVIDED THAT A MINIMUM CLEARANCE OF 12 INCHES BETWEEN THE FIXTURE AND THE NEAREST POINT OF STORAGE SPACE.
 SURFACE-MOUNTED FLUORESCENT FIXTURES INSTALLED ON THE WALL ABOVE THE DOOR OR ON THE CEILING, PROVIDED THAT A MINIMUM CLEARANCE OF 12 INCHES BETWEEN THE FIXTURE AND THE NEAREST POINT OF STORAGE SPACE.
 RECESSED INCANDESCENT FIXTURES INSTALLED WITH A COMPLETELY ENCLOSED LAMP, INSTALLED IN THE WALL OR THE CEILING, PROVIDED THAT A MINIMUM CLEARANCE OF 6 INCHES BETWEEN THE FIXTURE AND THE NEAREST POINT OF STORAGE SPACE.
 RECESSED FLUORESCENT FIXTURES INSTALLED IN THE WALL OR ON THE CEILING, PROVIDED THERE IS MINIMUM CLEARANCE OF 6 INCHES BETWEEN THE FIXTURE AND THE NEAREST POINT OF STORAGE SPACE. (2011 NEC 410-8 (D).)
 GROUND FAULT CIRCUIT-INTERRUPTER PROTECTION REQUIRED FOR RECEPTACLES INSTALLED IN BATHROOMS AND KITCHENS WHICH SERVICE COUNTERTOPS, GARAGES, AT GRADE LEVEL.
 WITHIN 6' OF KITCHEN SINK, ON CONSTRUCTION POWER POLE, IN CRAWL SPACES AT OR BELOW GRADE LEVEL, AND IN UNFINISHED BASEMENTS, AND WITHIN 6'-0" OF A BAR SINK. PER 2011 NEC.SEC.240.24 (C&D)
 OVER CURRENT DEVICES SHALL NOT BE LOCATED IN THE VICINITY OF EASILY IGNITABLE MATERIAL SUCH AS CLOTHES CLOSETS,PER NEC 2011 NEC. SEC.240.24 (C&D)

KITCHEN:
 PROVIDE A MINIMUM OF 2 (TWO) 20 AMP CIRCUITS FOR THE KITCHEN AREA. PROVIDE RECEPTACLE OUTLETS AT EACH COUNTER SPACE WIDER THAN 12" COUNTER SPACES SEPARATED BY RANGE TOPS, REFRIGERATORS OR SINKS SHALL BE CONSIDERED AS SEPARATE COUNTER TOP SPACES, ISLAND AND PENINSULA COUNTER TOPS 12 INCHES OR WIDER SHALL HAVE AT LEAST ONE RECEPTACLE FOR EACH FOUR FEET (4') OF COUNTER TOP. PER 2011 NEC. 210.52(c)4, 210.52 (c)2.
 KITCHEN RECEPTACLE OUTLETS SHALL BE INSTALLED SO THAT NO POINT ALONG THE COUNTER TOP IS MORE THAN TWENTY-FOUR INCHES (24") FROM A RECEPTACLE OUTLET PER 2011 NEC. RECEPTACLES MOUNTED BELOW THE COUNTERTOP SHALL NOT BE LOCATED WHERE THE COUNTERTOP EXTENDS MORE THAN 6 INCHES (6") BEYOND ITS SUPPORT BASE.
 A MINIMUM OF TWO OR MORE SMALL APPLIANCE BRANCH CIRCUITS SHALL BE PROVIDED IN THE KITCHEN, PANTRY, BREAKFAST ROOM, DINING ROOM, OR SIMILAR AREAS OF A DWELLING UNIT. THE SMALL APPLIANCE BRANCH CIRCUITS SHALL HAVE NO OTHER OUTLETS ON THEM.
 AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH PENINSULAR COUNTER SPACE WITH A LONG DIMENSION OF 24 INCHES (24") OR GRATER AND A SHORT DIMENSION OF 12 INCHES OR GREATER. 2011 NEC 210(c)3.
BEDROOMS:
 ARC-FAULT CIRCUIT INTERRUPTER PROTECTION IS REQUIRED ON ALL OUTLETS IN A DWELLING UNIT BEDROOM. PER 2011 NEC SEC. 210.12 (A&B)
BATHROOMS:
 ARC-FAULT CIRCUIT INTERRUPTER PROTECTION IS REQUIRED ON ALL OUTLETS IN A DWELLING UNIT BATHROOM. PER 2011 NEC SEC. 210.12 (A & B).

ONE WALL RECEPTACLE OUTLET MINIMUM SHALL BE INSTALLED ADJACENT TO THE SINK. ALL OTHERS TO BE PROTECTED BY GROUND FAULT INTERRUPTERS PER 2011 NEC. 210.8(B).
 NO PARTS OF CORO-CONNECTED FIXTURES, HANGING FIXTURES, LIGHTING TRACT PENDANTS, OR CEILING-SUSPENDED (PADDLE) FANS SHALL BE LOCATED WITHIN A ZONE MEASURED 3' IF MEASURED HORIZONTALLY AND 8' IF VERTICALLY FROM THE TOP OF THE BATHTUB RIM OR SHOWER STALL THRESHOLD. THIS ZONE IS ALL ENCOMPASSING AND INCLUDES THE ZONE DIRECTLY OVER TUB OR SHOWER STALL PER 2011 NEC.
OUTDOOR AND GARAGE OUTLETS:
 RECEPTACLES SHALL BE INSTALLED AT THE FRONT AND BACK OF THE RECEPTACLES OUTLETS TO BE ACCESSIBLE AT GRADE LEVEL AND NOT MORE THAN 68" ABOVE GRADE.
 (ONE) OUTLET MINIMUM SHALL BE LOCATED IN AN ATTACHED GARAGE. ALL OTHER OUTLETS LOCATED OUTDOORS OR IN A GARAGE SHALL BE PROTECTED BY GROUND FAULT INTERRUPTERS. EXCEPTION: GARAGE DOOR OPENER AND OTHER OUTLETS IN A DEDICATED SPACE (I.E. FURNACE)
LIGHTING:
 1 (ONE) WALL SWITCH-CONTROLLED LIGHTING OUTLET MINIMUM SHALL BE INSTALLED IN EVERY HABITABLE ROOM, HALLWAY, STAIRWAY, ATTACHED GARAGE AND BASEMENT. EXCEPTION: IN HABITABLE ROOMS OTHER THAN KITCHEN AND BASEMENT, ONE OR MORE RECEPTACLES CONTROLLED BY A WALL SWITCH SHALL BE PERMITTED IN LIEU OF A LIGHTING FIXTURE.
HEATING OUTLETS:
 PROVIDE 1 (ONE) 20 AMP CIRCUIT FOR THE HEATING APPLIANCE. THE CIRCUIT SHALL HAVE NO OTHER OUTLETS. CONSULT HEATING EQUIPMENT NAME PLATE RATING AND WIRE ACCORDING.
SMOKE DETECTORS:
 SMOKE DETECTORS SHALL BE INSTALLED IN DWELLING UNITS WITH MORE THAN ONE STORY AND DWELLINGS WITH BASEMENTS, ON EACH STORY AND IN THE BASEMENT, WHEN SLEEPING ROOMS ARE ON THE UPPER LEVEL, THE DETECTORS SHALL BE PLACED AT THE CEILING OF THE UPPER LEVEL IN CLOSE PROXIMITY OF THE STAIRWAY. PER 2012 IRC. SEC. 313.1
 SMOKE DETECTORS IN NEW CONSTRUCTION SHALL BE HARD WIRED WITH A BATTERY BACKUP. THEY SHALL BE LOCATED IN THE FOLLOWING LOCATIONS: IN EACH SLEEPING ROOM,CENTRAL LOCATION IN A CORRIDOR OR ACCESS AREAS TO SLEEPING AREAS AS WELL AS ROOMS OPEN TO THE HALLWAY SERVING THE BEDROOMS WHEN THE CEILING HEIGHT EXCEEDS THAT OF THE HALLWAY BY TWENTY-FOUR (24") OR MORE. PER 2012 IRC R313.2

OCCUPANCY SEPARATION

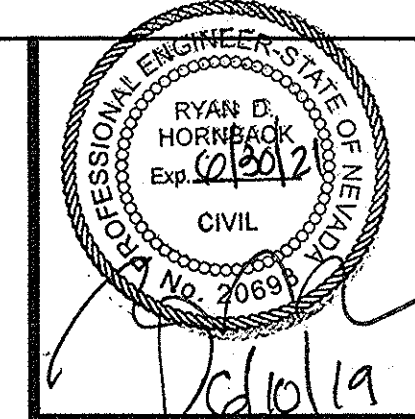
OCCUPANCY SEPARATION BETWEEN RESIDENCE AND GARAGE TO BE 5/8" TYPE X SHEET ROCK GARAGE/HOUSE WALLS TO ROOF DECK OR WALLS SUPPORTING ROOF AND CEILING GARAGE COMMON WITH HOUSE PER CARSON CITY CODE.
DRYWALL
 1. All interior wall shall be 1/2" drywall. (Unless noted otherwise.)
 All ceilings shall be 5/8" drywall if framing is at 24" o.c.
 2. All finish shall be a medium spray or as selected by owner.
 3. 5/8" type "X" Fire Rated gypsum wall board from floor to roof between house and garage. (on garage side.)
 OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SELF CLOSING SOLID WOOD DOOR NOT LESS THAN 1 3/8" THICKNESS,SELF CLOSING SOLID OR HONEYCOMB CORE STEEL DOORS NOT THINER THAN 1 3/4" THICK OR SELF CLOSING 20 MINUTE FIRE RATE DOOR PER CARSON CITY CODE.

PURPOSE OF PROJECT IS TO
 UPGRADE AND REMODEL
 EXISTING HOUSE

This is to certify that Ryan D. Hornback, whose professional engineer's seal appears on this document, assumes responsibility for the validity of only the STRUCTURAL ELEMENTS SHOWN HEREON and NOT for any architectural, site-planning, civil, mechanical, electrical, soils engineering or any other engineering or design aspect of the work.

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S-2	EXISTING ELEVATIONS
S-3	PROPOSED FOUNDATION, FLOOR JST, ROOF
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S-5	PROPOSED ELEVATIONS
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S-7	PROPOSED STRUCTURAL DETAILS
S-8	PROPOSED CROSS SECTIONS
S-9	PROPOSED STRUCTURAL DETAILS



RYAN HORNBACK, P.E.
 5710 DIJON CIR., RENO, NEVADA 89511
 775.690.5490 eyanhornback.pe@gmail.com

SCALE AS SHOWN

DRAWN BY: DAVID JOHNSON
 DATE: 5-15-2019

PARCEL # 009-04-18
 LOT 44,203 SQ.FT.

PHONE 775-351-4852

OWNER DAVID JOHNSON

PROJECT ADDRESS: 1555 KINGS CANYON RD
 CARSON CITY, NV. 89703

GENERAL REQUIREMENTS

THE OWNER SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AT PROJECT SITE BEFORE EXECUTING ANY WORK. HE SHALL NOTIFY THE EMPLOYEES OF ALL DISCREPANCIES BEFORE PROCEEDING.
 THE OWNER SHALL ALSO ARRANGE & PAY FOR ALL INSPECTIONS & EXAMINATIONS REQUIRED BY THOSE AUTHORITIES
 ALL WORK AND MATERIALS ARE TO COMPLY IN EVERY RESPECT WITH THE LATEST REQUIREMENTS OF ALL APPLICABLE CITY, COUNTY & STATE CODES, LOCAL REGULATIONS, AND THE DIRECTION OF THE BUILDING INSPECTOR FOR SUCH BUILDING LAWS, REGULATIONS AND DIRECTIONS ARE TO BE CONSIDERED AS PART OF THESE SPECIFICATIONS AND PLANS, EXCEPT WHERE EXCEEDED HEREIN.
 THE STRUCTURAL PLANS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL, GRADING, MECHANICAL, PLUMBING, AND ELECTRICAL PLANS.
 NUMERICAL DIMENSIONS SHALL TAKE PRIORITY OVER SCALED DIMENSIONS. THE STRUCTURE IS DESIGNED AS A STABLE UNIT AFTER ALL COMPONENTS ARE IN PLACE. THEREFORE, THE OWNER SHALL PROVIDE ALL SHORING AND BRACING NECESSARY TO INSURE THE STABILITY OF ANY ALL PARTS OF THE BUILDING DURING CONSTRUCTION.
 ALL HARDWARE SHALL BE INSTALLED AND IN PLACE PRIOR TO ANY GOVERNMENT AGENCY INSPECTION.
 FASTENERS IN PRESSURE-PRESERVATIVE AND FIRE RETARDANT-TREATED WOOD SHALL BE OF HOT-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER. THE COATING WEIGHT FOR ZINC COATED FASTENERS SHALL BE IN ACCORDANCE WITH ASTM A 153.

LUMBER/FRAMING

FRAMING LUMBER SHALL BE GRADE MARKED. ALL 2x MEMBERS TO BE DOUGLAS FIR LARCH No. 2 OR BETTER. ALL 4x MEMBERS & LARGER TO BE DOUGLAS FIR LARCH No. 1 OR BETTER. MOISTURE CONTENT SHALL NOT EXCEED 19%.
 ALL FOUNDATION PLATES OR SILLS AND SLEEPERS ON A CONCRETE OR MASONRY SLAB, WHICH IS IN DIRECT CONTACT WITH EARTH, SILLS WHICH SUBFLOOR: 5/8" T&G UNDERLAYMENT PLYWOOD
 LOCATED NEARER THAN 6 INCHES TO EARTH SHALL BE PRESSURE-TREATED DOUGLAS FIR. MUJ SILL SHALL BE 2x4 MINIMUM OR SAME WIDTH AS STUD
 FINISH LUMBER #1 DOUGLAS FIR OR SPRUCE, AS SELECTED BY OWNER.
 ALL FINISH LUMBER SHALL BE DRESSED FREE OF TOOL MARKS AND OTHER OBJECTIONABLE DEFECTS. GRADE SHALL BE SUITABLE FOR ITS INTENDED USE.
 JOISTS AND RAFTERS SHALL HAVE A BEARING MINIMUM OF 1-1/2" OR SHALL BE SEATED IN "SIMPSON" HANGERS. INSTALL DOUBLE JOISTS UNDER PARALLEL PARTITIONS UNLESS OTHERWISE NOTED.
 BLOCKING: MAXIMUM SPACING AS INDICATED ON THE DRAWINGS. SOLID BLOCKING, USING 2 X MEMBERS WITH THE SAME DEPTH AS THE JOIST OR RAFTER, INSTALLED TO PERMIT TOE NAILING OR END NAILING. SOLID BLOCKING SHALL BE TIGHTLY FITTED BETWEEN JOISTS OR RAFTERS. INSTALL 2 X SOLID BLOCKING UNDER PARTITIONS PERPENDICULAR TO JOISTS.

NAILS, BOLTS, SCREWS: NAILING SHALL BE AS INDICATED ON PLANS AND COMPLETELY TO CODES HAVING JURISDICTION. BOLTS SHALL HAVE STANDARD CUT WASHERS UNLESS OTHERWISE NOTED AND UNLESS USED WITH STEEL PLATES OR ANGLES. HOLES FOR BOLTS SHALL NOT BE MORE THAN 1/16" LARGER THAN BOLT DIAMETER (EXCEPT AS NOTED OTHERWISE). LAG SCREWS SHALL BE TURNED, NOT DRIVEN, INTO PRE-DRILLED HOLES 2/3 OF THE SHANK DIAMETER.
 ALL PLYWOOD OR OSB SHEATHING SHALL BE APA RATED 24/16 JOIST-RATED U.N.O.

- A. JOIST HANGERS SHALL BE "SIMPSON" UNLESS OTHERWISE NOTED OR AN APPROVED EQUAL.**
B. JOIST HANGERS FOR 2X FRAMING MEMBERS SHALL BE "SIMPSON" TYPE "U" OR EQUAL UNLESS OTHERWISE NOTED. NAILS TO BE SIMPSON N20A TYPE.
BOLTS IN WOOD FRAMING

- A. ALL BOLTS IN WOOD FRAMING SHALL BE STANDARD MACHINE BOLTS WITH THE DIAMETER OF BOLT.**
B. EACH BOLT HOLE IN WOOD SHALL BE DRILLED NOT LARGER THAN 1/16" STANDARD PLATED WASHERS.
C. ALL BOLTS SHALL BE TIGHTENED PRIOR TO THE APPLICATION OF SHEATHING, PLASTER, ETC.

CUTTING OF BEAMS, JOISTS AND RAFTERS

- A. CUTTING OF JOISTS AND RAFTERS SHALL BE LIMITED TO NOTCHES AND BORED HOLES NOT DEEPER THAN ONE-SIXTH THE DEPTH OF MEMBER AND SHALL NOT BE LOCATED IN THE MIDDLE THIRD OF THE SPAN. NOTCHES LOCATED AT ENDS OF THE MEMBER SHALL NOT EXCEED ONE-FOURTH THE MEMBER DEPTH. HOLES MAY BE BORED IN JOIST BUT SHALL NOT BE WITHIN TWO INCHES OF THE EDGE OF THE JOIST, AND THE DIAMETER OF SUCH HOLES SHALL NOT EXCEED ONE-THIRD THE DEPTH OF THE MEMBER UNLESS SPECIFICALLY APPROVED BY ENGINEER, 4X OR LARGER MEMBERS SHALL NOT BE NOTCHED EXCEPT AT ENDS OF MEMBER.**
B. STRUCTURAL MEMBERS SHALL NOT BE CUT FOR PIPES, ETC.
C. ALL FOUNDATION PLATES OR SILL SHALL BE TREATED WOOD OR FOUNDATION REDWOOD. 2012 IRC SEC. R318,R319

DRYWALL

1. All interior wall shall be 1/2" drywall. (Unless noted otherwise.)
 All ceilings shall be 5/8" drywall if framing is at 24" o.c.
 2. All finish shall be a medium spray or as selected by owner.
 3. 5/8" type "X" Fire Rated gypsum wall board from floor to roof between house and garage. (on garage side.)

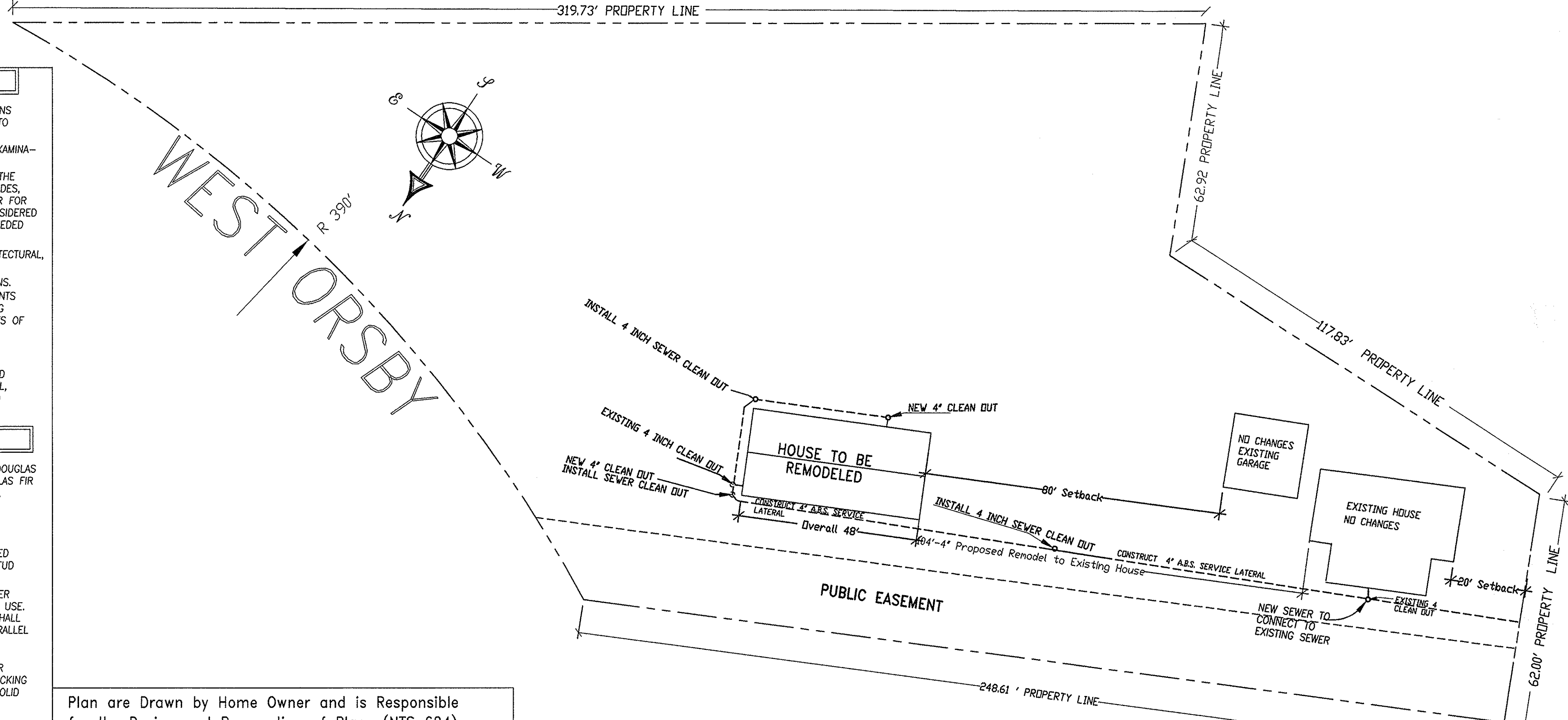
Plan are Drawn by Home Owner and is Responsible for the Design and Preparation of Plans (NTS 624)
 E-MAIL davidjohnsonpt@yahoo.com

PLUMBING

HORIZONTAL GRAVITY SANITARY DRAINAGE PIPE SHALL BE PROVIDED WITH A CLEAN OUT NOT MORE THAN 100 FEET (100') APART. UNDERGROUND CLEAN OUTS SHALL EXTEND VERITABLE TO OR ABOVE FINISH GRADE. ADDITIONAL CLEAN OUTS SHALL BE INSTALLED WITH EACH CHANGE OF DIRECTION MORE THAN 45 DEGREES IN THE BUILDING SEWER WHERE MORE THAN ONE CHANGE IN DIRECTION OCCURS IN A RUN OF PIPING, ONLY ONE CLEAN OUT SHALL BE REQUIRED IN EACH 40 FEET (40').
 MAXIMUM STATIC WATER PRESSURE SHALL BE 60 PSI. WHERE STATIC WATER EXCEEDS 65 PSI, AN APPROVED PRESSURE REDUCING VALVE CONFORMING TO ASSE 1003 PROCEEDED BY AN ADEQUATE STRAINER SHALL BE INSTALLED AND THE PRESSURE

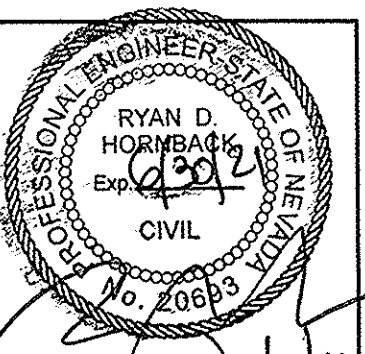
WATER HEATING: RINNAI AURORIN 9.8 MAX GPA OR EQUAL
 LOCATION PER PLUMBING CONTRACTOR
 HEATING AND COOLING EQUIPMENT LOCATED IN GARAGE AND WHICH GENERATES A GLOW SPARK OR FLAME CAPABLE OF IGNITING FLAMMABLE VAPORS SHALL BE INSTALLED WITH SOURCE OF IGNITION AT LEAST 18 INCHES ABOVE THE FLOOR LEVEL. PER 2012 IRC SEC. M30703
 ALL PIPING SERVING PART OF A HOT WATER SYSTEM INSTALLED IN AN UNCONDITIONED AREA SHALL BE PROTECTED WITH A MINIMUM OR R-2 INSULATION. INSULATION SHALL BE INSTALLED CONTINUOUSLY FROM WITHIN 2 FEET OF THE WATER HEATER TO WITHIN

RESTRICTED OPENING FRAMING MEMBER IS ALLOWED PER CURRENT CODE.
 ALL BATHTUBS AND WHIRLPOOL BATHTUBS SHALL COMPLY WITH THE FOLLOWING.
 PUMP ACCESS LOCATED IN A CRAWL SPACE SHALL BE LOCATED NO MORE THAN TWENTY FEET (20') FROM THE ASSESS DOOR, TRAPDOOR, OR CRAWL HOLE.
 2. THE CIRCULATION PUMP SHALL BE LOCATED ABOVE THE CRAWL WEIR OF THE TRAP.
 3. THE CIRCULATION PIPING SHALL BE SELF DRAINING TO MINIMIZE WATER RETENTION ACCORDANCE WITH STANDARD REFERENCED IN TABLE 14-1.
 4. SUCTION FITTINGS IN THE WHIRLPOOL BATHTUBS SHALL COMPLY WITH THE LISTED STANDARDS.
 SHOWERS AND TUB-SHOWER COMBINATION IN ALL BUILDINGS SHALL BE PROVIDED WITH AN INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE THAT PROVIDE SCALE AND THERMAL SHOCK PROTECTION PER 2012 UPC 418.0
 GAS PIPE SIZING PER 2012 IRC CHAPTER 24 AND CONFERENCE WITH LOCAL GAS SUPPLIER.
 EXTERIOR HOSE BIBS SHALL BE FREEZE PROOF TYPE AND HAVE BACK FLOW PREVENTER ATTACHED PER P2902.4.3
 LAWN SPRINKLERS AND IRRIGATION SYSTEMS SHALL INCLUDE AN APPROVED VACUUM PREVENTER PER 2012 IRC 2902.5.3



SITE PLAN
 SCALE 1" = 20'-0"

CARSON CITY BUILDING DIVISION
 "REVIEWED FOR CODE COMPLIANCE"
 06/13/2019 densminger



This is to certify that Ryan D. Hornback, whose professional engineer's seal appears on this document, assumes responsibility for the validity of only the STRUCTURAL ELEMENTS SHOWN HEREON and NOT for any architectural, site-planning, civil, mechanical, electrical, soils engineering or any other engineering or design aspect of the work.

RYAN HORNBACK, P.E.
5710 DUDON CIR.,
775.690.5490 eyahornback.pe@gmail.com

EXISTING FOUNDATION
EXISTING FLOOR PLAN
EXISTING ROOF PLAN

SCALE
AS SHOWN

DRAWN BY :
DAVID JOHNSON
DATE
5-15-2019

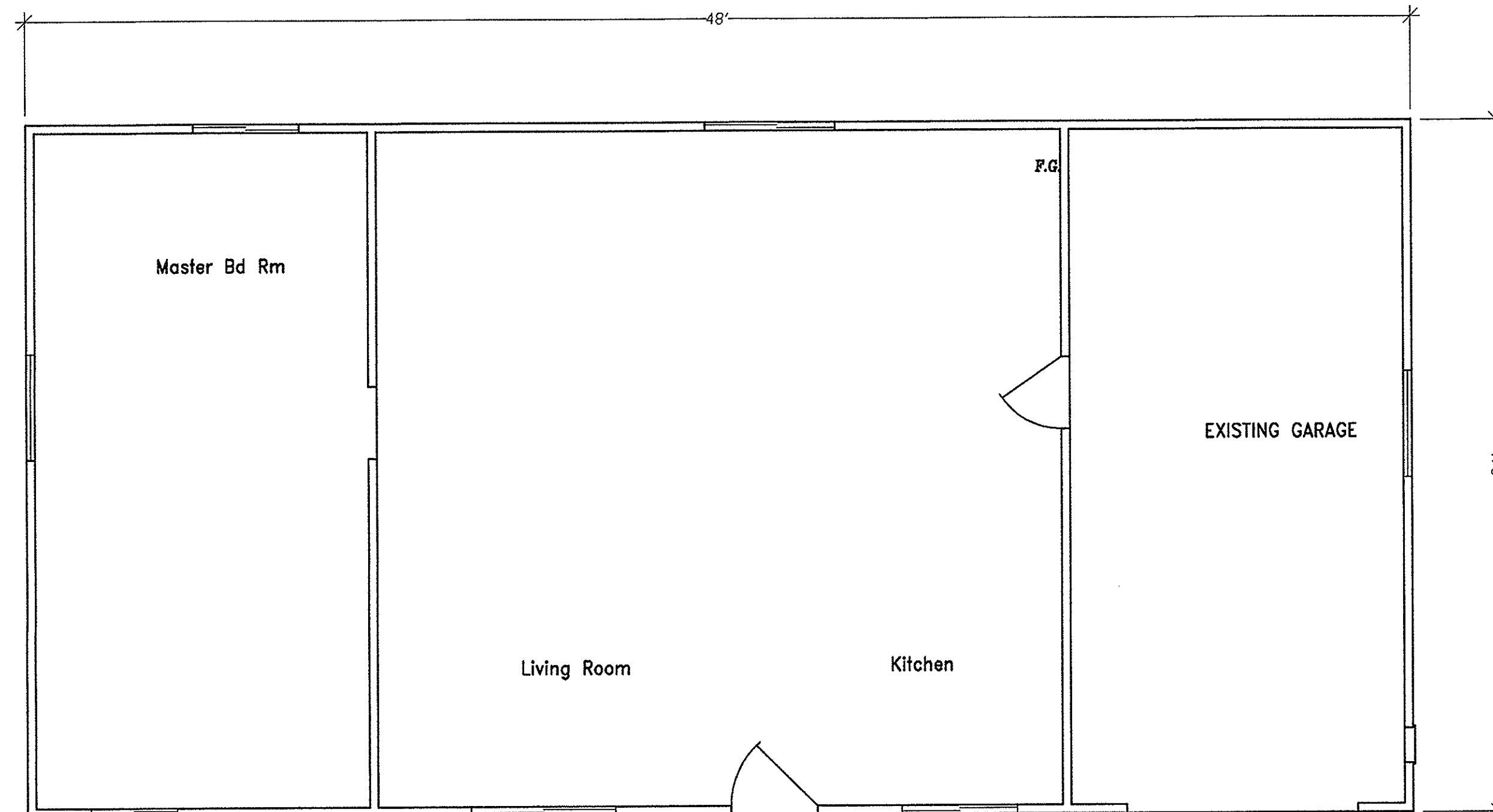
PARCEL # 009-04-18

LOT 44,203 SQ.FT.

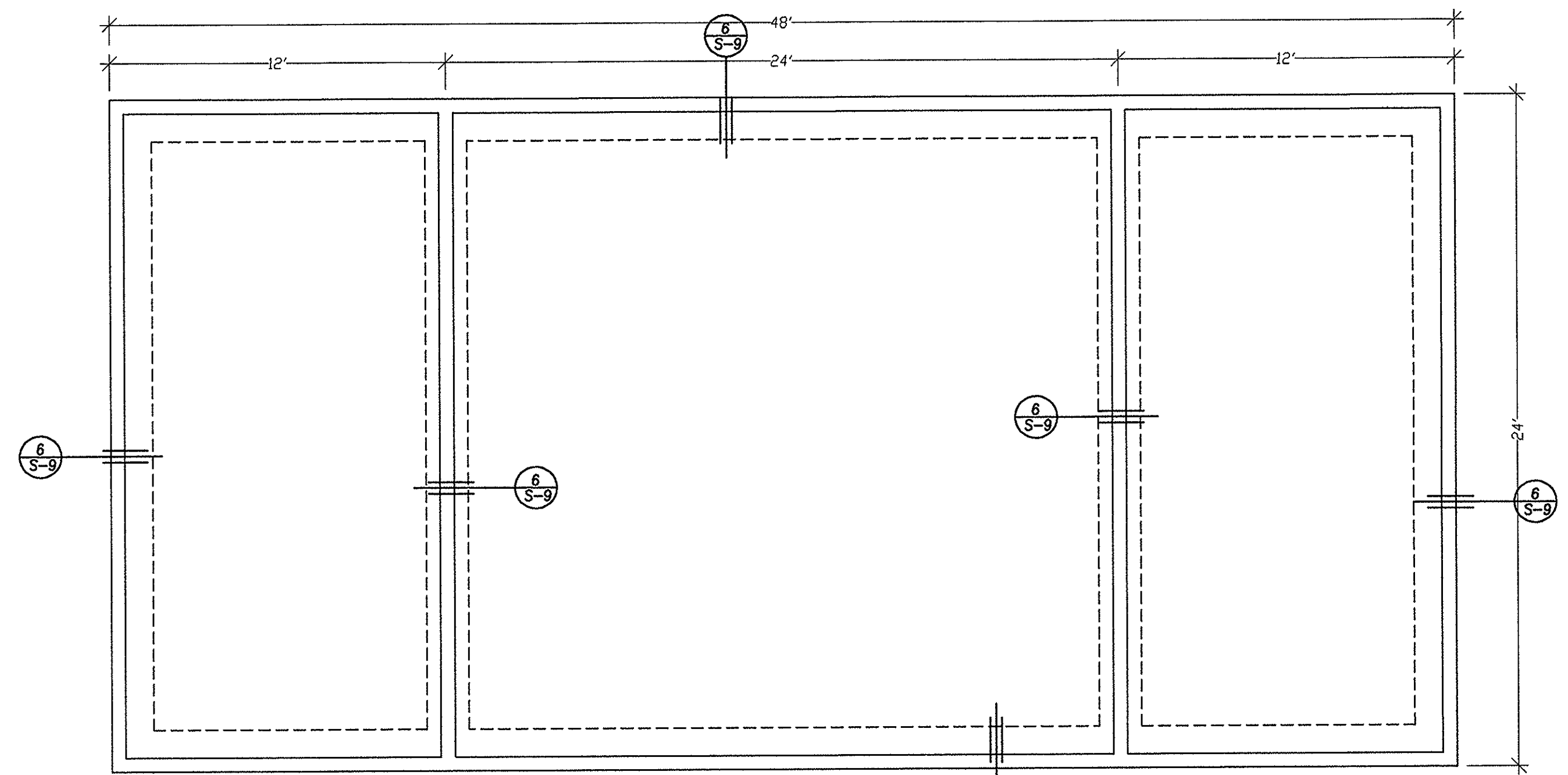
PHONE
775-351-4852

OWNER
DAVID JOHNSON

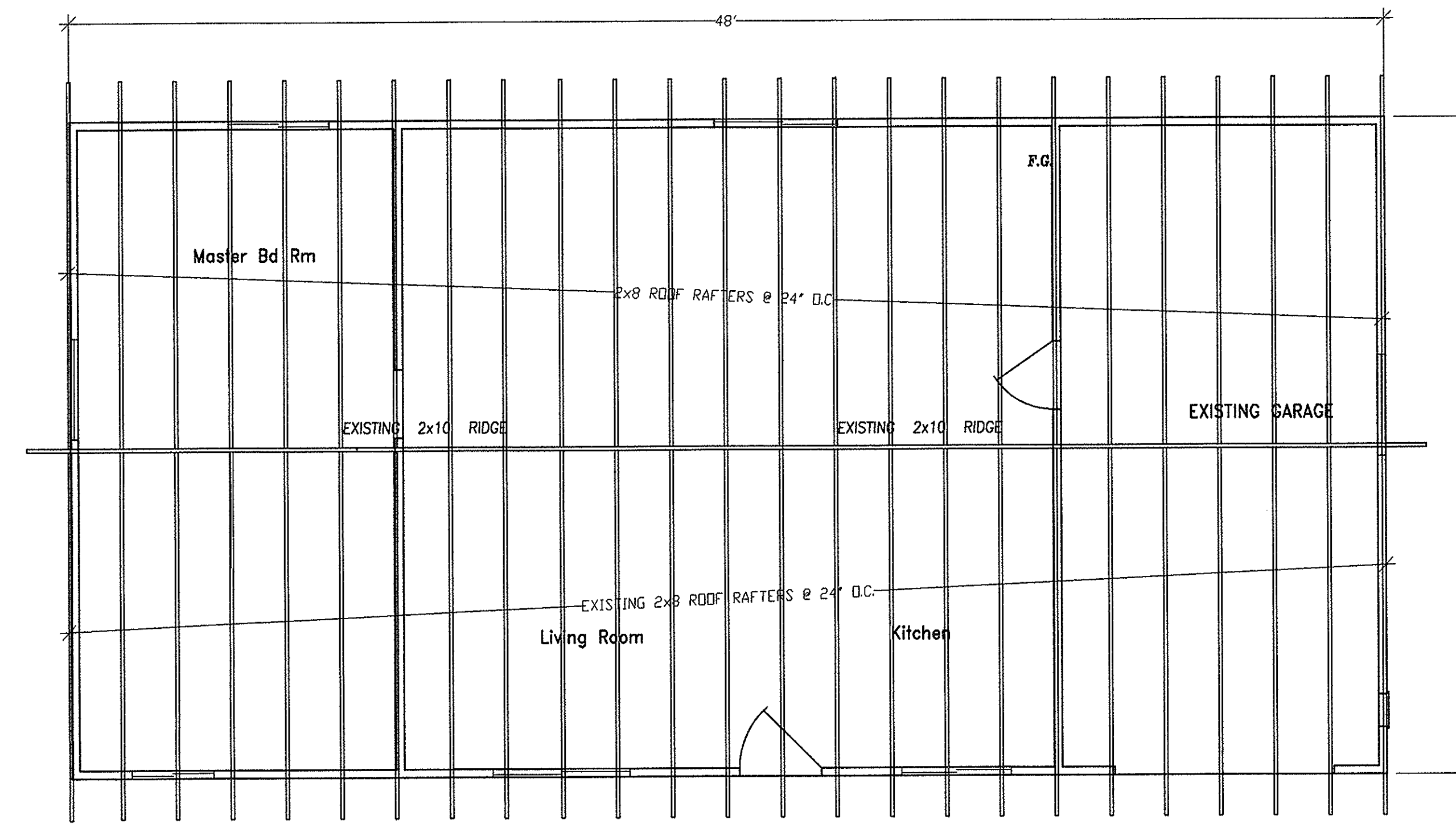
PROJECT ADDRESS:
1555 KINGS CANYON RD
CARSON CITY, NV. 89703



EXISTING FLOOR PLAN
SCALE 1/4" = 1'-0"



EXISTING FOUNDATION PLAN
SCALE 1/4" = 1'-0"

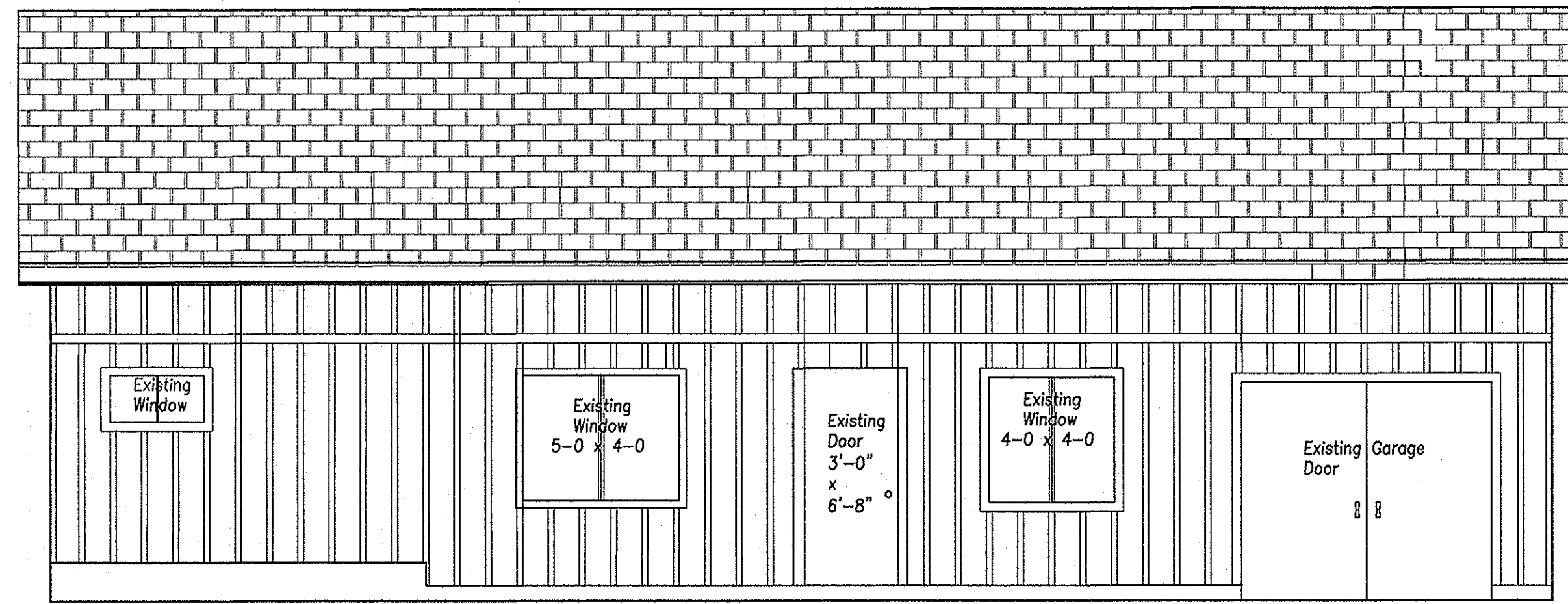


EXISTING ROOF PLAN
SCALE 1/4" = 1'-0"

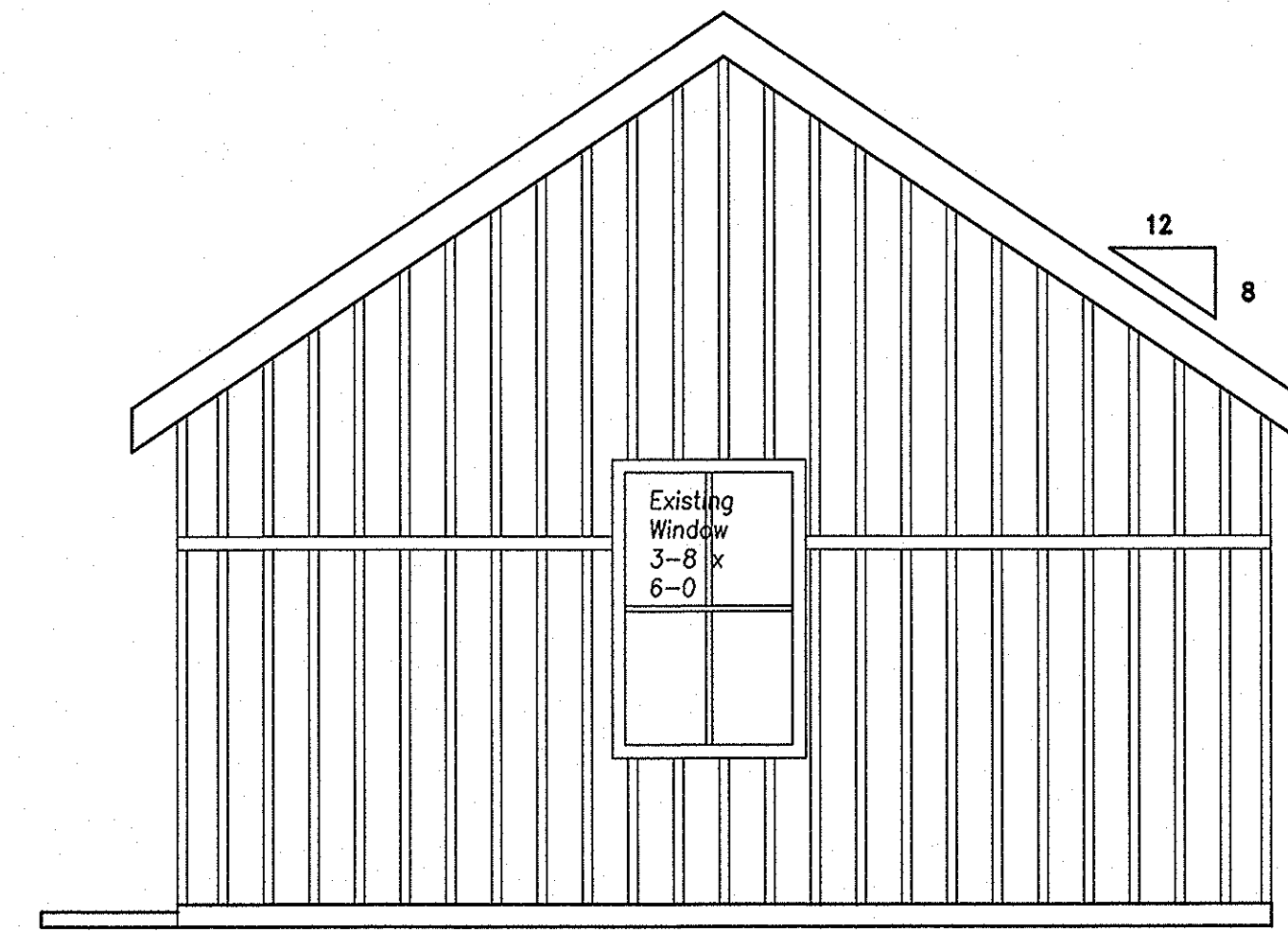
CARSON CITY BUILDING DIVISION
"REVIEWED FOR CODE COMPLIANCE"
06/13/2019 densminger

NOTE:
ALL BATTS TO BE REMOVED
TO ALLOW FOR EXTERIOR
SHEARWALL NAILING PER
NAILING SCHEDULE.

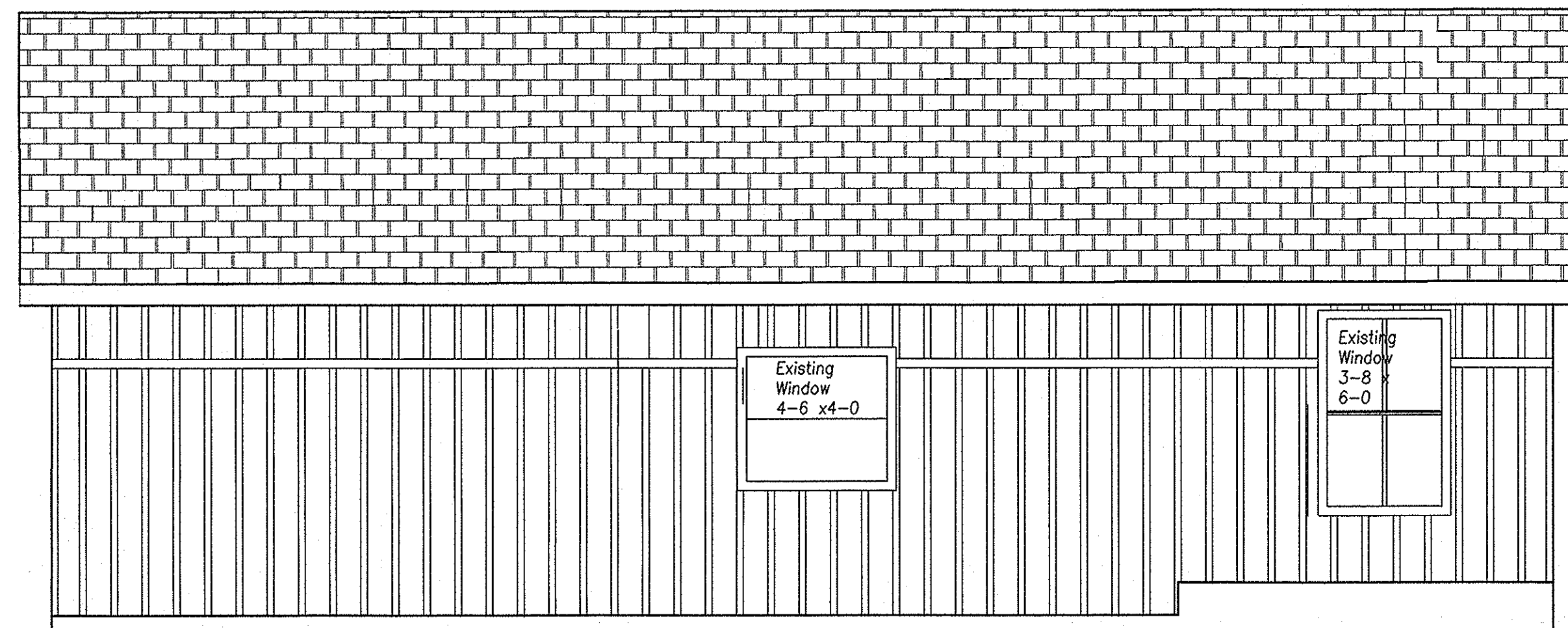
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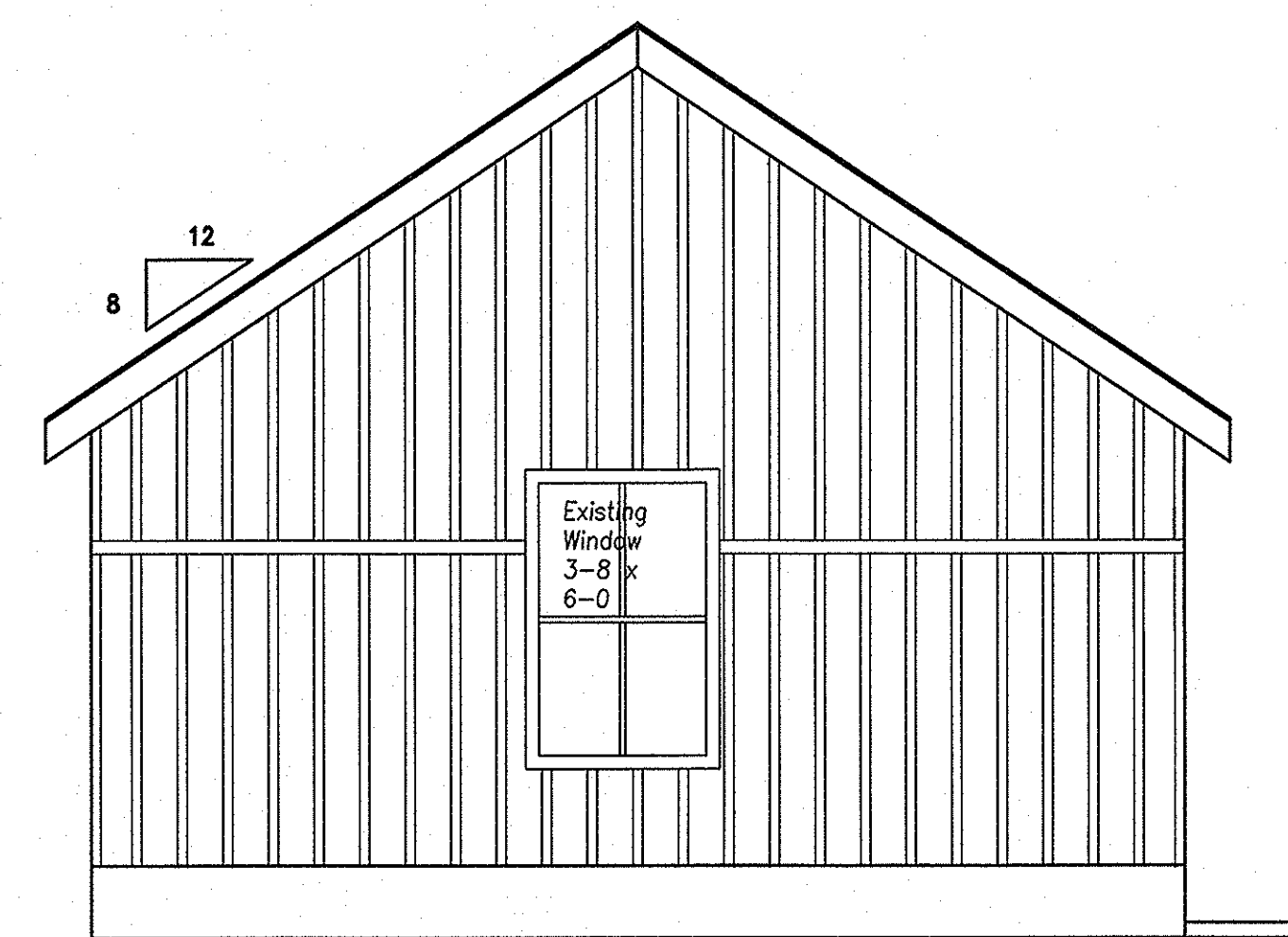
EXISTING NORTH ELEVATION (FRONT)
SCALE 1/4" = 1'-0"



EXISTING WEST ELEVATION (RIGHT)
SCALE 1/4" = 1'-0"



EXISTING SOUTH ELEVATION (REAR)
SCALE 1/4" = 1'-0"



EXISTING EAST ELEVATION (LEFT)
SCALE 1/4" = 1'-0"

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EXISTING ELEVATIONS

SCALE AS SHOWN

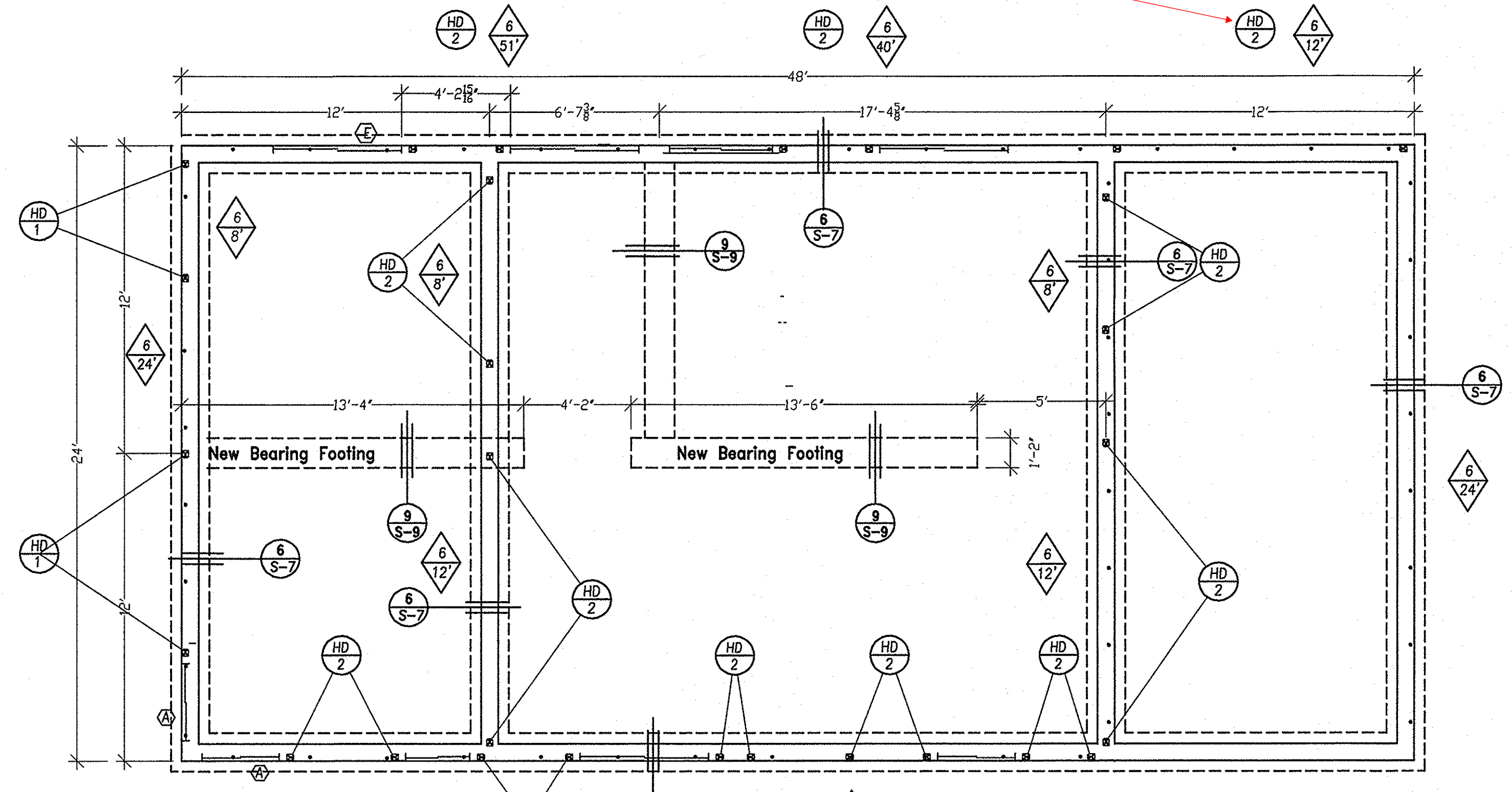
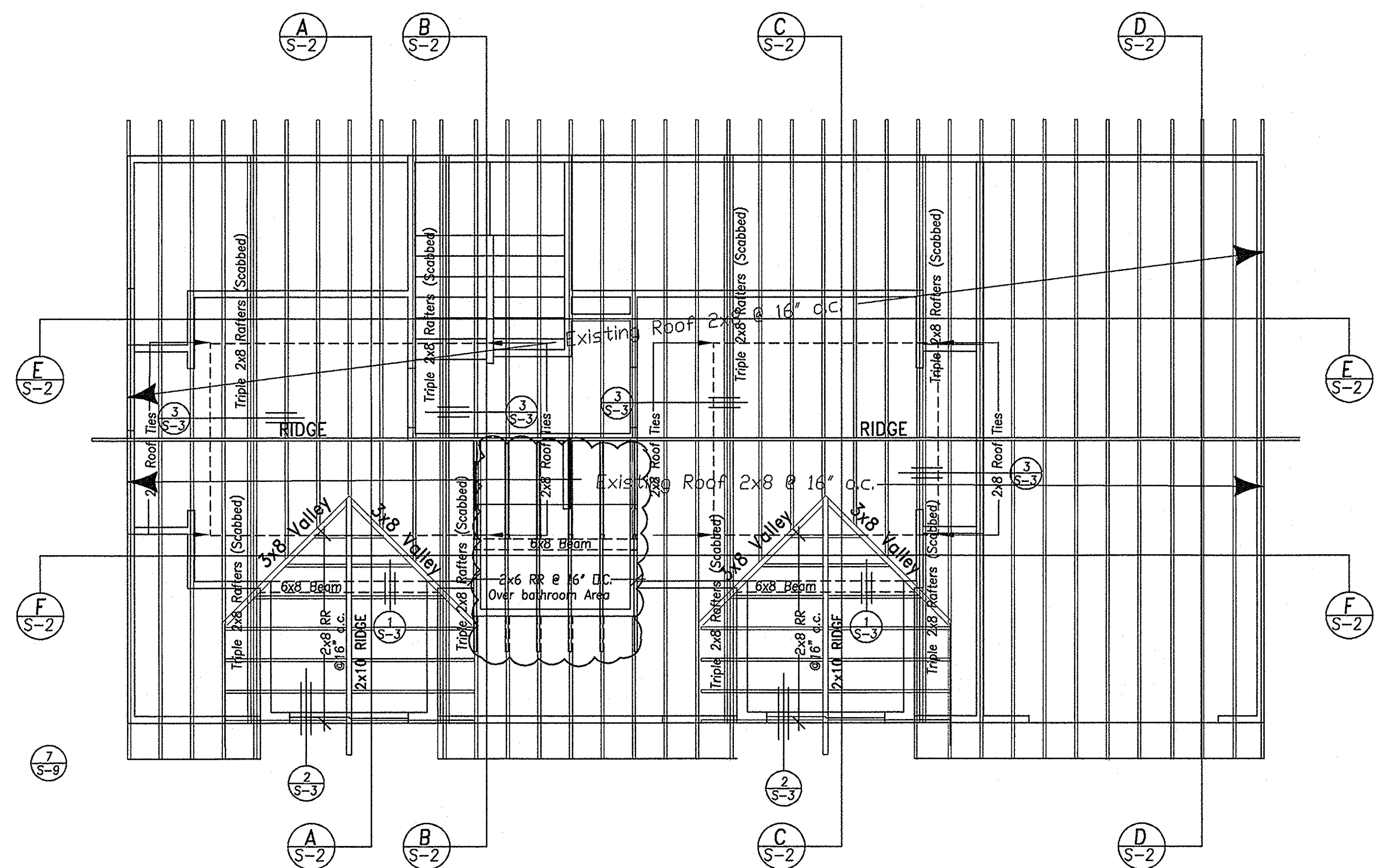
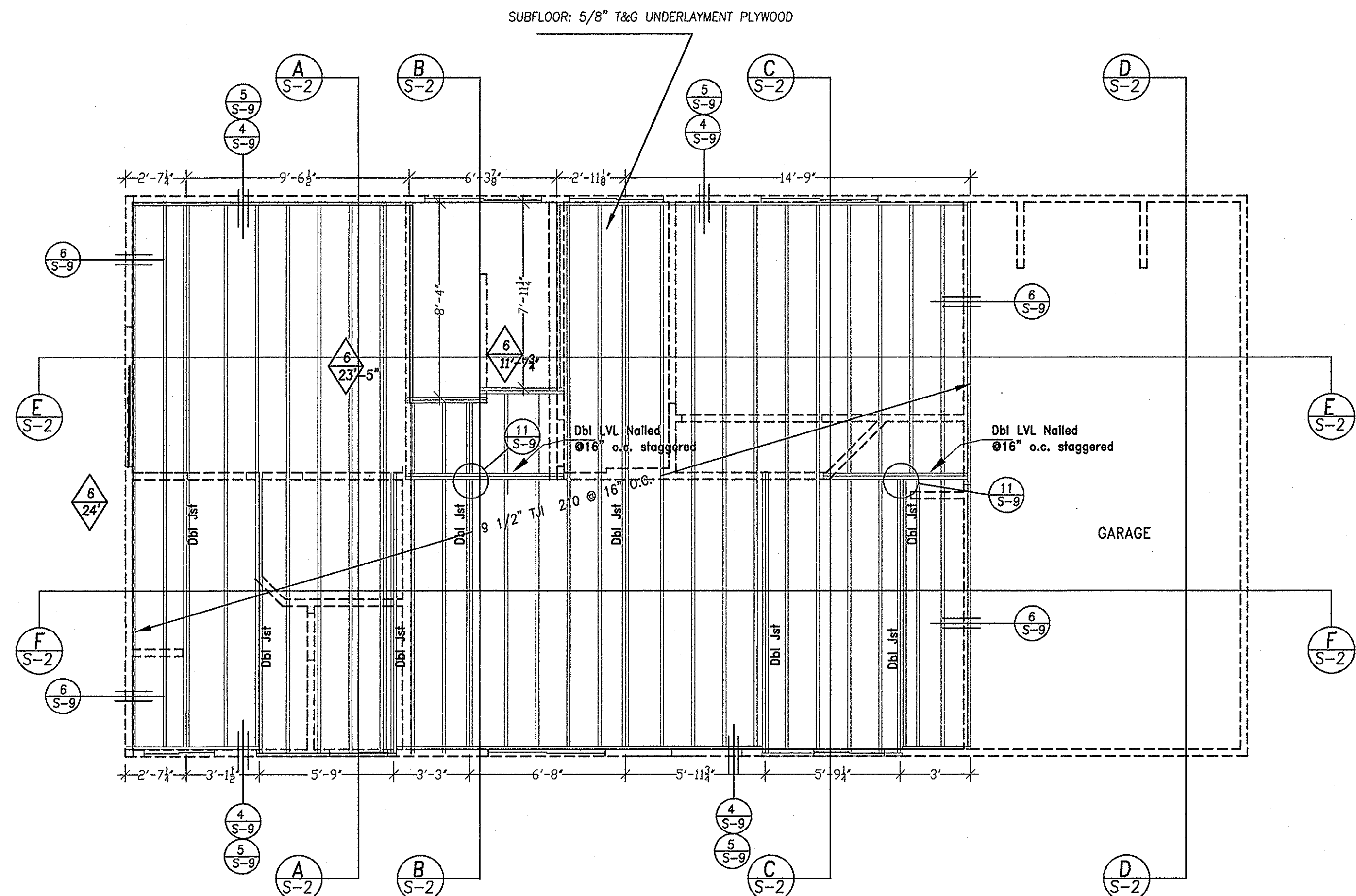
DRAWN BY: DAVID JOHNSON
DATE: 5-15-2019

PARCEL # 009-04-18
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PHONE 775-351-4852

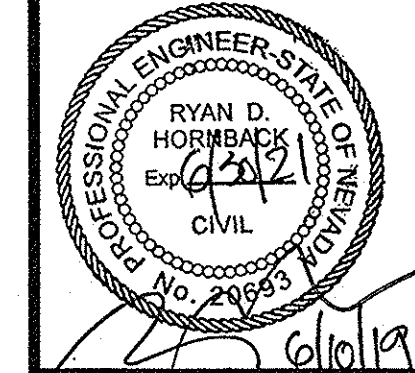
OWNER DAVID JOHNSON

PROJECT ADDRESS:
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SEE S6 (SOUTH ELEV) FOR HD LOCATIONS

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PROPOSED FOUNDATION
FLOOR JST, ROOF

SCALE AS SHOWN

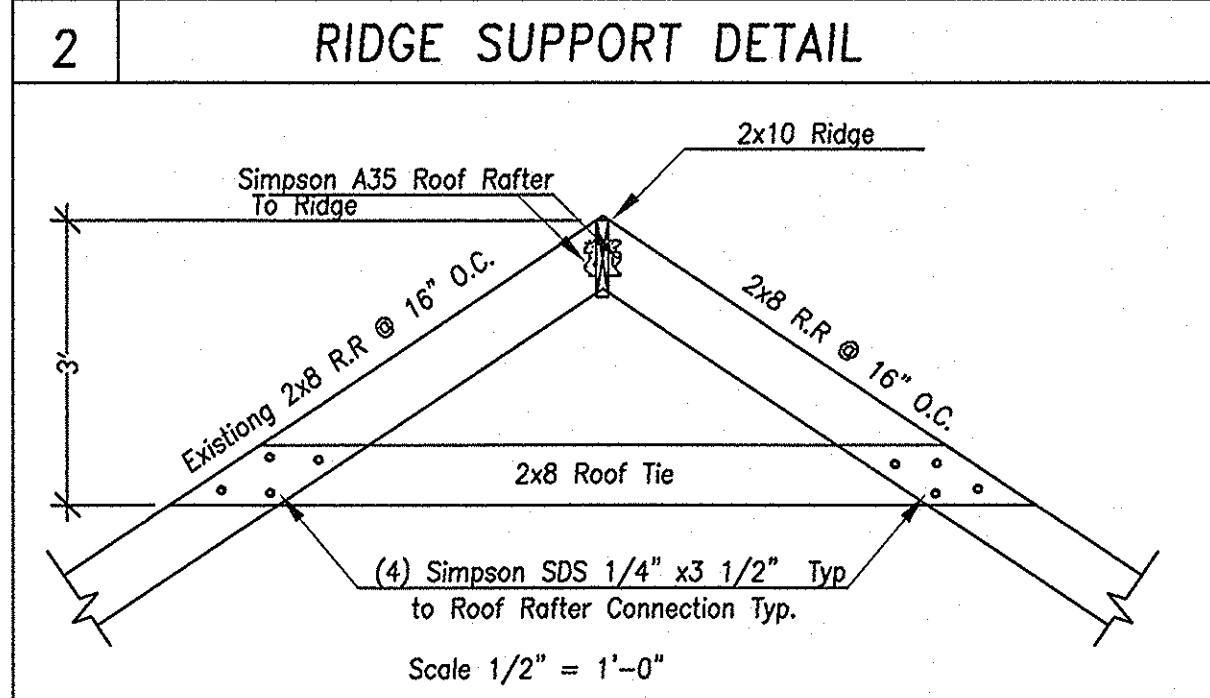
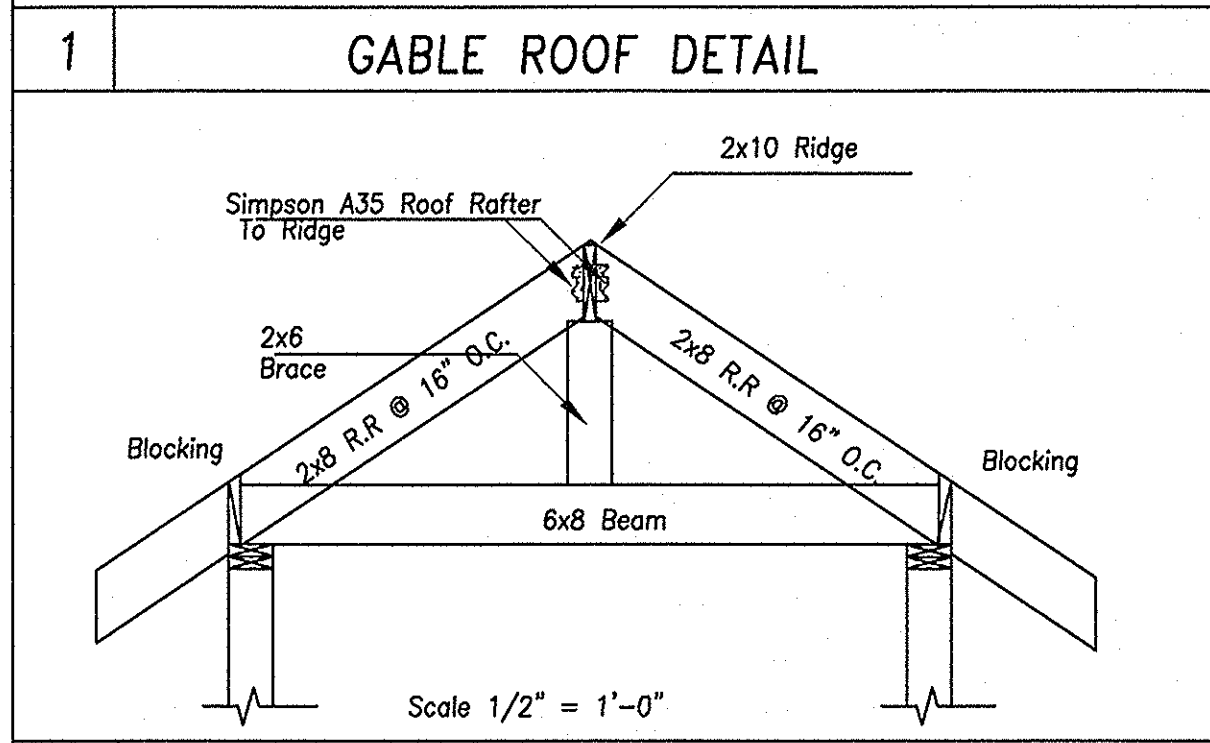
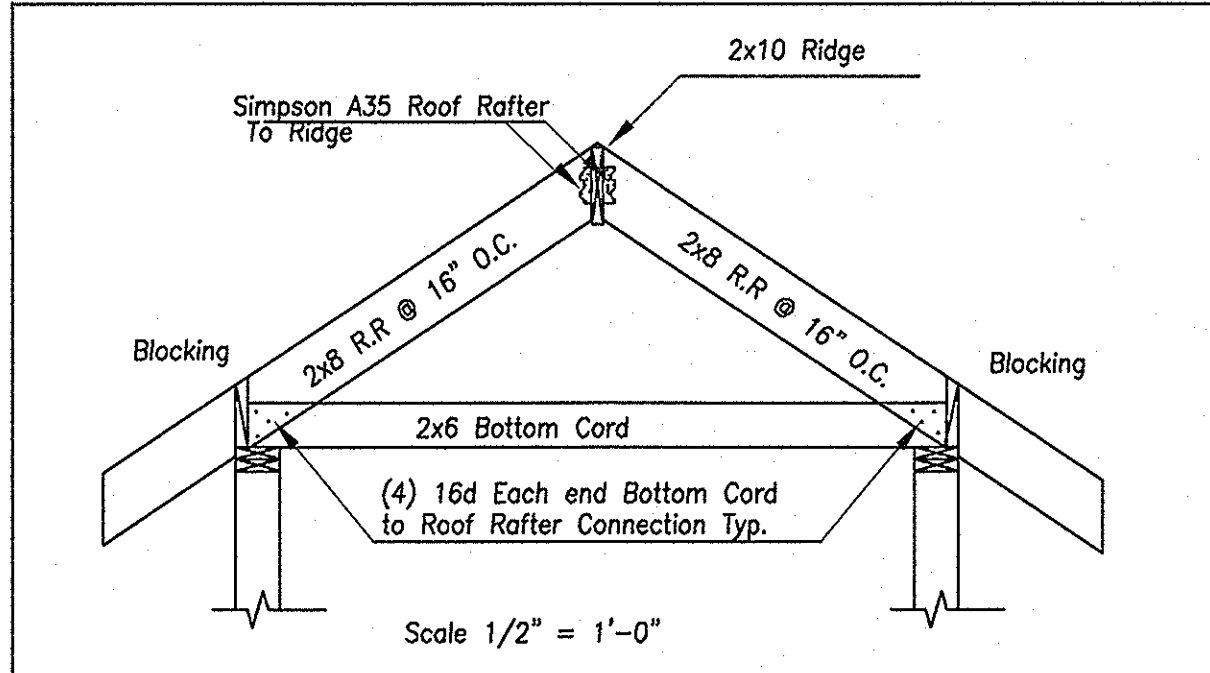
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SHEARWALL SCHEDULE

SHEATHING AND NAILING

S/W TYPES	SHEATHING THICKNESS	NAIL SIZE	NAIL SPACING	FIELD NAILING
6 L	19/32	10d	6" O.C.	12" O.C.

L = Length of Shearwall

NOTE:
ALL WALL, SILL, PLATES, TO RECEIVE 5/8" DIA. x 6" J BOLT @ 48" O.C. WITH 2"x2" 3/8" PLATE WASHERS TYP. (FOR EXISTING CONCRETE FOOTINGS, EPOXY 5/8" DIA. THREADED ROD WITH 6" MINIMUM EMBEDMENT PER MANUFACTURERS RECOMMENDATIONS)

ROOF SHEATHING SCHEDULE

1/2" THICK 10d 6" O.C. EDGE 12" O.C. FIELD.

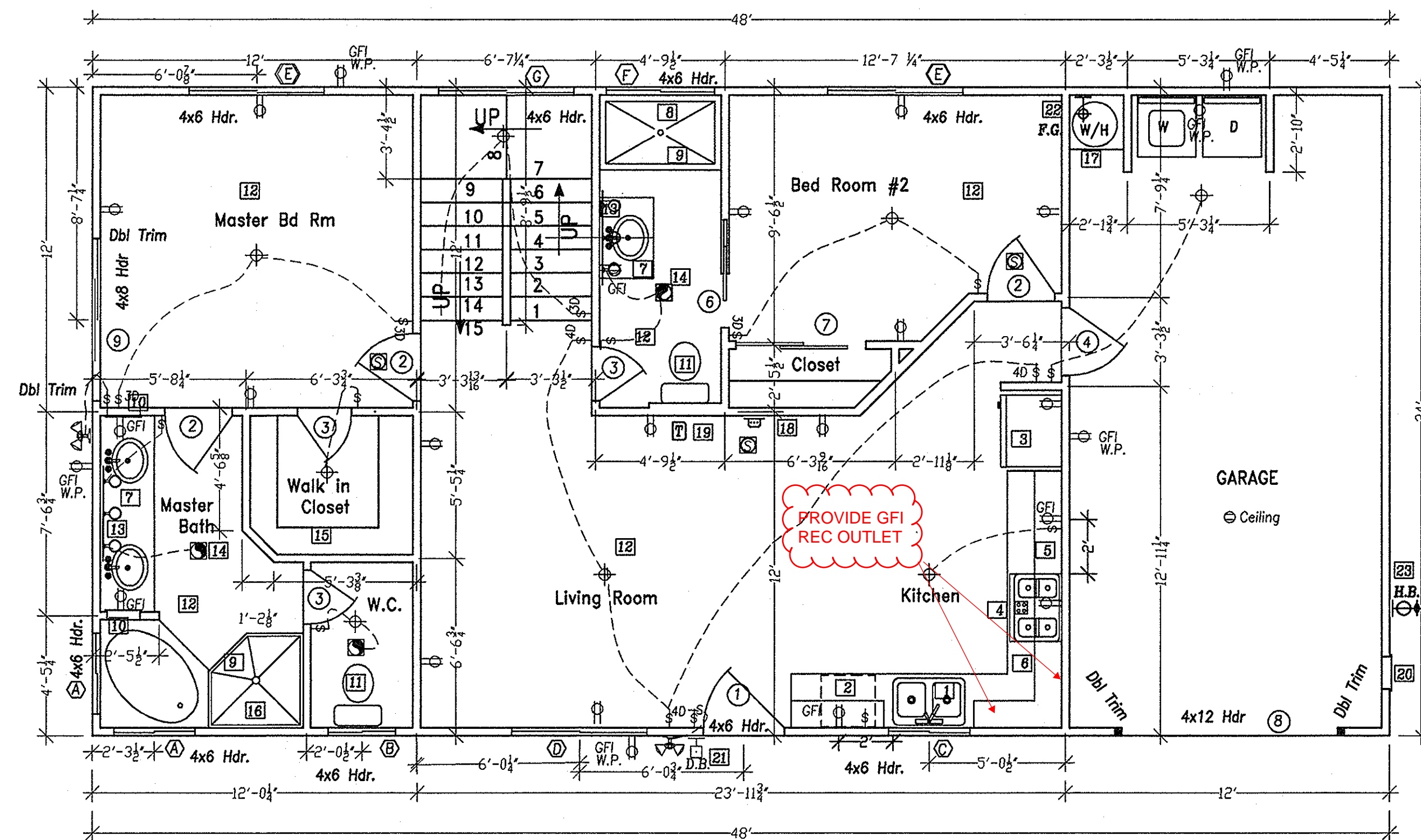
SECOND FLOOR SHEATHING SCHEDULE

1/2" THICK T&G 10d 6" O.C. EDGE 12" O.C. FIELD.

HOLDOWN SCHEDULE

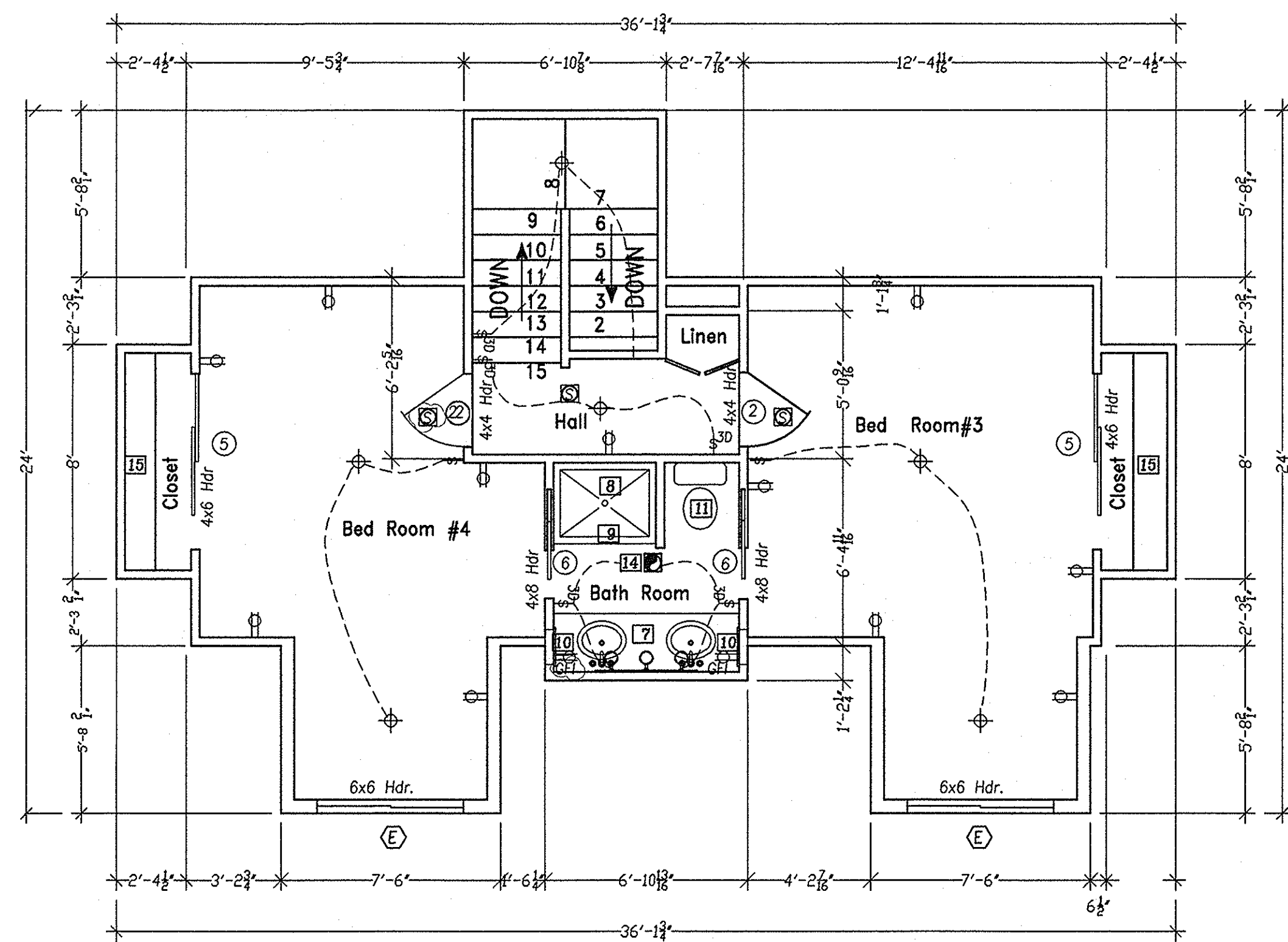
- HD 1 SIMPSON DTT1Z DTT1Z Use 4x4 Post
3/8" EPOXY ϕ INTO EXISTING CONCRETE W/10" EMBEDMENT
- HD 2 SIMPSON DTT1Z DTT2Z Use 4x4 Post
1/2" EPOXY ϕ INTO EXISTING CONCRETE W/10" EMBEDMENT

SEE FOR ELEVATION @ EXTERIOR WALLS



PROPOSED FIRST FLOOR
SCALE 1/4" = 1'-0"

PROVIDE CO ALARMS OUTSIDE AND ADJACENT TO BEDROOMS



PROPOSED SECOND FLOOR
SCALE 1/4" = 1'-0"

- ELECTRICAL SYMBOLS**
- Surface Mounted Controlled by Certified Occupant Sensors with Integral Photo Control
 - Ceiling Mounted or Hung
 - Over Mirror Light Fixture per Owner
 - 110 v. Duplex FACIA outlet mounted 12" to center above finish floor U.N.O.
 - Ceiling
 - 110 v. Ground Fault Interrupt Outlet
 - 110 v. Ground Fault Interrupt Outlet Water Proof for Exterior
 - One Way Switch
 - One Way Switch With Dimmer
 - Three Way Switch With Dimmer
 - Four Way Switch with Dimmer
 - Controlled by motion sensor
 - Controlled by motion sensor + photocontrol
 - Bracket Light
 - Chimes
 - Door Bell
 - Smoke/Carbon Monoxide Detector Combination (Kidde Model 21006377 or Equal) to be hard wired back-up and interlock on new Construction
 - 100 100 AMP Electrical Sub-Panel

ELECTRICAL NOTES

- (A) Two (2) small appliances circuits shall be provided for the kitchen wall counter receptacles
- (B) A device shall be provided to absorb high pressures from quick closing valves.
- (C) Separate circuits required for bathrooms
- (D) to provide protection to the entire branch circuit.
- (E) All fans to be supported by Fan Rated Boxes
- (F) All Branch circuits that supply 120V and 20 AMP Outlets to GFIC per IRC E-3902.12
- (G) All rec outlets less than 5'-6" above floor to be Tamper resistant.

LIGHTING NOTES:

- PER 2011 NEC ENERGY EFFICIENCY STANDARDS
- 75% OF lamps in light fixtures to be High Efficacy
- All permanent lighting fixtures in Bathrooms, Utility rooms, Garages, and Laundry Rooms shall be controlled by a Certified occupant sensor OR be high Efficacy Fixtures
- All permanent lighting fixtures in all other rooms (Excluding closets less than 70 Sq.Ft. shall be controlled by Dimmer Switches OR Certified occupant sensor OR be high efficacy fixtures (2011 NEC)
- 50% of Installed Lighting Fixtures wattage in kitchen shall be High Efficacy & ones that are not shall be Switched Separately.
- UP GRADE EXISTING SUB-PANEL WITH SHUT-OFF AND CONNECT TO COLD WATER BOND

- THERMOSTAT
- KEY FOR FUEL GAS
- HOSE BIB
- HOT WATER SHUT-OFF

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FLOOR PLAN NOTES

- 1 SINK WITH GARBAGE DISPOSAL
- 2 UNDER COUNTER DISH WASHER
- 3 36" MIN. REFER SPACE -PLUMB FOR ICE MAKER
- 4 30" STOVE WITH HOOD
- 5 UPPER CABINETS
- 6 24" BASE CABINET
- 7 VANITY
- 8 SHOWER PAN WITH TILE TO 80" ABOVE F.F.
- 9 TEMPERED SHATTER PROOF DOOR AND ENCLOSURE
- 10 MEDICINE CABINET
- 11 W.C. 30" MIN. WIDTH AND 24" IN FRONT
- 12 FLOOR COVERING PER OWNER
- 13 WALL HUNG MIRROR
- 14 Provide Exhaust Fan per (Section 1203.3 UBC)
- 15 Shelf and Pole
- 16 42" SHOWER PAN WITH TILE TO 80" ABOVE F.F.
- 17 WATER HEATER
- 18 DOOR CHIMES
- 19 THERMOSTAT
- 20 ELECTRIC SUB-PANEL
- 21 Door Bell
- 22 KEY FOR FUEL GAS
- 23 HOSE BIB WITH SHUT-OFF
- 24

DOOR SCHEDULE

#	REQ'D	SIZE	TYPE	OWNER CHOICE
1	1	3'-0"x6'-8"	Main Entry Solid Core	Owner Choice
2	5	2'-6"x6'-8"	Interior Doors	Owner Choice
3	3	2'-0"x6'-8"	Interior Doors	Owner Choice
4	1	2'-6"x6'-8"	20 Minut Rated W/Self Closer	Owner Choice
5	2	6'-0"x6'-8"	Wardrobe Bi-Pass	Owner Choice
6	3	2'-0"x6'-8"	Pocket Door	Owner Choice
7	1	5'-0"x6'-8"	Wardrobe Bi-Pass	Owner Choice
8	1	8'-0"x7'-0"	Garage Door	Owner Choice
9	1	6'-0"x6'-8"	Sliding Dual Glazed	Owner Choice

WINDOW SCHEDULE

#	SIZE	TYPE	GLAZE
A	2 3'-0"x1'-6"	Sliding Obscure	Dual Glazed
B	1 2'-6"x2'-6"	Sliding Obscure	Dual Glazed
C	1 3'-0"x3'-0"	Sliding	Dual Glazed
D	1 5'-0"x5'-0"	Sliding	Dual Glazed
E	4 5'-0"x4'-0"	Sliding	Dual Glazed
F	1 4'-0"x1'-6"	Sliding	Dual Glazed
G	1 5'-0"x2'-6"	Sliding	Dual Glazed

PROPOSED FIRST FLOOR SQ.FT. 864
 PROPOSED SECOND FLOOR SQ. FT 507
 TOTAL LIVING AREA SQ.FT. 1,371
 GARAGE SQ. FT. 284

CARSON CITY BUILDING DIVISION
 "REVIEWED FOR CODE COMPLIANCE"
 06/13/2019 densminger

PROFESSIONAL ENGINEER-STATE OF NEVADA
 RYAN D. HORNBACK
 Exp. 03/31/2021
 CIVIL
 No. 20083
 16/19

RYAN HORNBACK, P.E.
 5710 DUON CIR., RENO, NEVADA 89511
 775.690.3490
 ryanhornback.pe@netnet.net

SCALE AS SHOWN

DRAWN BY: DAVID JOHNSON

DATE: 5-15-2019

PARCEL # 009-04-18

PHONE 775-351-4852

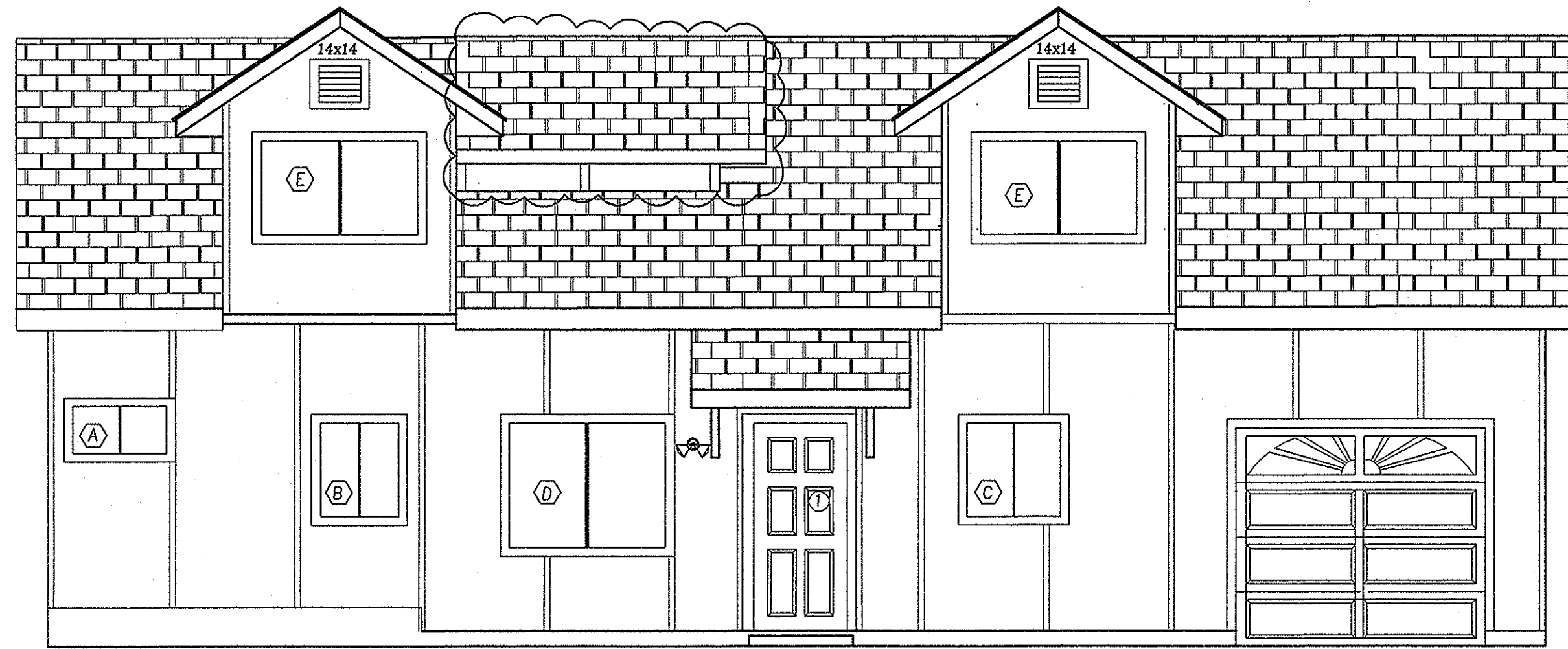
OWNER DAVID JOHNSON

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 CARSON CITY, NV. 89703

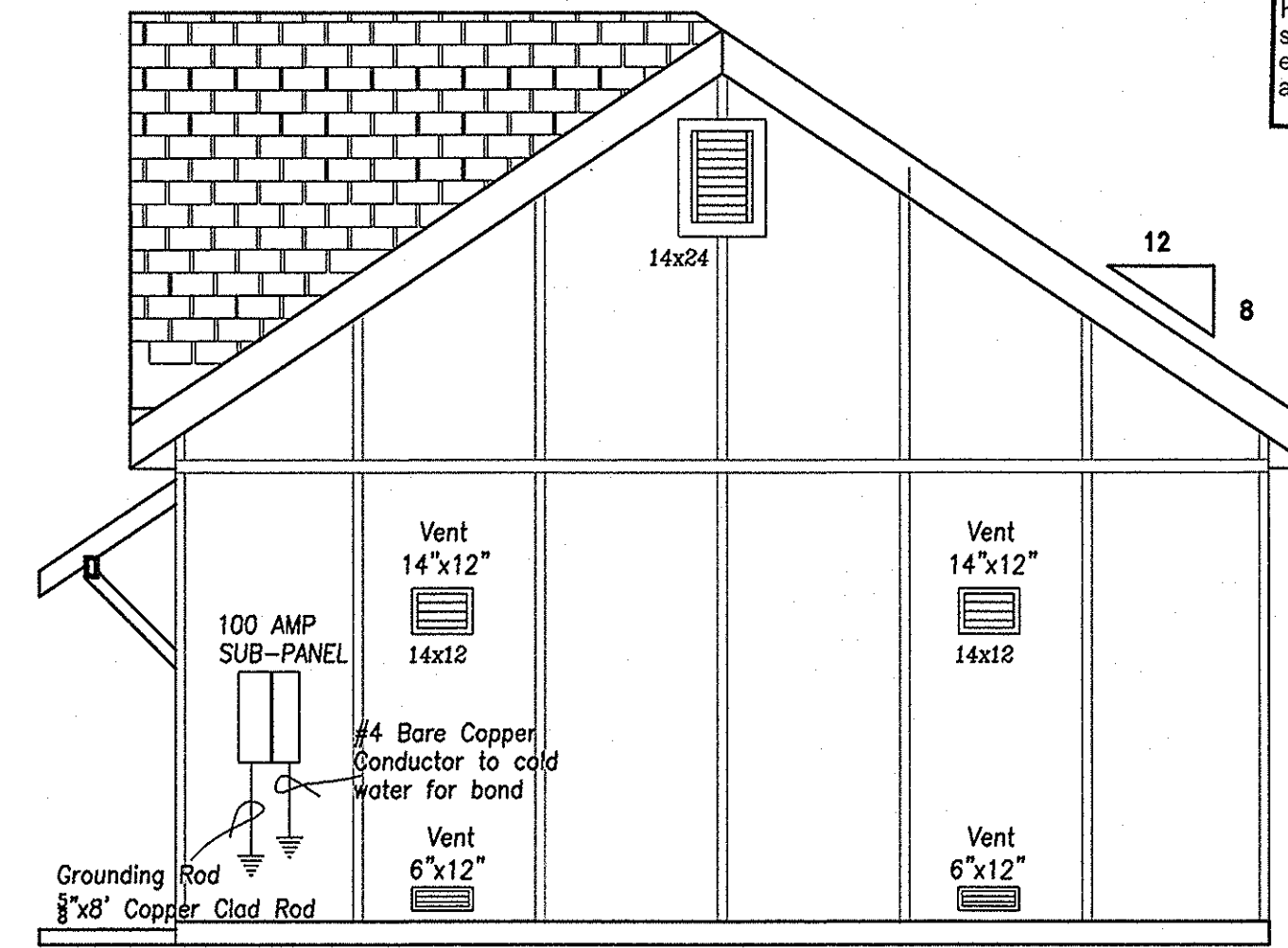
PROPOSED FLOOR PLAN

PAGE 5 OF 10

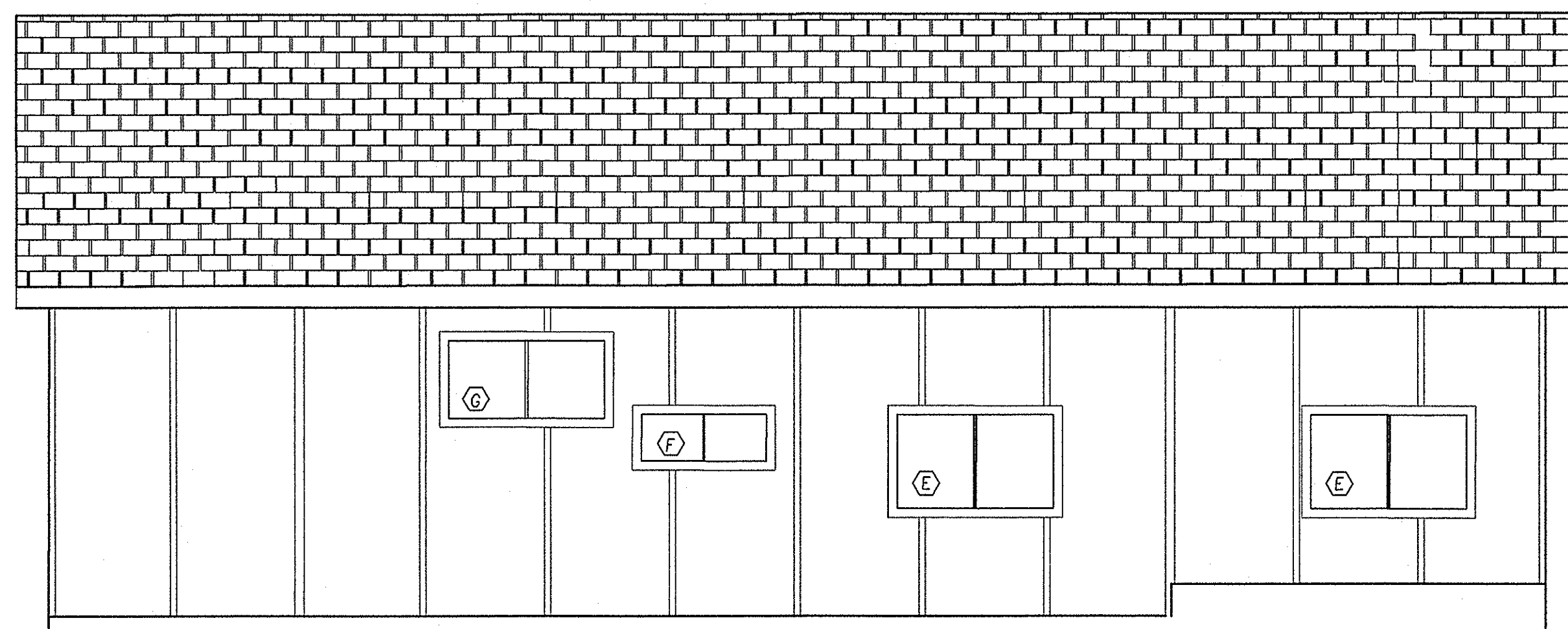
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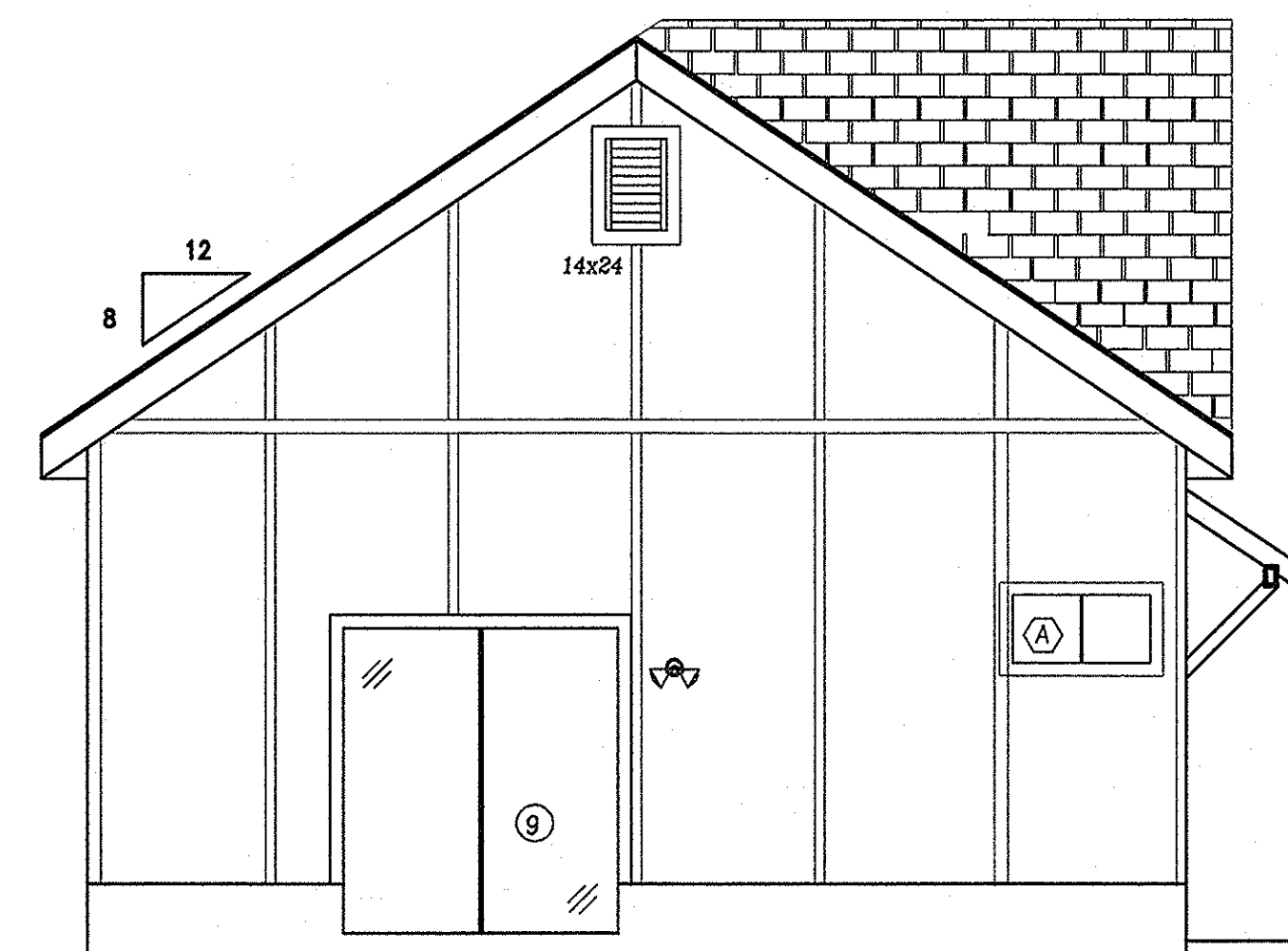
PROPOSED NORTH ELEVATION (FRONT)
SCALE 1/4" = 1'-0"



PROPOSED WEST ELEVATION (RIGHT)
SCALE 1/4" = 1'-0"



PROPOSED SOUTH ELEVATION (REAR)
SCALE 1/4" = 1'-0"



PROPOSED EAST ELEVATION (LEFT)
SCALE 1/4" = 1'-0"

Use VALCAN Fire Vents or Equal

- Provide eaves attic vent equal to one square foot per 150 s.f. of attic area and a vapor barrier not exceeding 1 perm is installed on the warm side of the attic insulation.
- One square foot per 300 s.f. of attic area with 1/2 of the vent area near the ridge and the remainder of the area at the eaves or cornice vents and vapor barrier not exceeding 1 perm is installed on the warm side of the attic insulation.

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NOTE:

All Existing exterior openings to be framed in MUST use complete Full plywood sheets to match existing plywood

LANDMARK CLASS "A" ROOF CERTAINTED Manuf.
FIRE RESISTANCE:
UL Class "A" Type Roof
UL Certified ASTM D3018 Type 1
WIND RESISTANCE:
UL Certified ASTM D3018 Type 1
TEAR RESISTANCE:
UL Certified to meet ASTM D3462
CSA standard A123.5
Quality Standards:
ICC-ES-ESR-1389

2007 CBC Table 15-B-1
** Lower than 2 in 12, Built-up roofing
** 2 in 12 to 4 in 12
2- Layers 15# Felt
Self sealing shingles
** Higher than 4 in 12, 1-Layer 15#felt

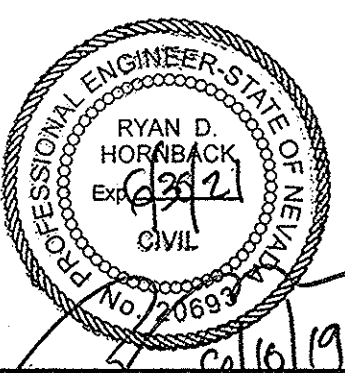
NEW DOOR SCHEDULE

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C	1	3'-0"x3'-0"	Sliding	Dual Glazed
D	1	5'-0"x5'-0"	Sliding	Dual Glazed
E	4	5'-0"x4'-0"	Sliding	Dual Glazed
F	1	4'-0"x1'-6"	Sliding	Dual Glazed
G	1	5'-0"x2'-6"	Sliding	Dual Glazed

CARSON CITY BUILDING DIVISION
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PROPOSED ELEVATIONS
SCALE AS SHOWN
DRAWN BY: DAVID JOHNSON
DATE: 5-15-2019

PARCEL # 009-04-18
LOT 44,203 SQ.FT.

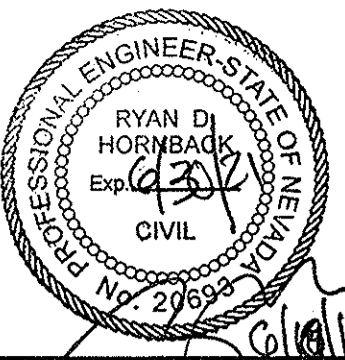
PHONE 775-351-4852

OWNER DAVID JOHNSON

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SHEARWALL SCHEDULE

S/W TYP	SHEATHING THICKNESS	NAIL SIZE	NAIL SPACING	
			END NAILING	FIELD NAILING
6/L	3/8"	10d	6" O.C.	12" O.C.

L= Length of Shearwall

NOTE:
ALL WALL, SILL, PLATES, TO RECEIVE 3/8" DIA. x 10" J BOLT @ 48" O.C. WITH 1"x1" PLATE WASHERS TYP.
(FOR EXISTING CONCRETE FOOTINGS, EPOXY 3/8" DIA. THREADED ROD WITH 10" EMBEDMENT PER MANUFACTURES RECOMMENDATIONS)

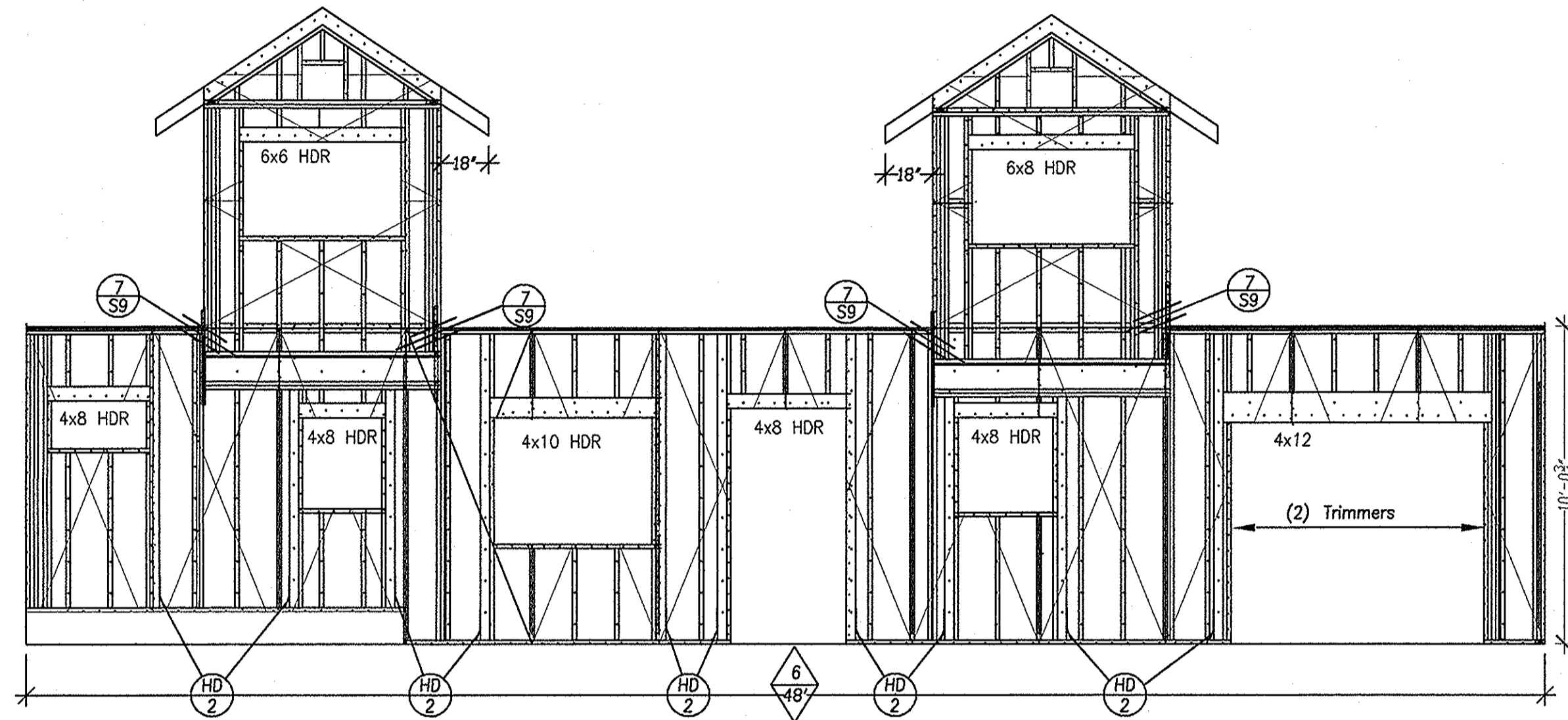
ROOF SHEATHING SCHEDULE

1/2" THICK 10d 6" O.C. EDGE' 12" O.C. FIELD.

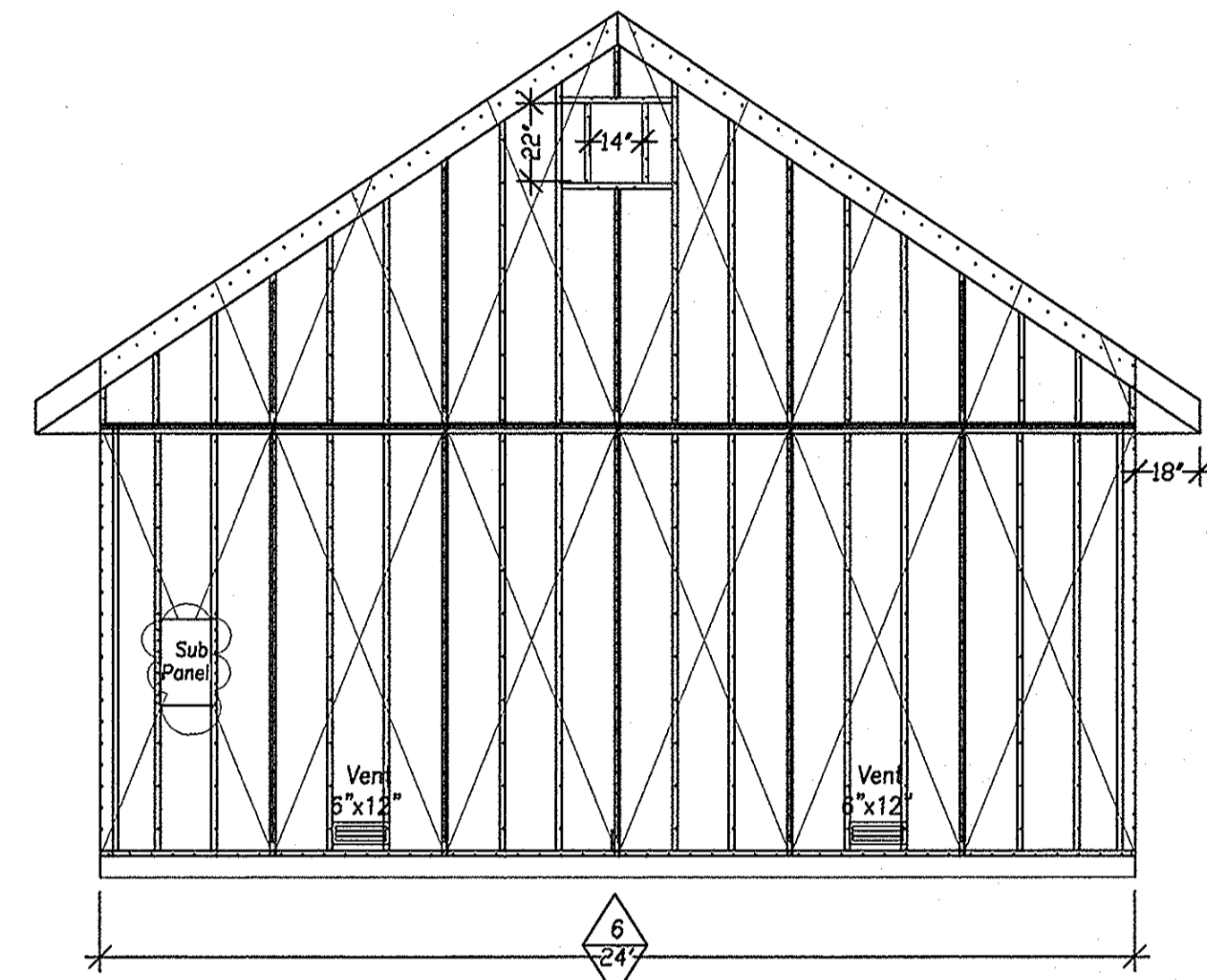
SECOND FLOOR SHEATHING SCHEDULE

5/8" THICK T&G 10d 6" O.C. EDGE' 12" O.C. FIELD.

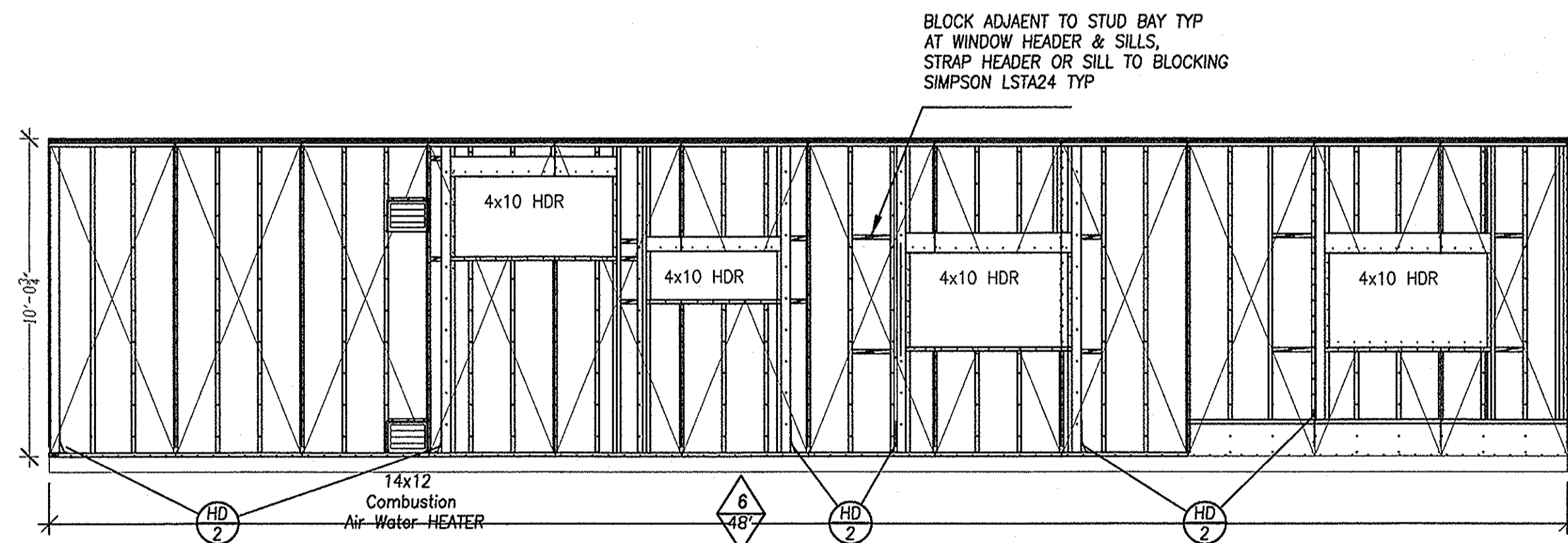
SS HOLDOWN, SEE SCHEDULE ON S-3



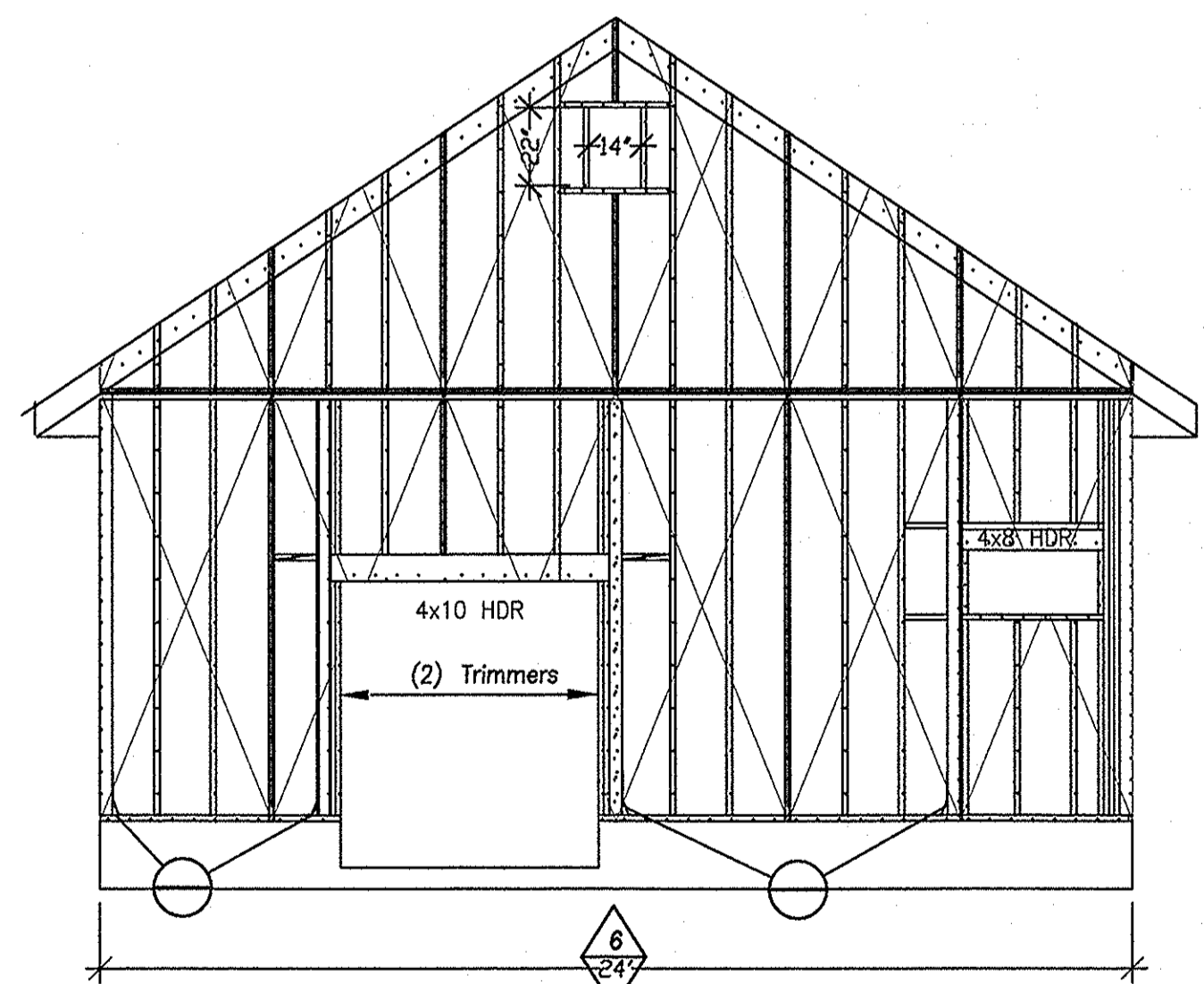
SCALE 1/4" = 1'-0"
PROPOSED SHEAR PLAN NORTH ELEVATION (FRONT)



SCALE 1/4" = 1'-0"
PROPOSED SHEAR PLAN WEST ELEVATION (RIGHT)

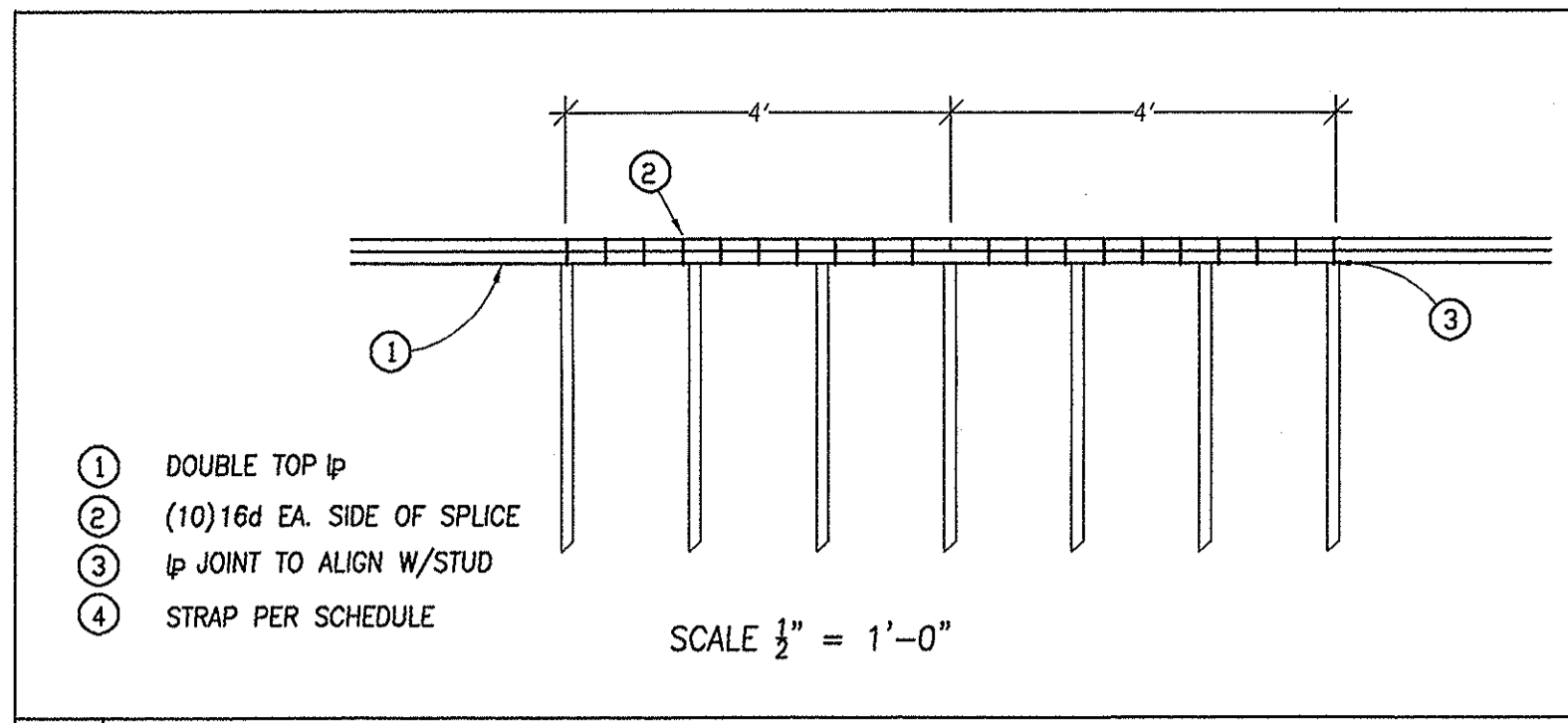


SCALE 1/4" = 1'-0"
PROPOSED SHEAR PLAN SOUTH ELEVATION (REAR)



SCALE 1/4" = 1'-0"
PROPOSED SHEAR PLAN EAST ELEVATION (LEFT)

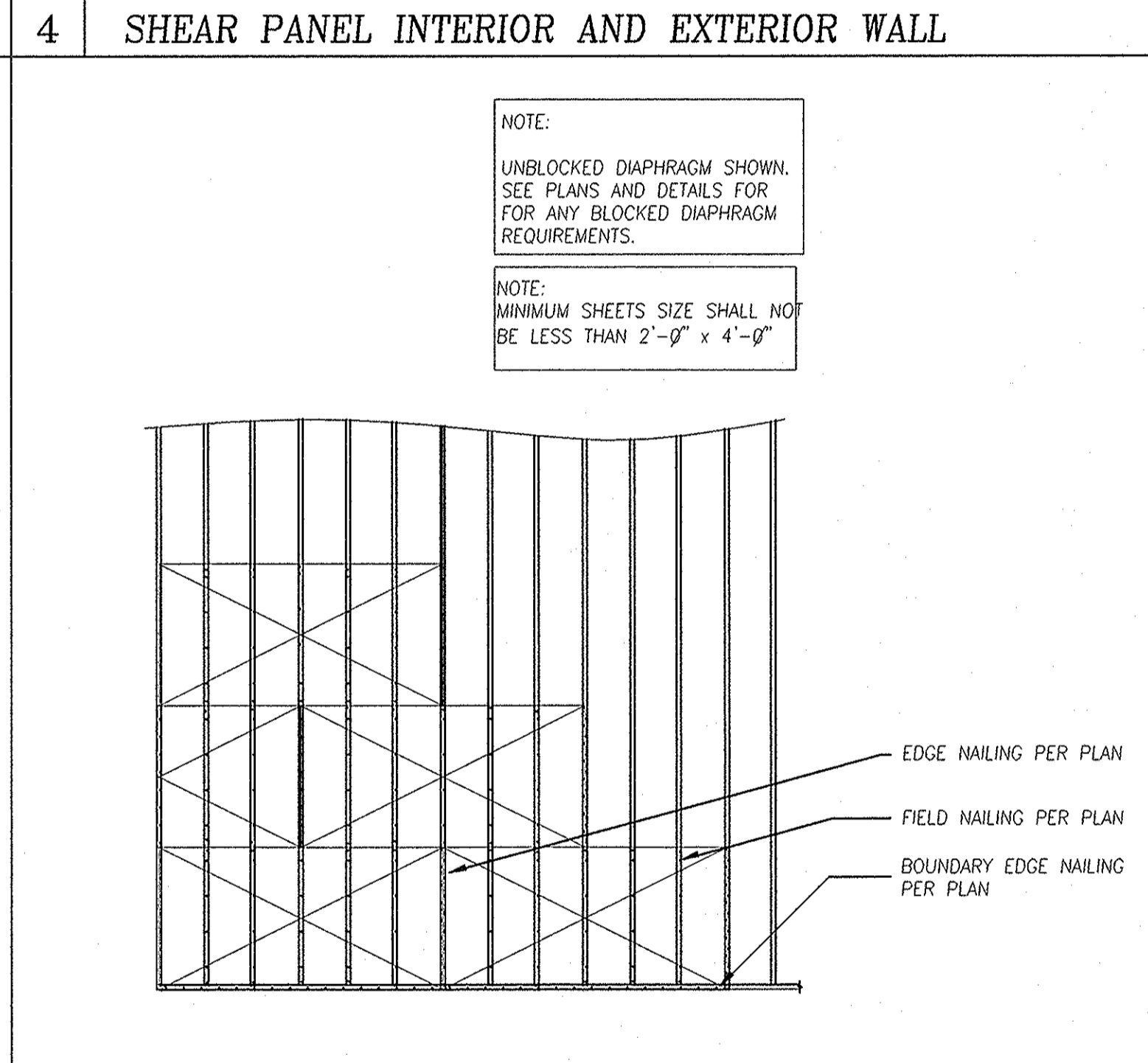
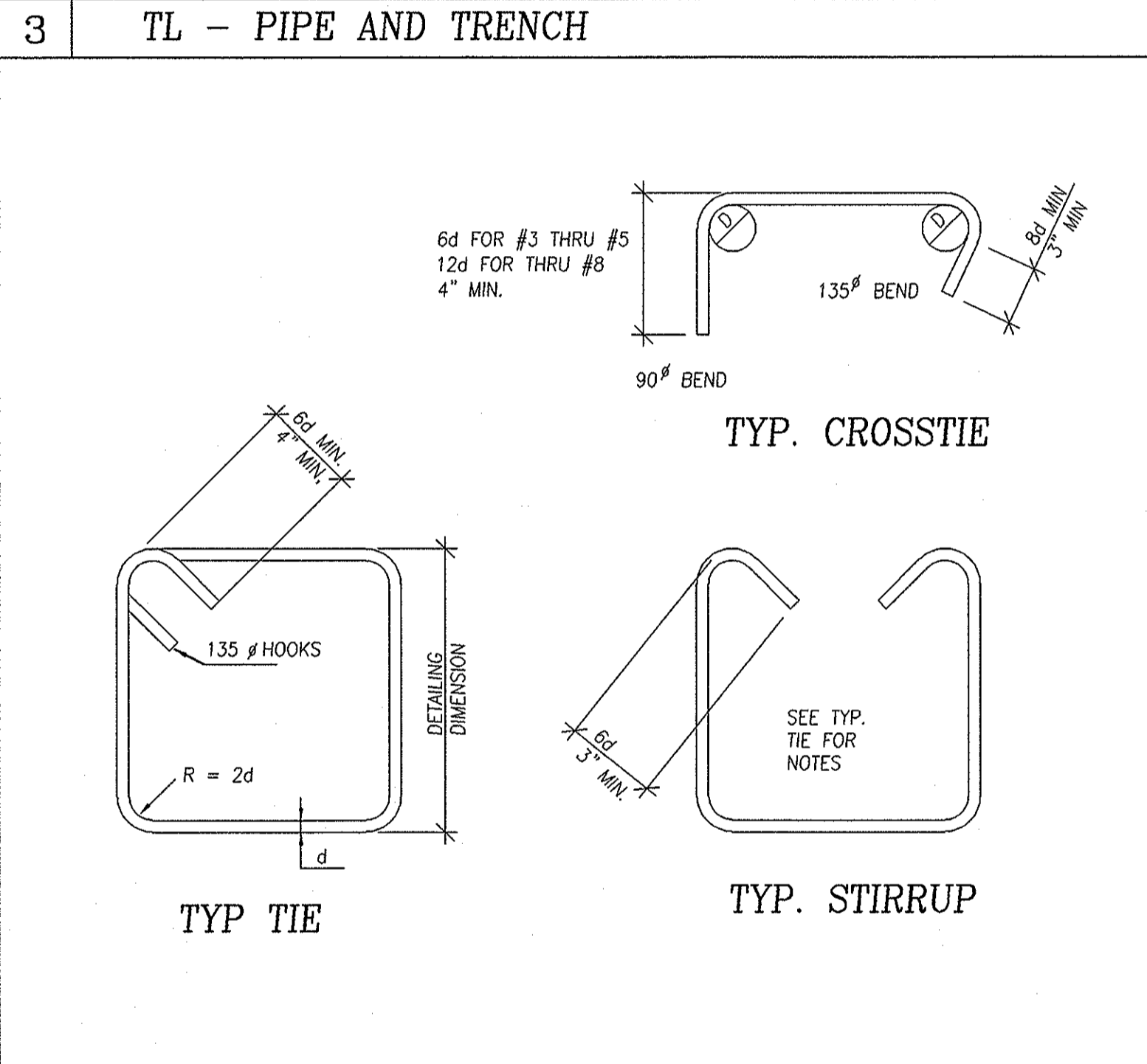
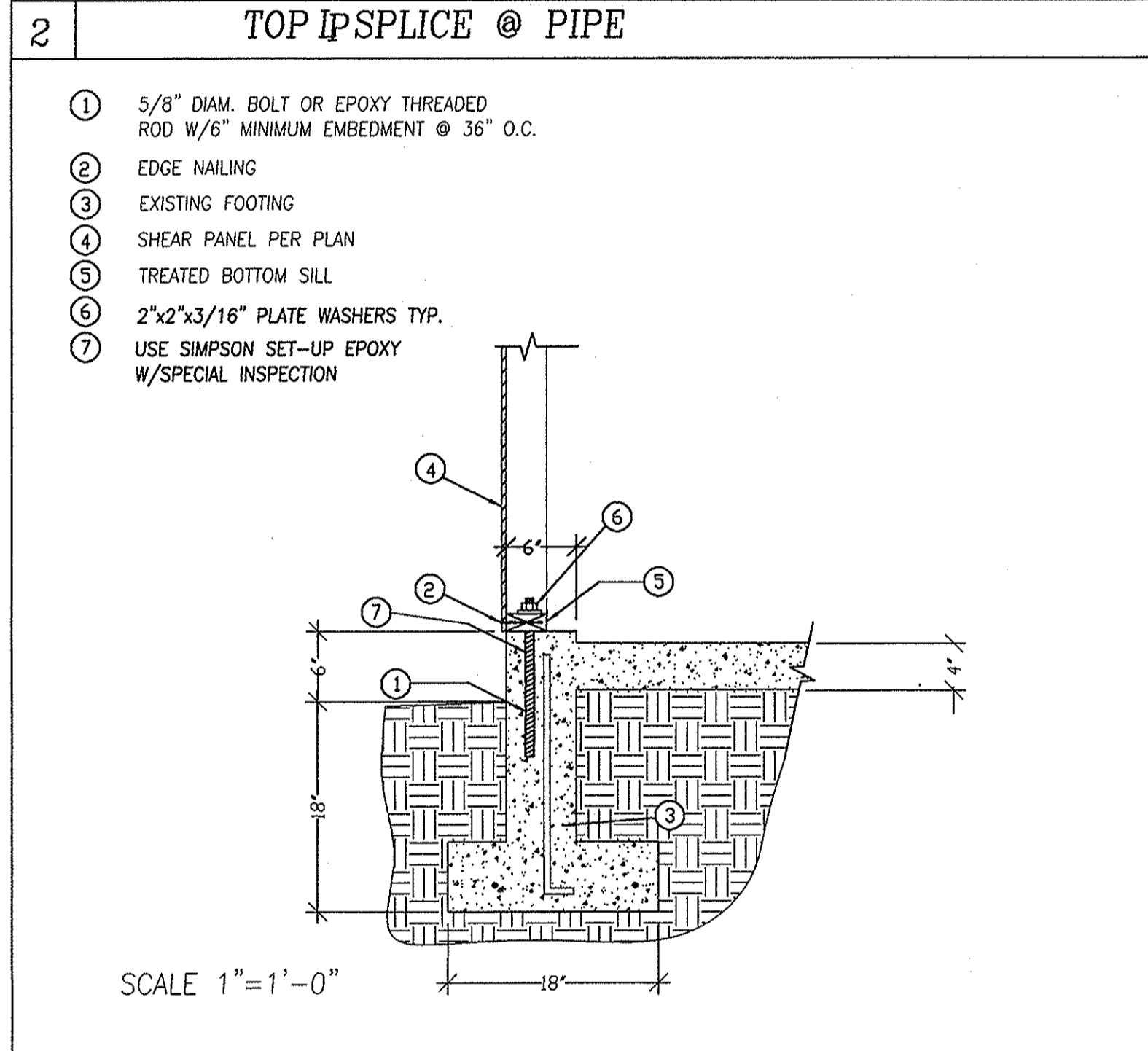
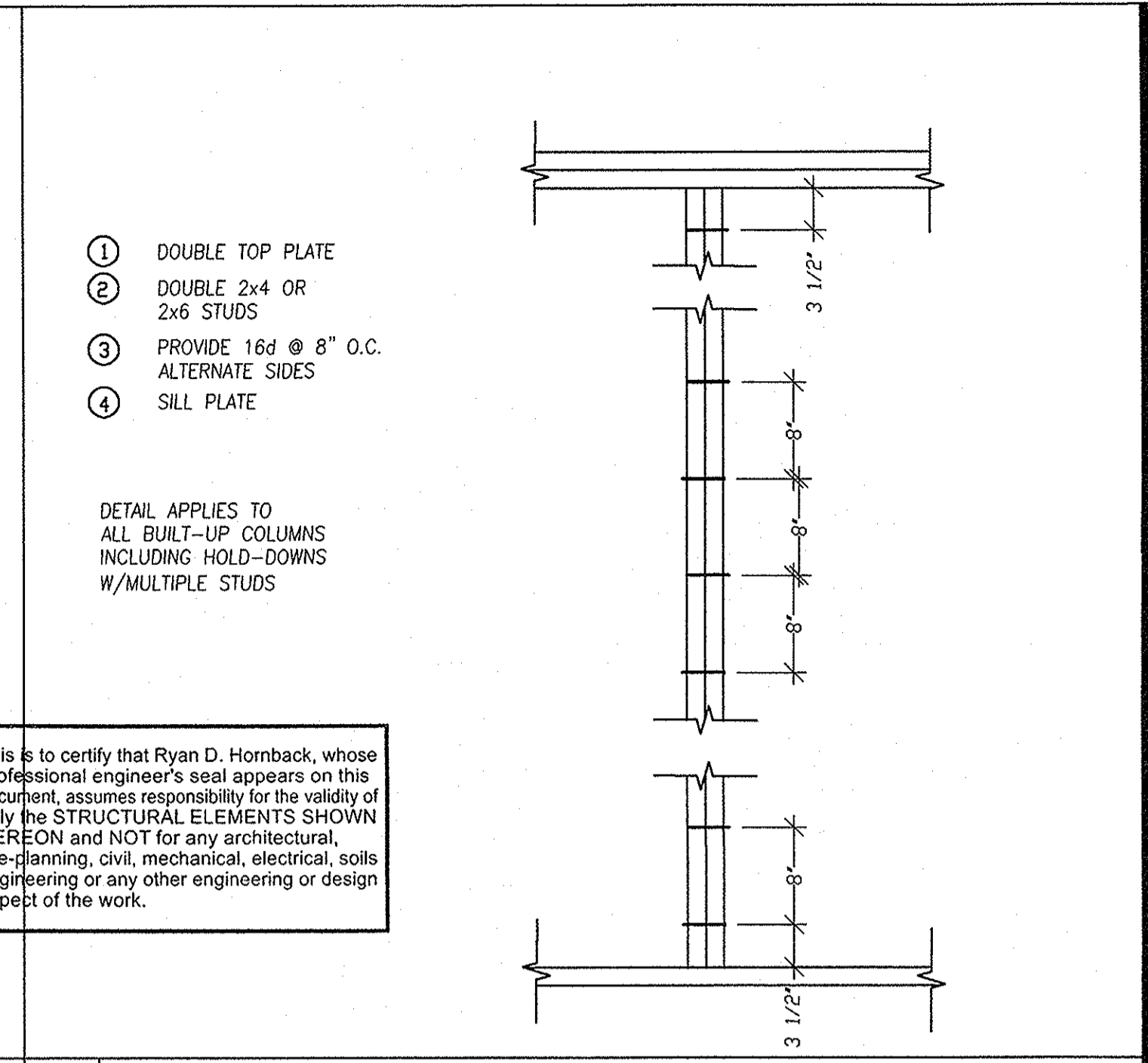
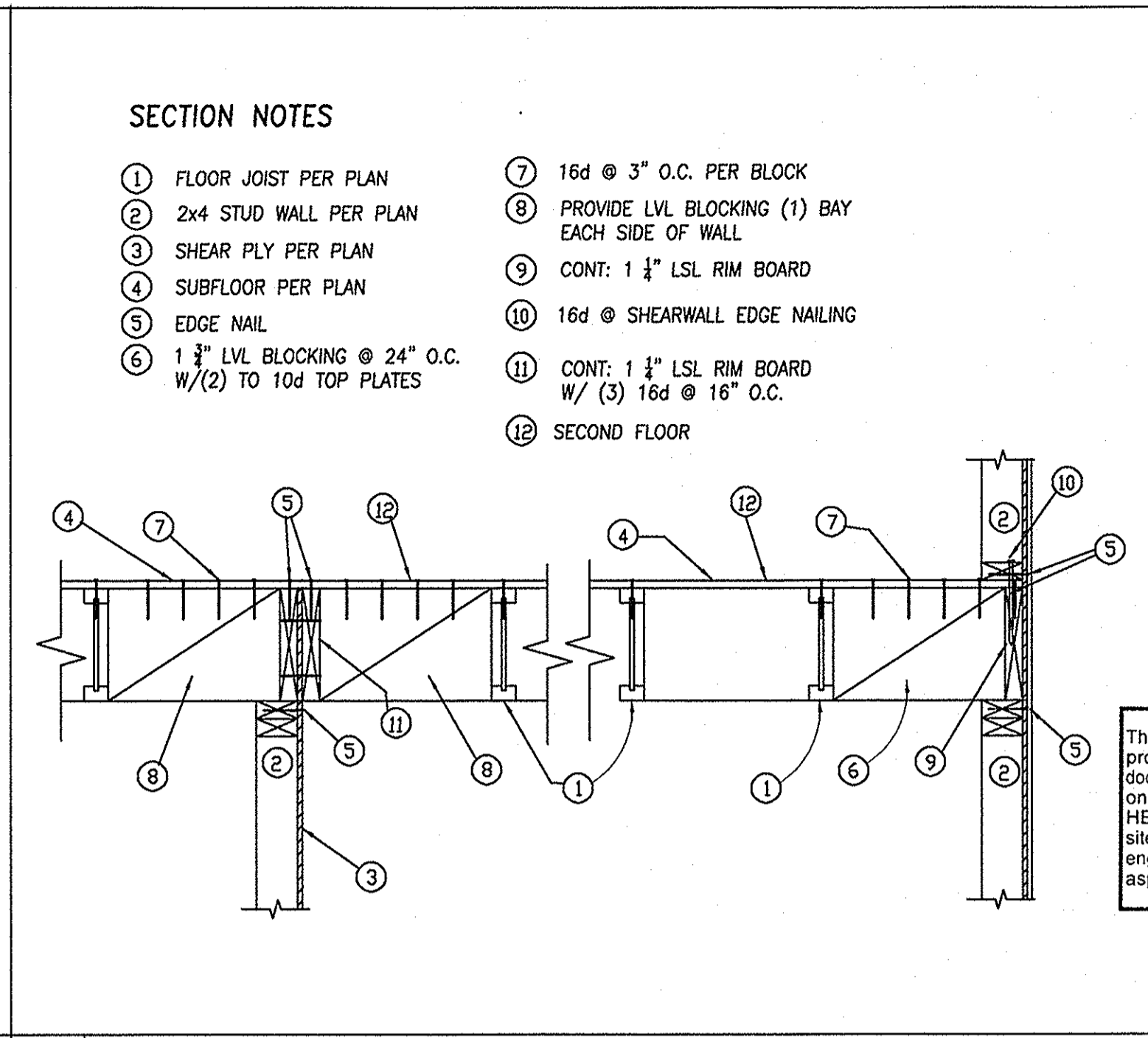
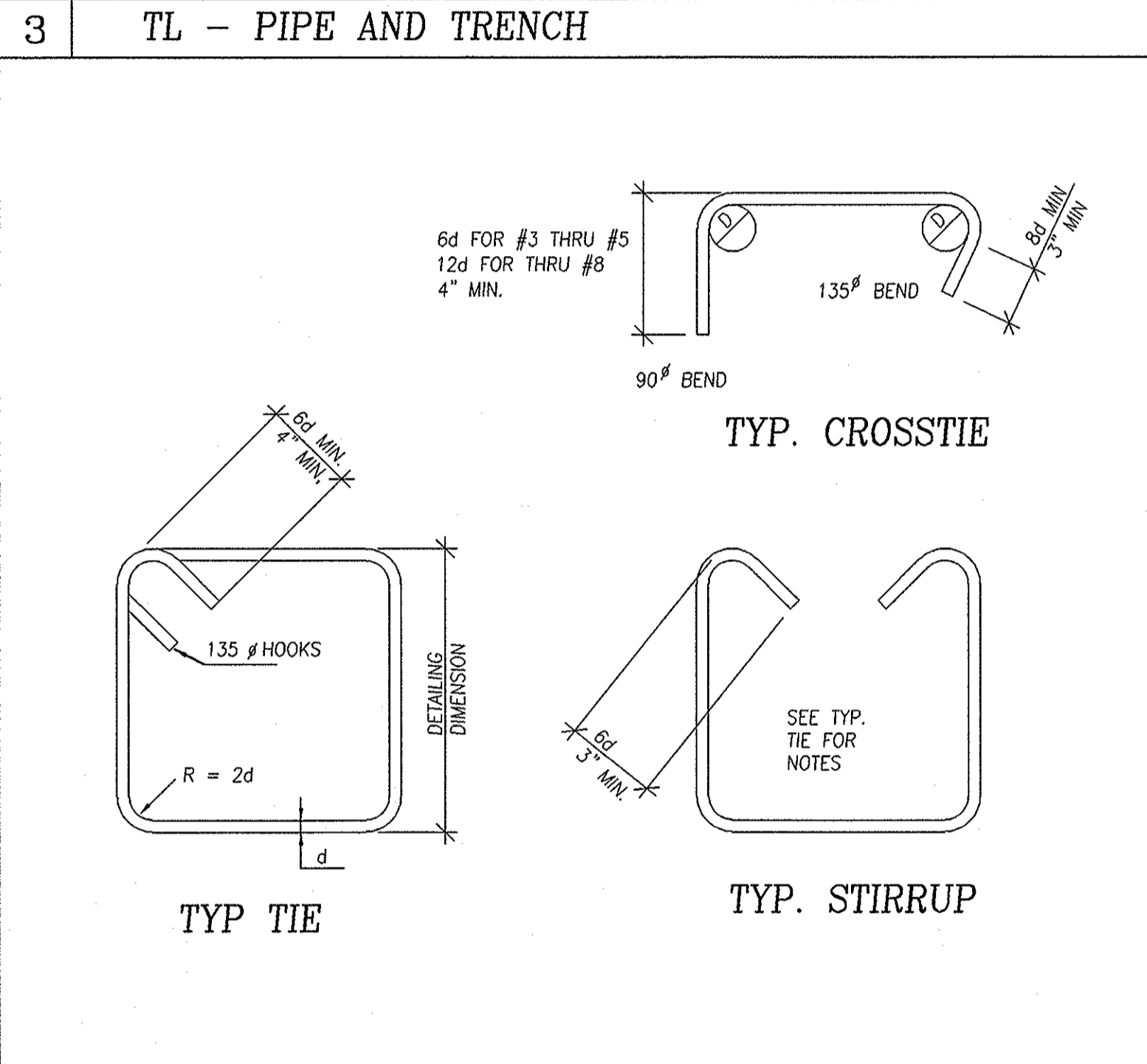
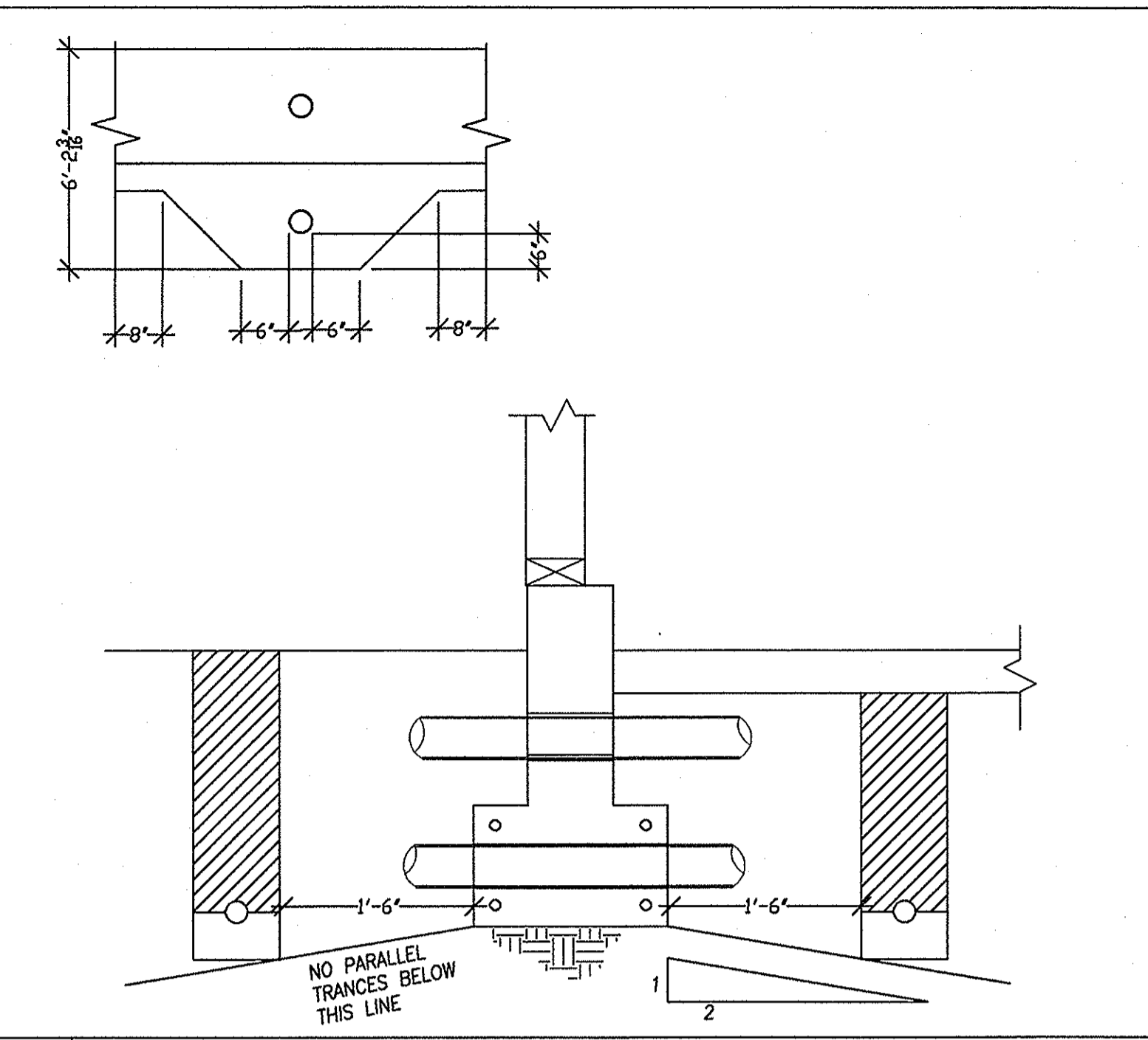
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1 TOP IP SPLICE

HOLE DIA.	STRAPS
> 1/3 STUD WIDTH	NONE REQUIRED
> 1/3 STUD WIDTH	ST2122 W/(4) 16d EA. END
> 2/3 STUD WIDTH	ST2215 W/(6) 16d EA. END

SCALE 1/2" = 1'-0"



6 SINGLE SIDE SHEAR PANEL

SHEARWALL SCHEDULE

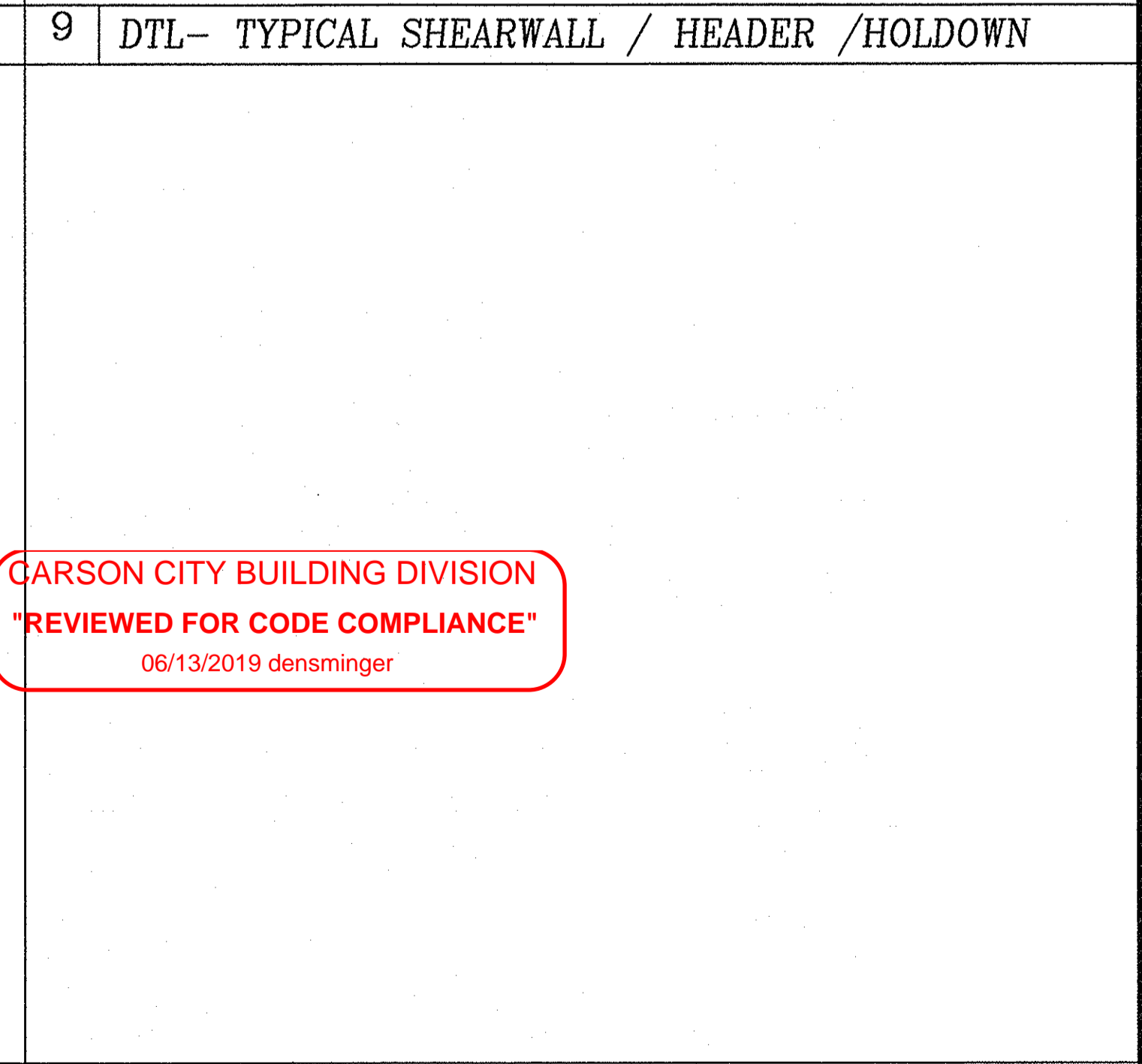
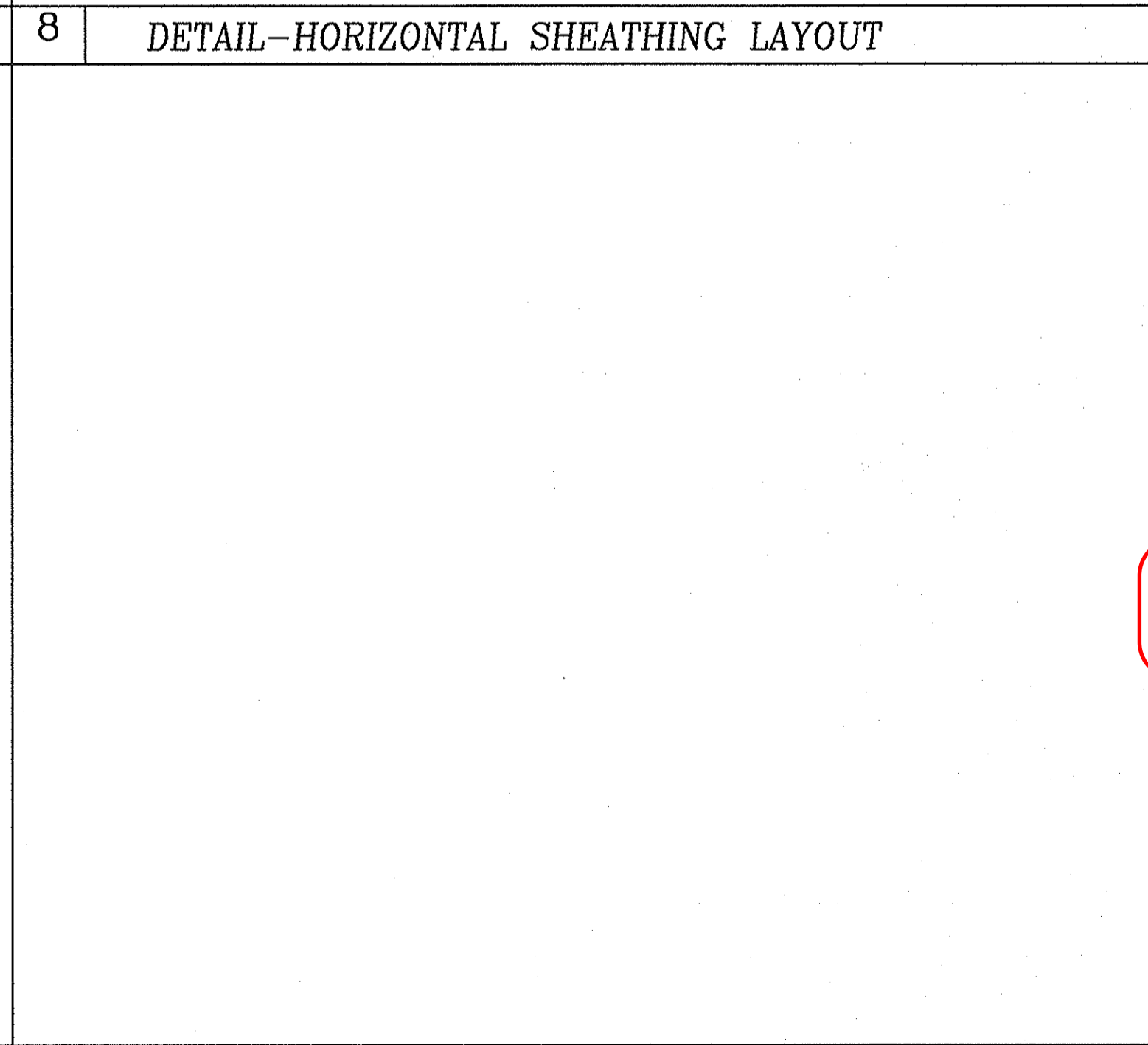
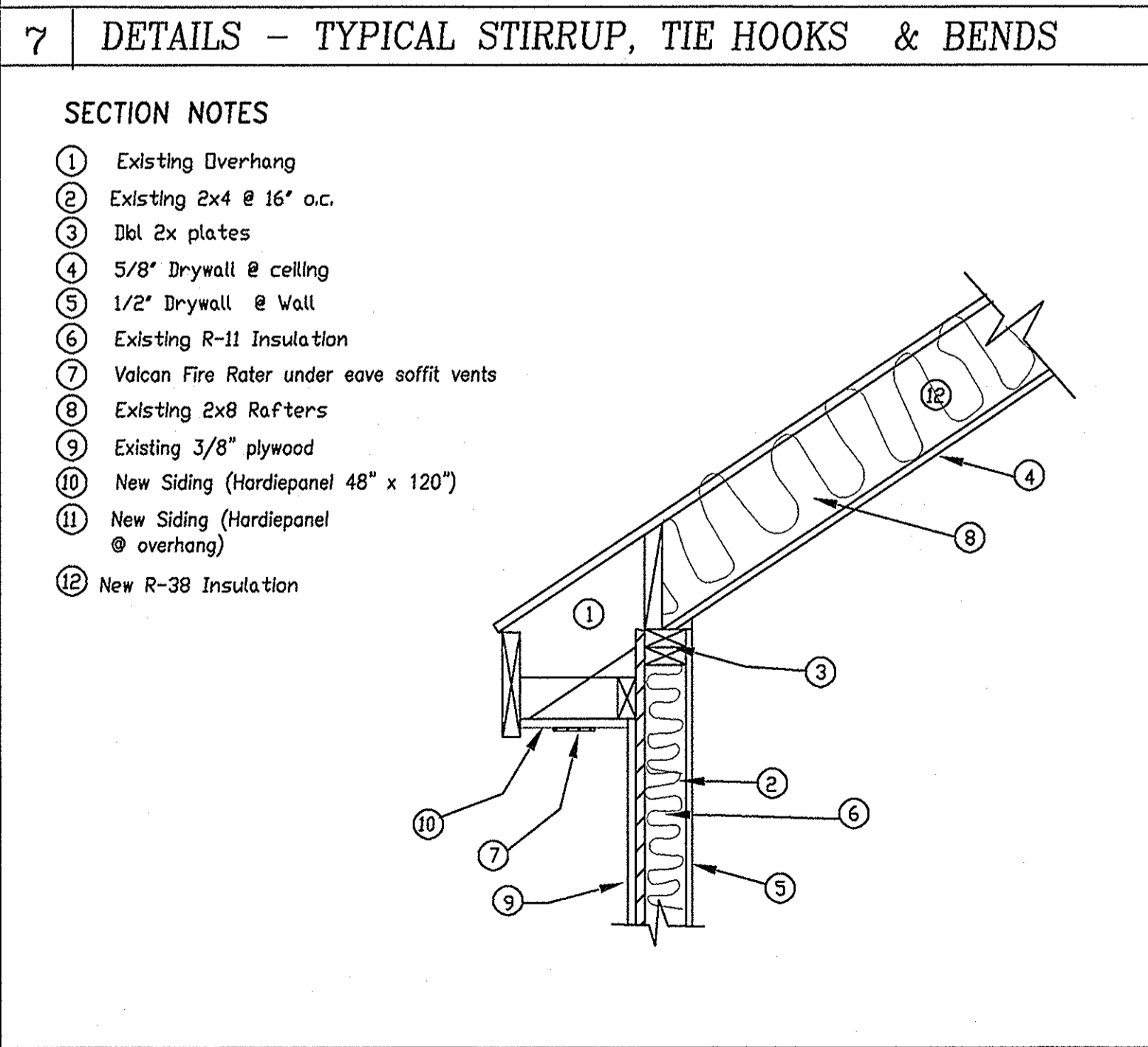
S/W TYPES	SHEATHING THICKNESS	NAIL SIZE	NAIL SPACING	
			END NAILING	FIELD NAILING
6 L	3/8"	10d	6" O.C.	12" O.C.

L = Length of Shearwall

NOTE:
ALL WALL, SILL, PLATES, TO RECEIVE 5/8" DIA. x 10" J BOLT @ 48" O.C. WITH 2"x2"x3/16" PLATE WASHERS TYP. (FOR EXISTING CONCRETE FOOTINGS, EPOXY 5/8" DIA. THREADED ROD WITH 10" EMBEDMENT PER MANUFACTURERS RECOMMENDATIONS)

ROOF SHEATHING SCHEDULE
1/2" THICK 10d 6" O.C. EDGE' 12" O.C. FIELD.

SECOND FLOOR SHEATHING SCHEDULE
1/2" THICK T&G 10d 6" O.C. EDGE' 12" O.C. FIELD.



10

11 NEW FIRE RATED OVERHANG

RYAN D. HORNBACK
PROFESSIONAL ENGINEER - STATE OF NEVADA
NO. 20993

RYAN HORNBACK/PE
5710 DIJON CIR., RENO, NEVADA 89511
775-680-9490 ryanhornback.pe@gmail.com

PROPOSED STRUCTURAL DETAILS

SCALE AS SHOWN

DRAWN BY: DAVID JOHNSON
DATE: 5-15-2019

PARCEL # 009-04-18
LOT 44,203 SQ.FT.

PHONE: 775-351-4852

OWNER: DAVID JOHNSON

PROJECT ADDRESS:
1555 KINGS CANYON RD
CARSON CITY, NV. 89703

PAGE 8 OF 10

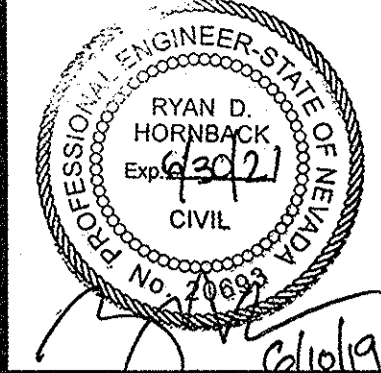
S-7

CARSON CITY BUILDING DIVISION
"REVIEWED FOR CODE COMPLIANCE"
06/13/2019 densminger

This is to certify that Ryan D. Hornback, whose professional engineer's seal appears on this document, assumes responsibility for the validity of only the STRUCTURAL ELEMENTS SHOWN HEREON and NOT for any architectural, site-planning, civil, mechanical, electrical, soils engineering or any other engineering or design aspect of the work.

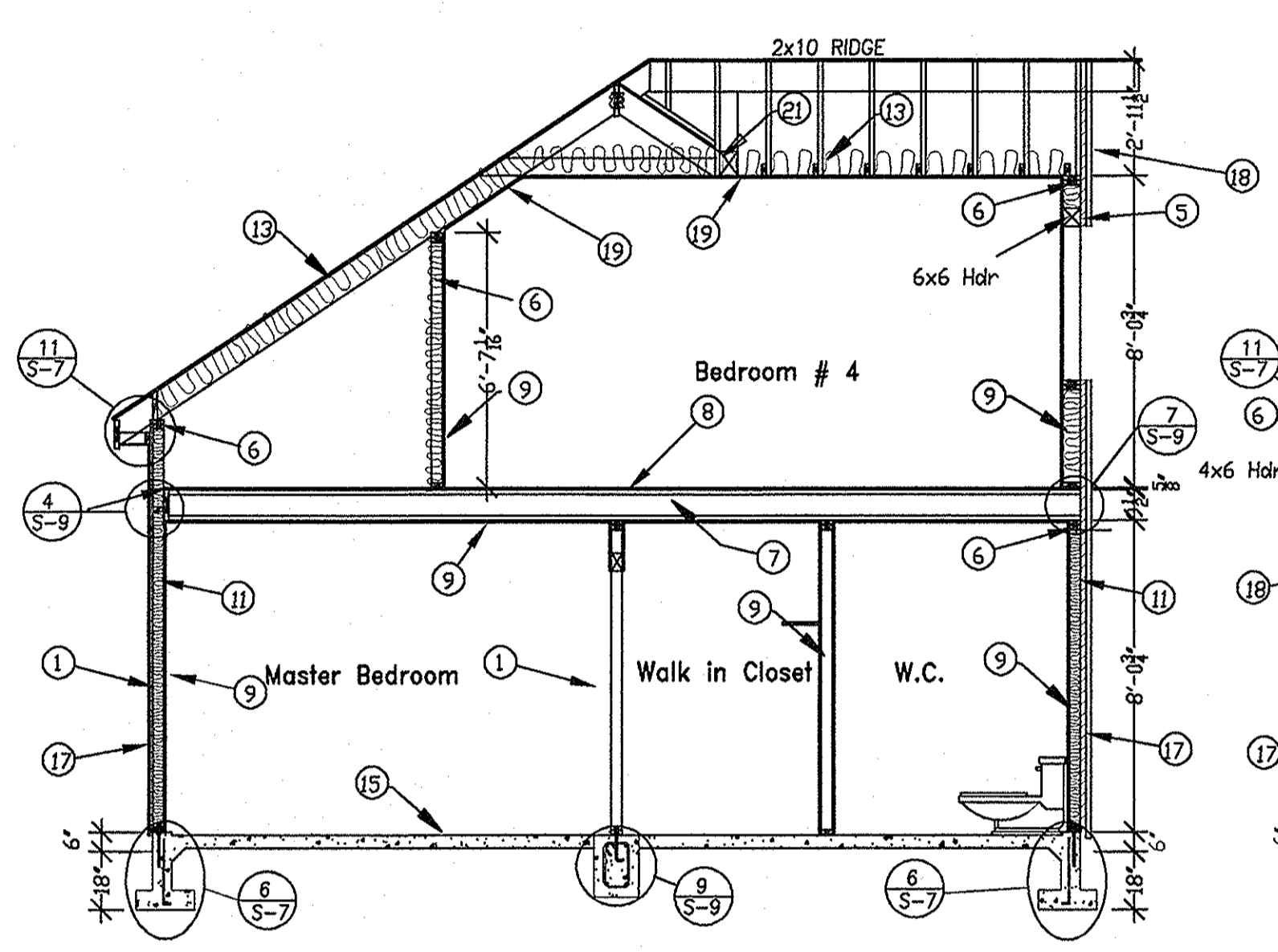
SECTION NOTES

- 1 Existing 2x4 @ 16" o.c.
- 2 2x4 Studs @ 16" o.c.
- 3 2x6 Studs @ 16" o.c.
- 4 4x4 Header
- 5 6x8 Header
- 6 Dbl 2x plates
- 7 TJI 220 (9 1/2')
- 8 5/8" T&G Subfloor
- 9 1/2" Drywall Wall & ceiling Typ.
- 10 Garage 5/8" Fire rated drywall walls & ceiling
- 11 Existing R-11 Insulation
- 12 New R-23 Insulation
- 13 New R-38 Insulation
- 14 Existing Footing
- 15 Existing Concrete Slab
- 16 4x8 Hdr
- 17 Existing 3/8" plywood
- 18 New Siding (Hardiepanel 48" x 120")
- 19 All ceilings shall be 5/8" drywall if framing is at 24" o.c.
- 20 2x Blocking @ 16" o.c.
- 21 6x8 Beam
- 22 2x6 Roof Rafter @ 24" o.c.
- 23 2x10 Ledge
- 24 2x4 Ceiling Joist
- 25 HU210
- 26 2-2x12 Sleeper under Rafter
- 27 HU26

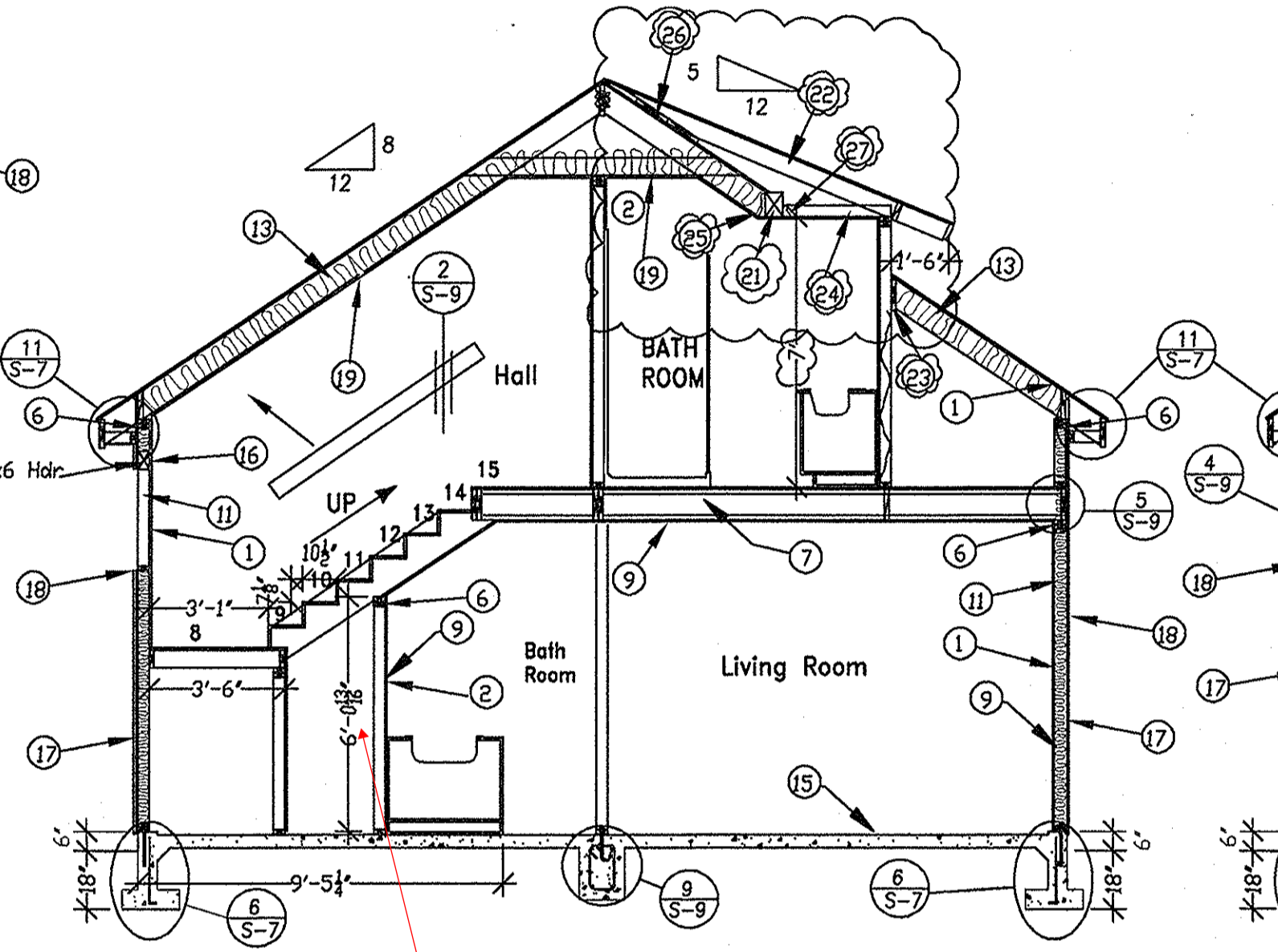


RYAN HORNBACK, P.E.
5710 DUON CIR., RENO, NEVADA 89511
775.690.5490 eyhornback.pe@gmail.com

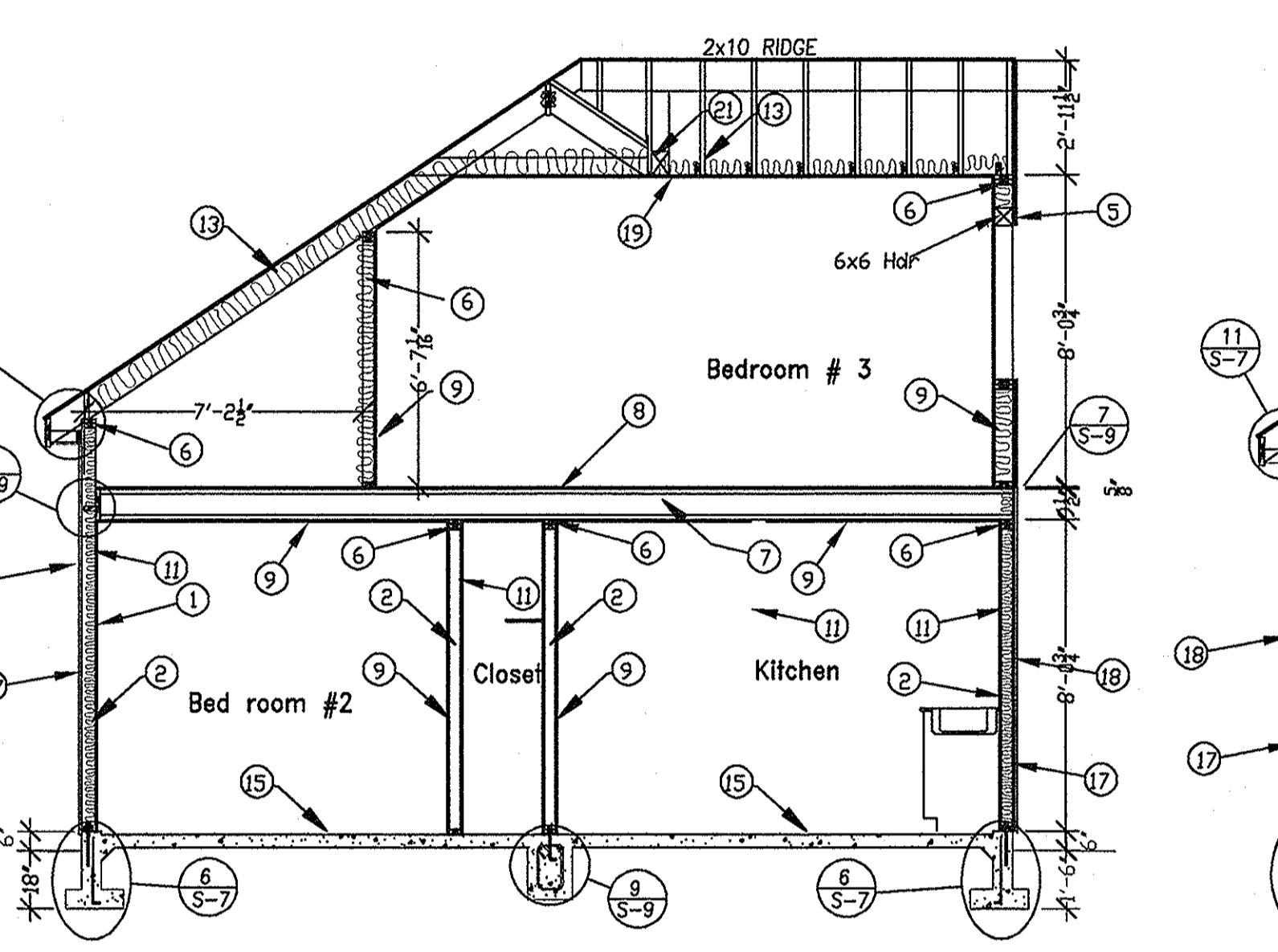
PROPOSED CROSS SECTIONS



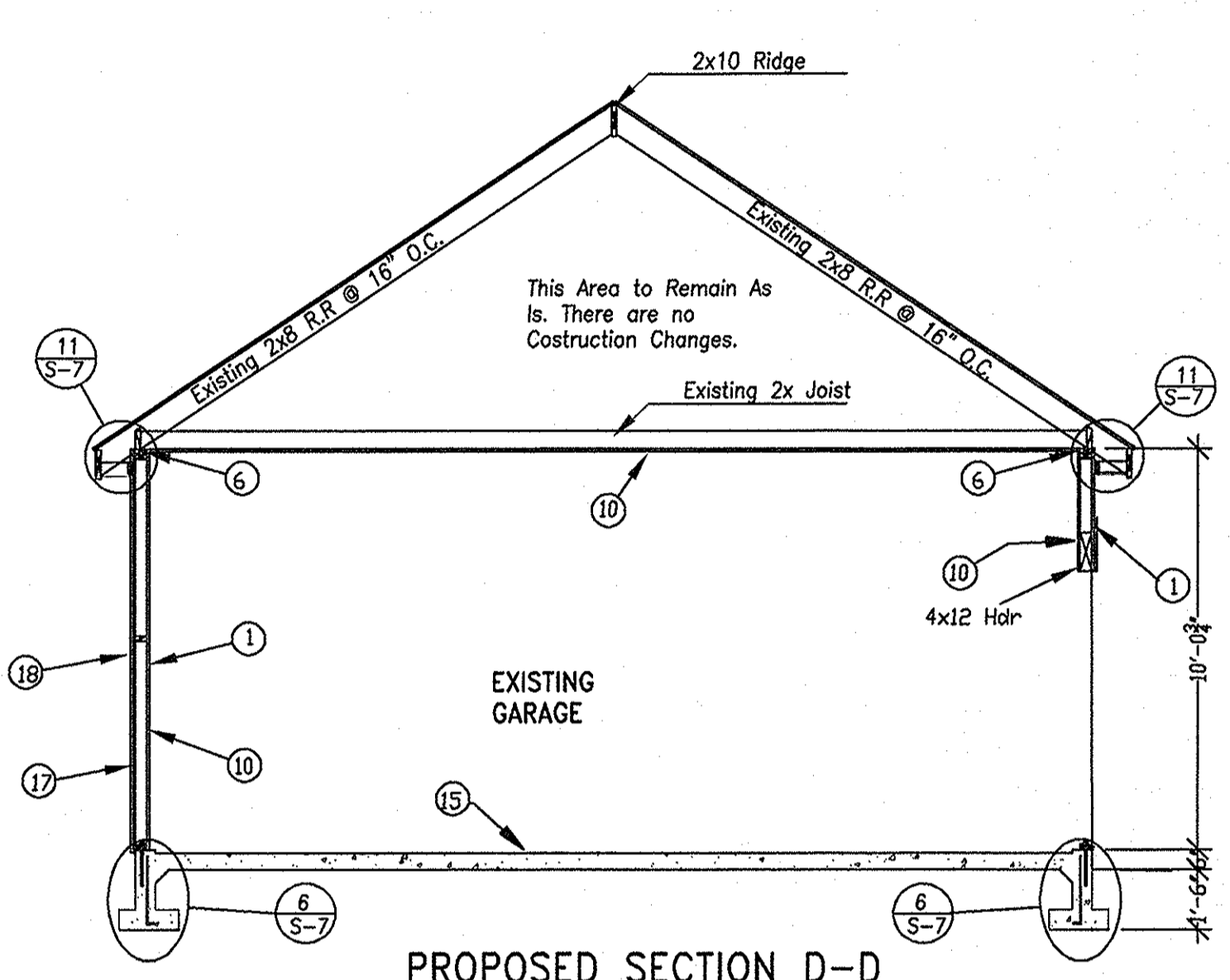
PROPOSED SECTION A-A
SCALE 1/4" = 1'-0"



PROPOSED SECTION B-B
SCALE 1/4" = 1'-0"

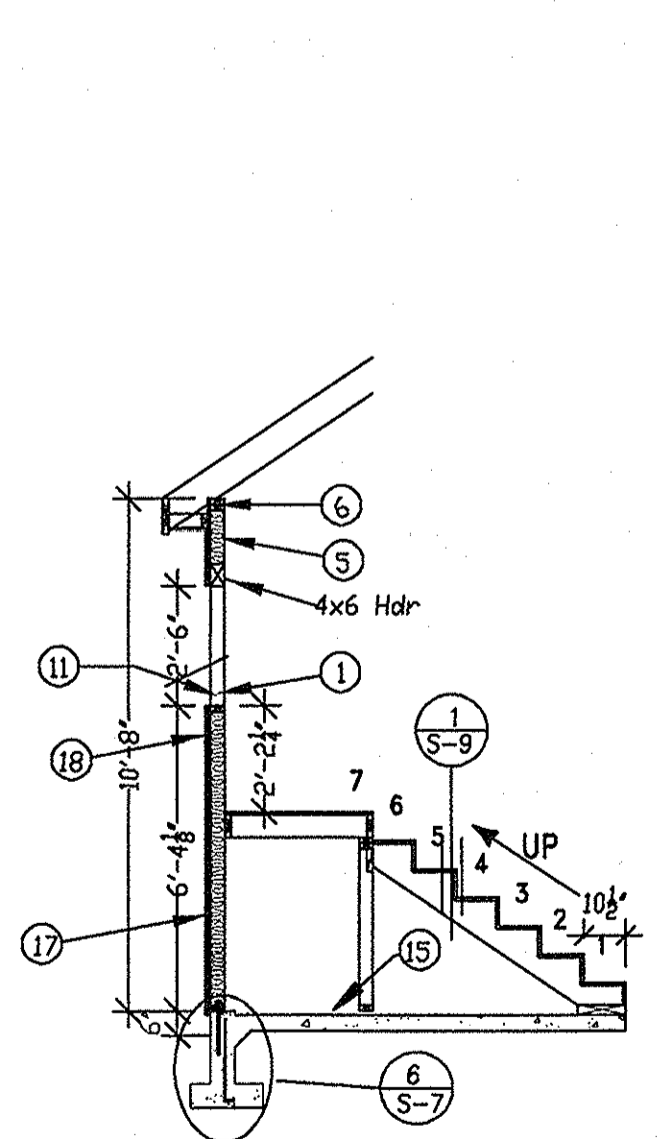


PROPOSED SECTION C-C
SCALE 1/4" = 1'-0"

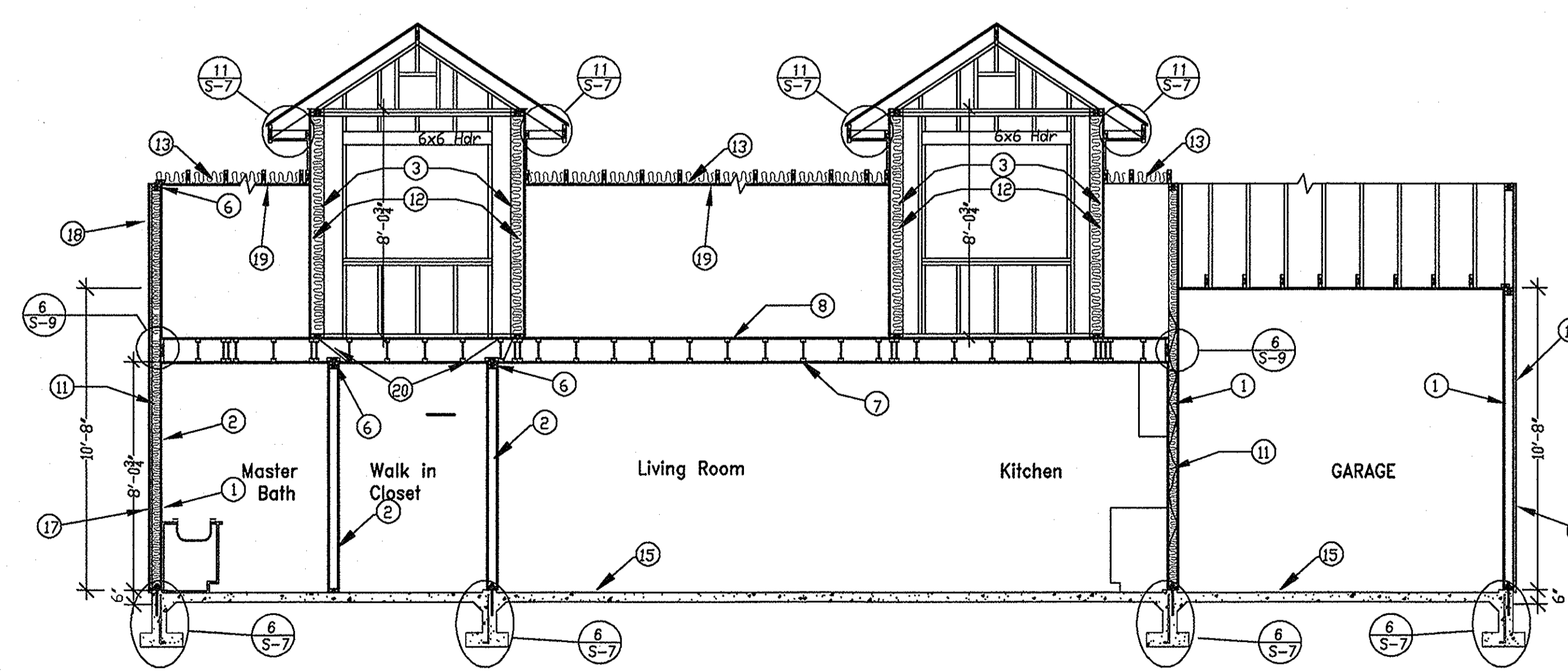


PROPOSED SECTION D-D
SCALE 1/4" = 1'-0"

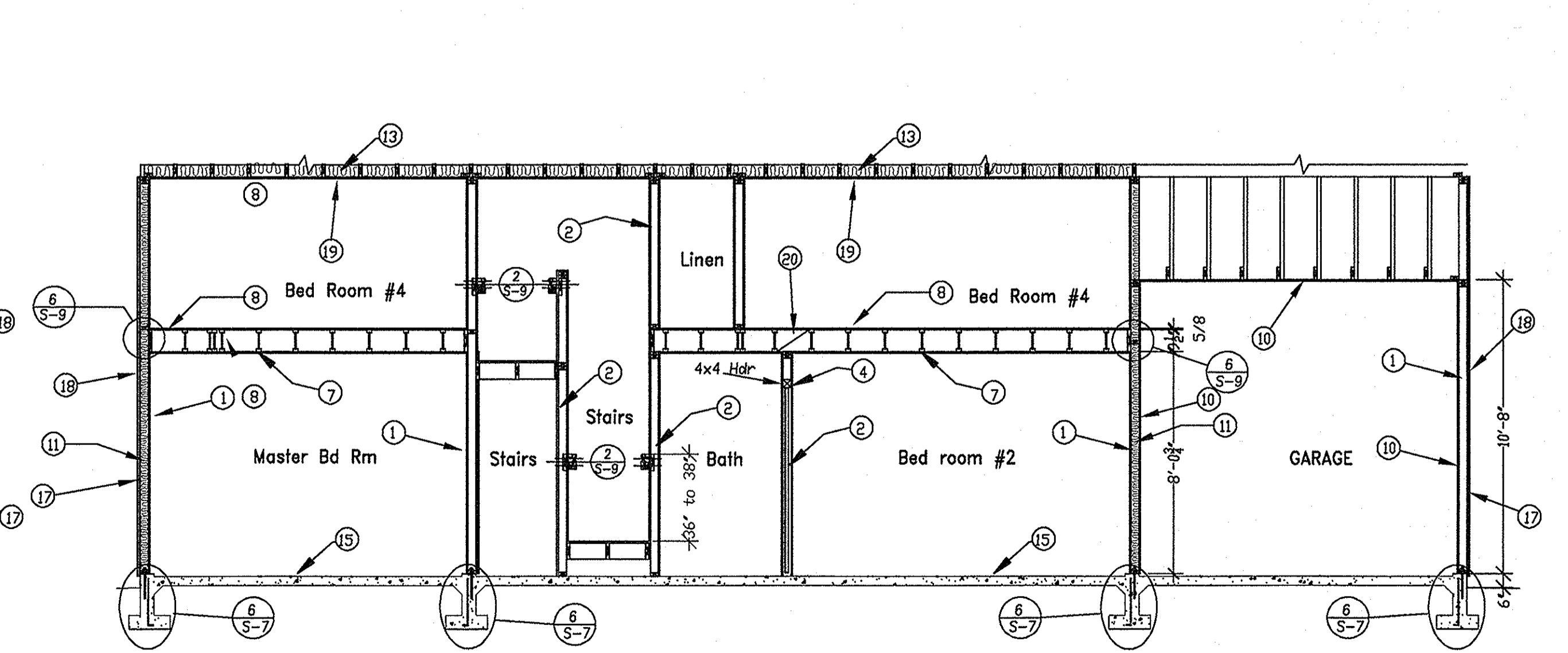
MIN CEILING HEIGHT AT TUB/SHOWER/TOILET IS 6'8"



PROPOSED STAIRS
SCALE 1/4" = 1'-0"



PROPOSED SECTION E-E
SCALE 1/4" = 1'-0"



PROPOSED SECTION F-F
SCALE 1/4" = 1'-0"

CARSON CITY BUILDING DIVISION
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SCALE AS SHOWN

DRAWN BY: DAVID JOHNSON
DATE: 5-15-2019

PARCEL # 009-04-18
LOT 44,203 SQ.FT.

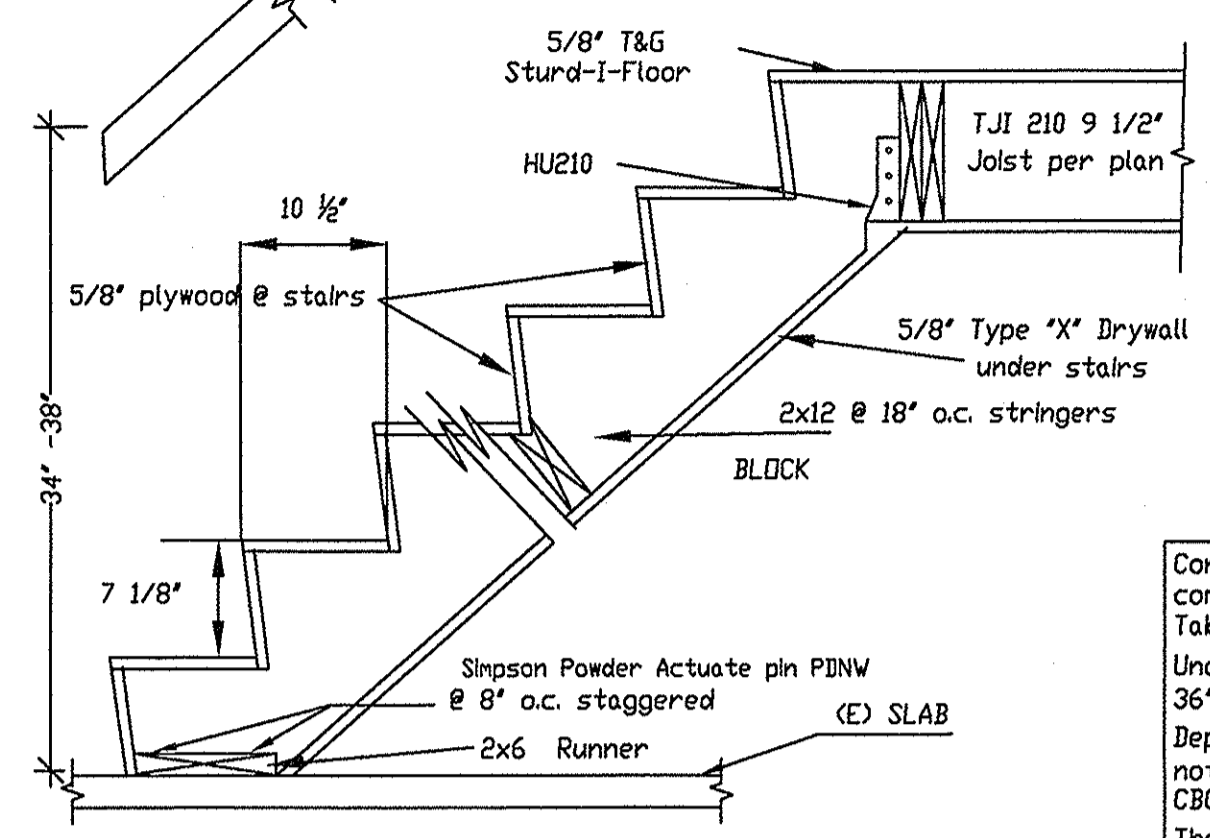
PHONE: 775-351-4852

OWNER: DAVID JOHNSON

PROJECT ADDRESS: 1555 KINGS CANYON RD CARSON CITY, NV. 89703

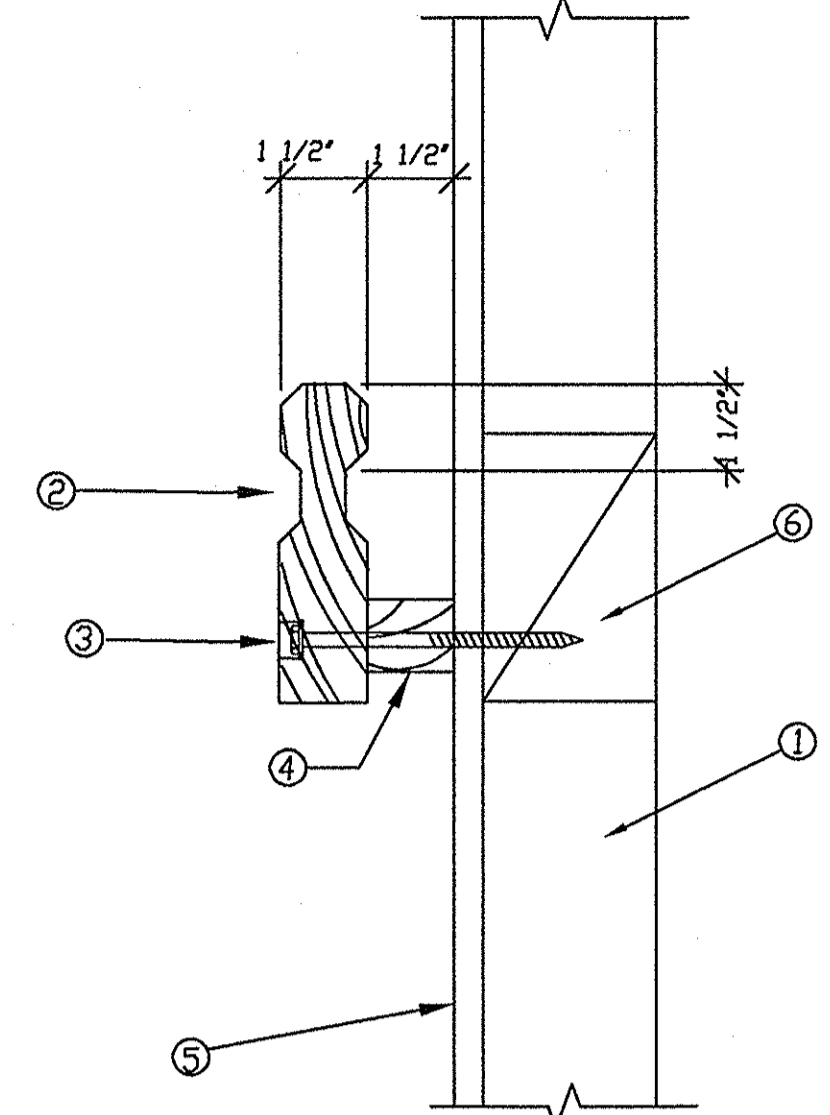
NOTE: ALL HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF STAIRS

The largest tread run within any flight of stairs shall not exceed the smallest by more than 3/8". The greatest riser ht. shall not exceed the smallest by 3/8".
The handrail shall have a space of not less than 1 1/2" between wall and handrail.



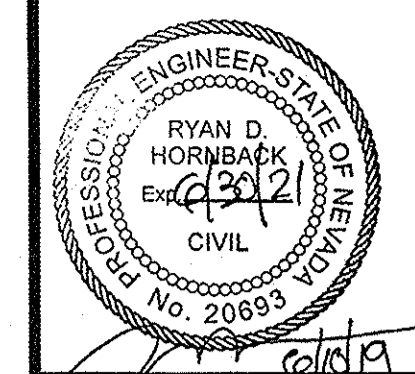
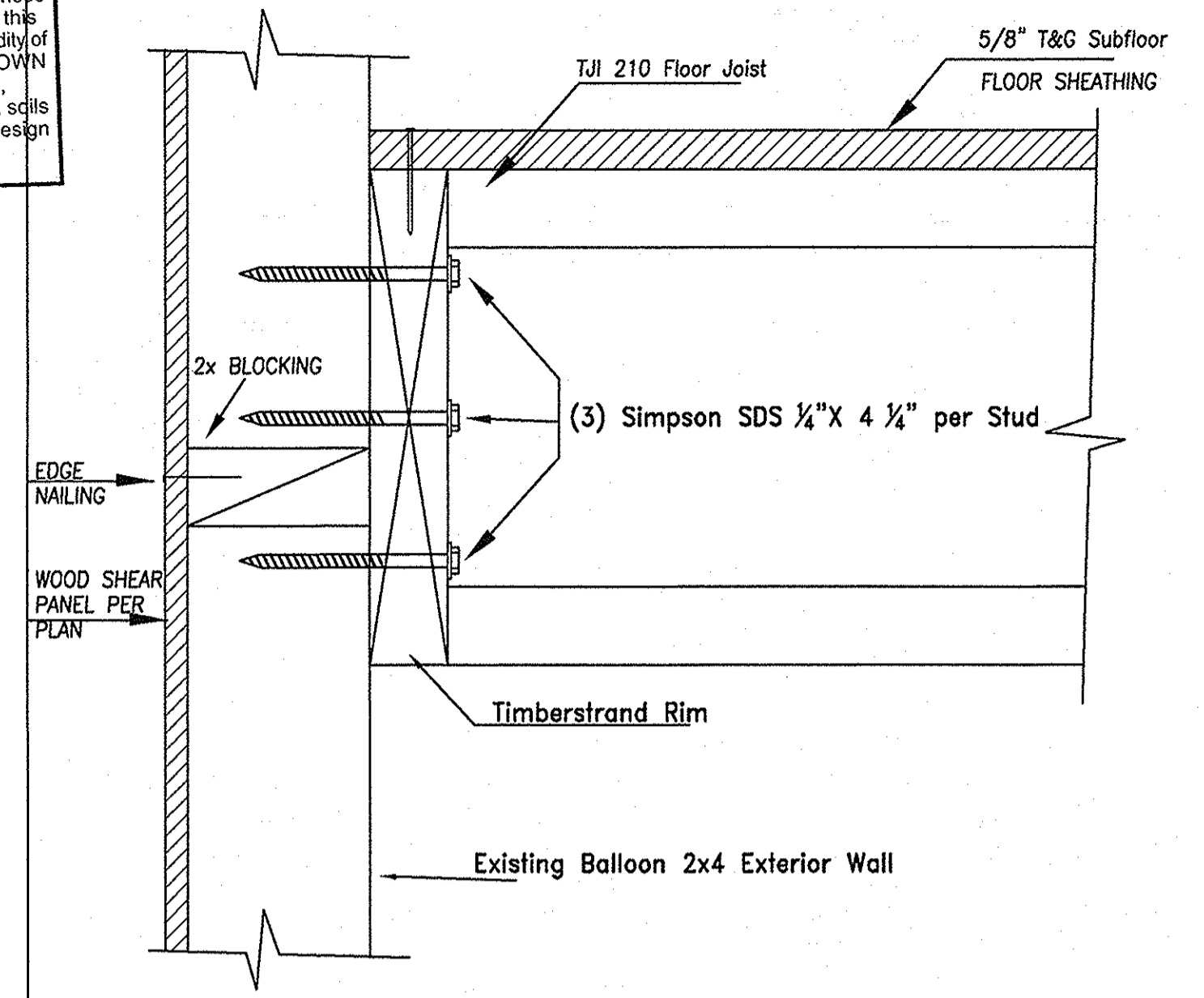
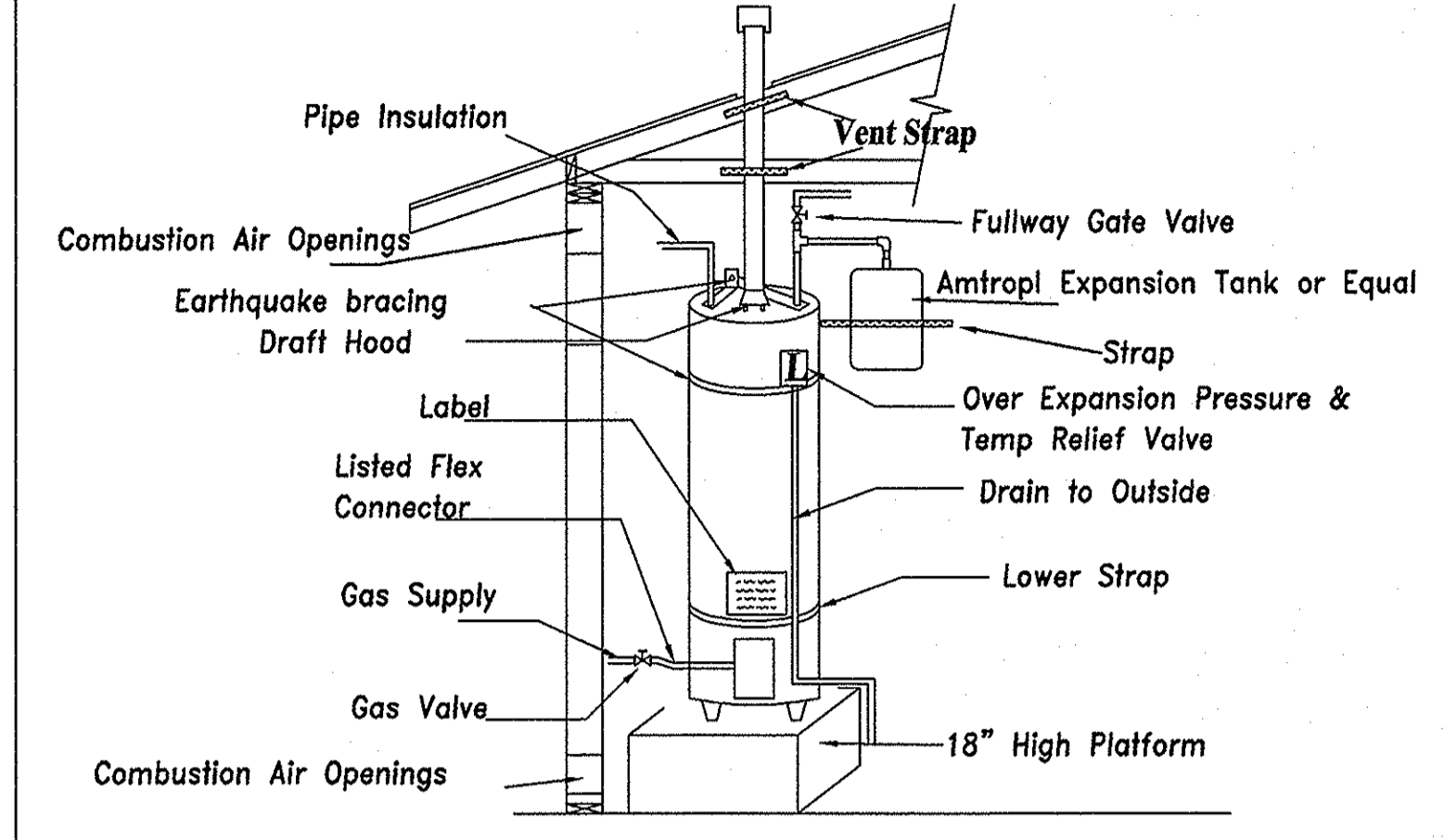
Construction stair details to show compliance with CBC 1009, 1012, 1607.7.1 Table 1607.1. Unobstructed width of stair width 36" min. CBC 1008.1.5. Depth of the stairway landing shall not be less the width of the stairway. CBC 1008.1.5. The depth of landing at door shall be 36" minimum. CBC 1008.1.5

- ① 2x STUDS AT 16" O.C.
- ② 2x6 (S4S) WOOD RAIL W/ EASED EDGES
- ③ COUNTER SINK & LUG @ BOLTS - 3/8" DIA X 5" LAG BOLTS @ 48" O.C.
- ④ 2x3 (S4S) CNT. SPACER
- ⑤ INTERIOR FINISH (Drywall)
- ⑥ 4x SOLID BLOCK



GAS WATER HEATER ELEVATION

This is to certify that Ryan D. Hornback, whose professional engineer's seal appears on this document, assumes responsibility for the validity of only the STRUCTURAL ELEMENTS SHOWN HEREON and NOT for any architectural, site-planning, civil, mechanical, electrical, soils engineering or any other engineering or design aspect of the work.



RYAN D. HORNBACK
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775.690.5490 eyhornback@gmail.com

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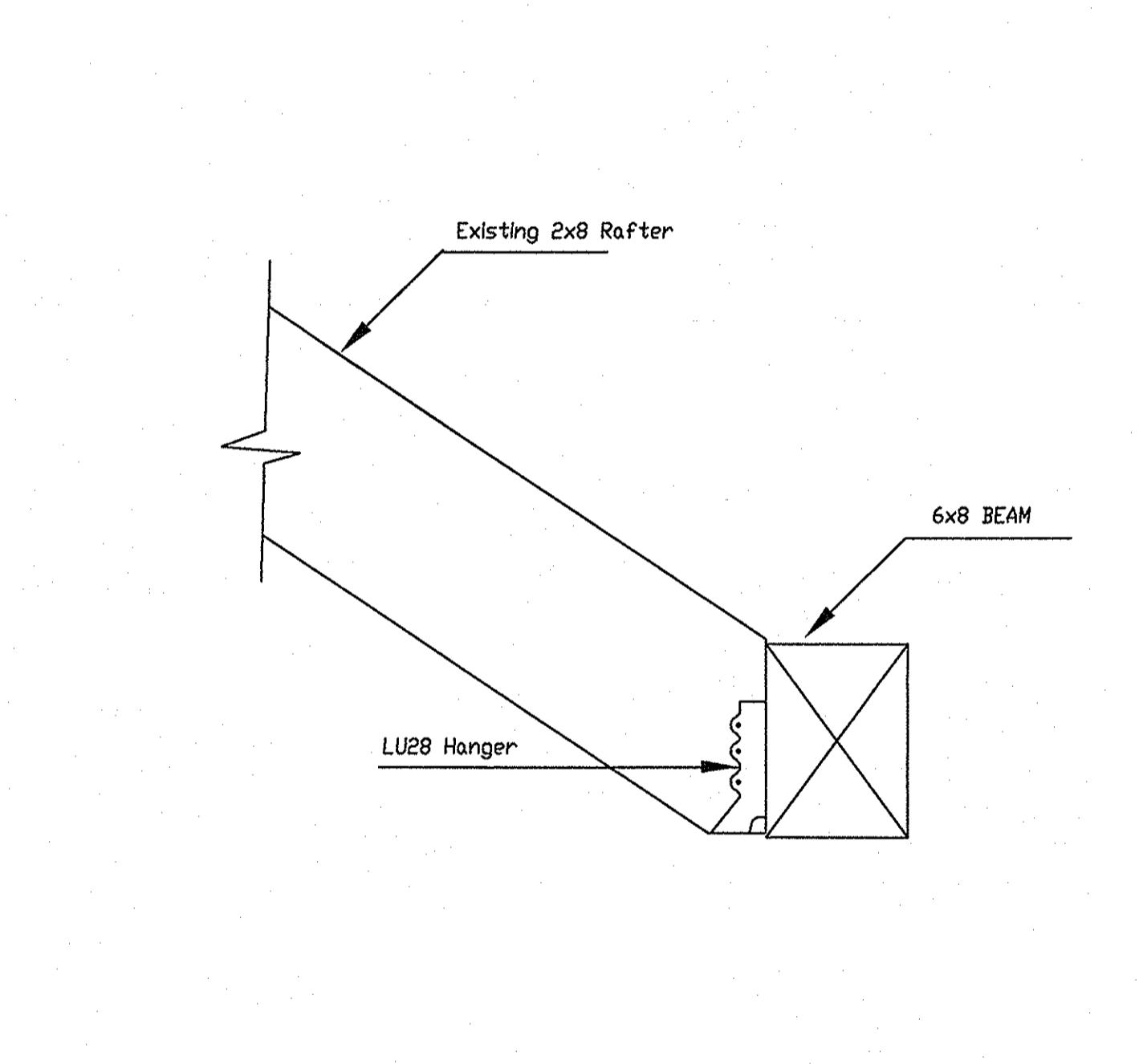
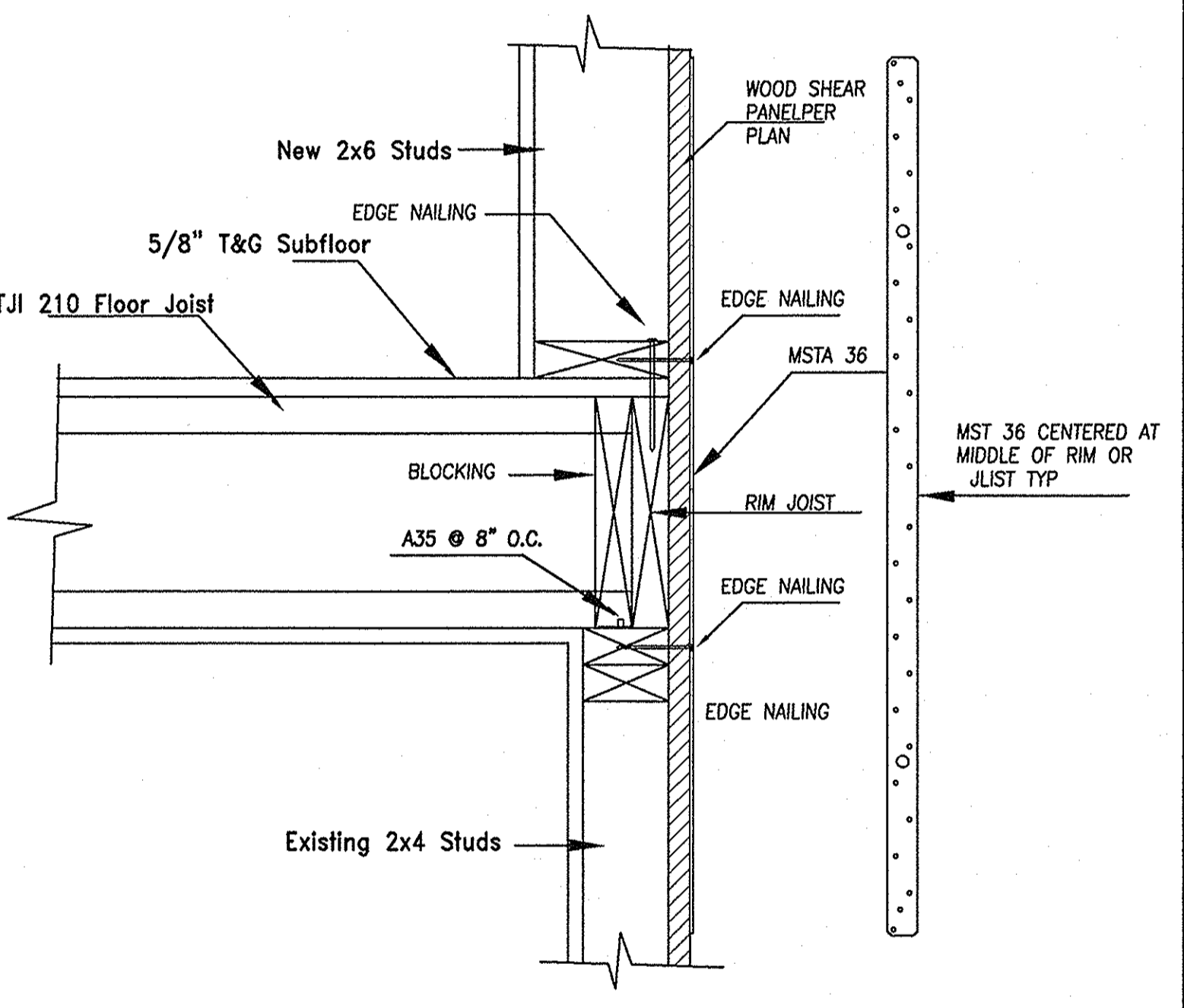
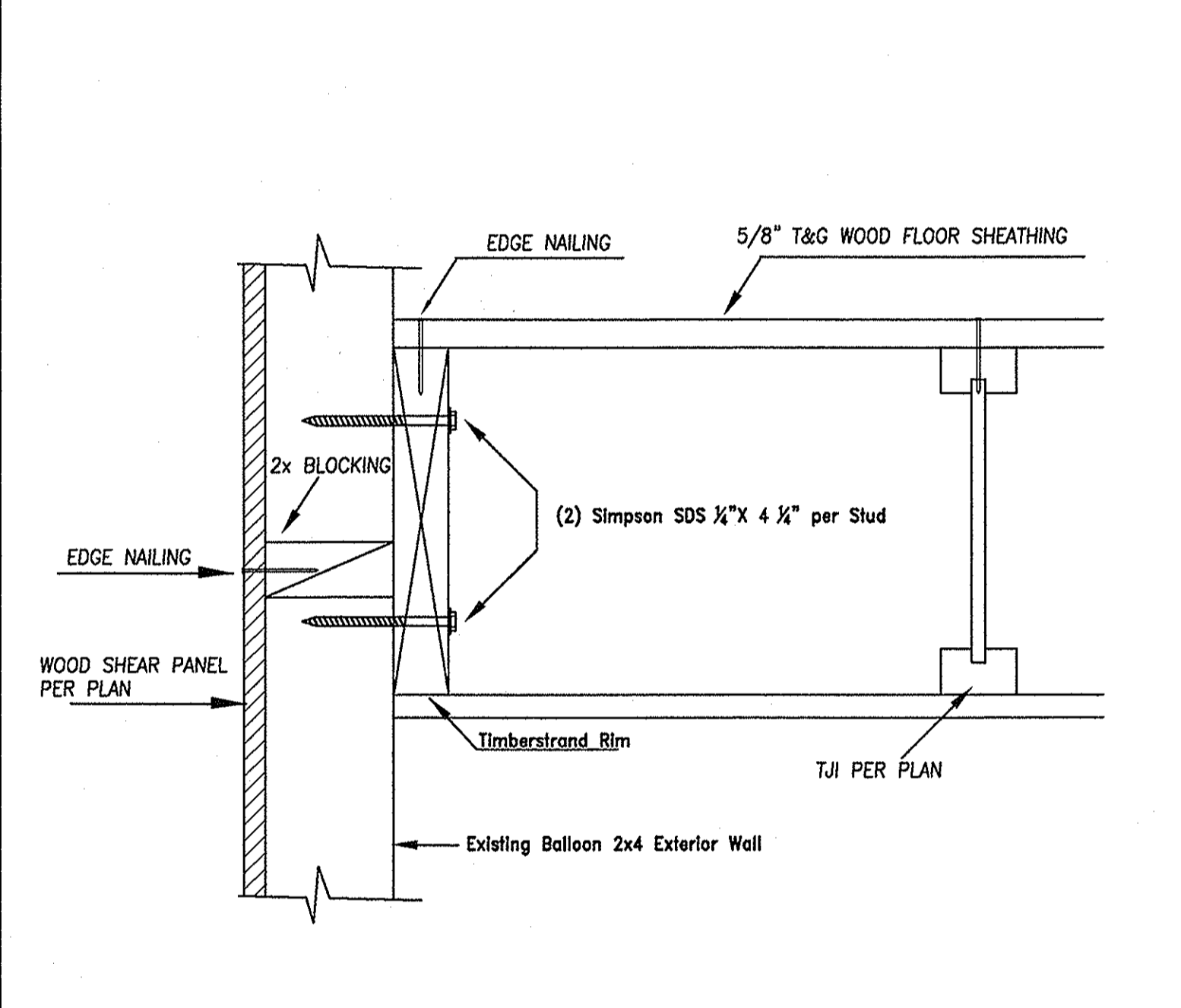
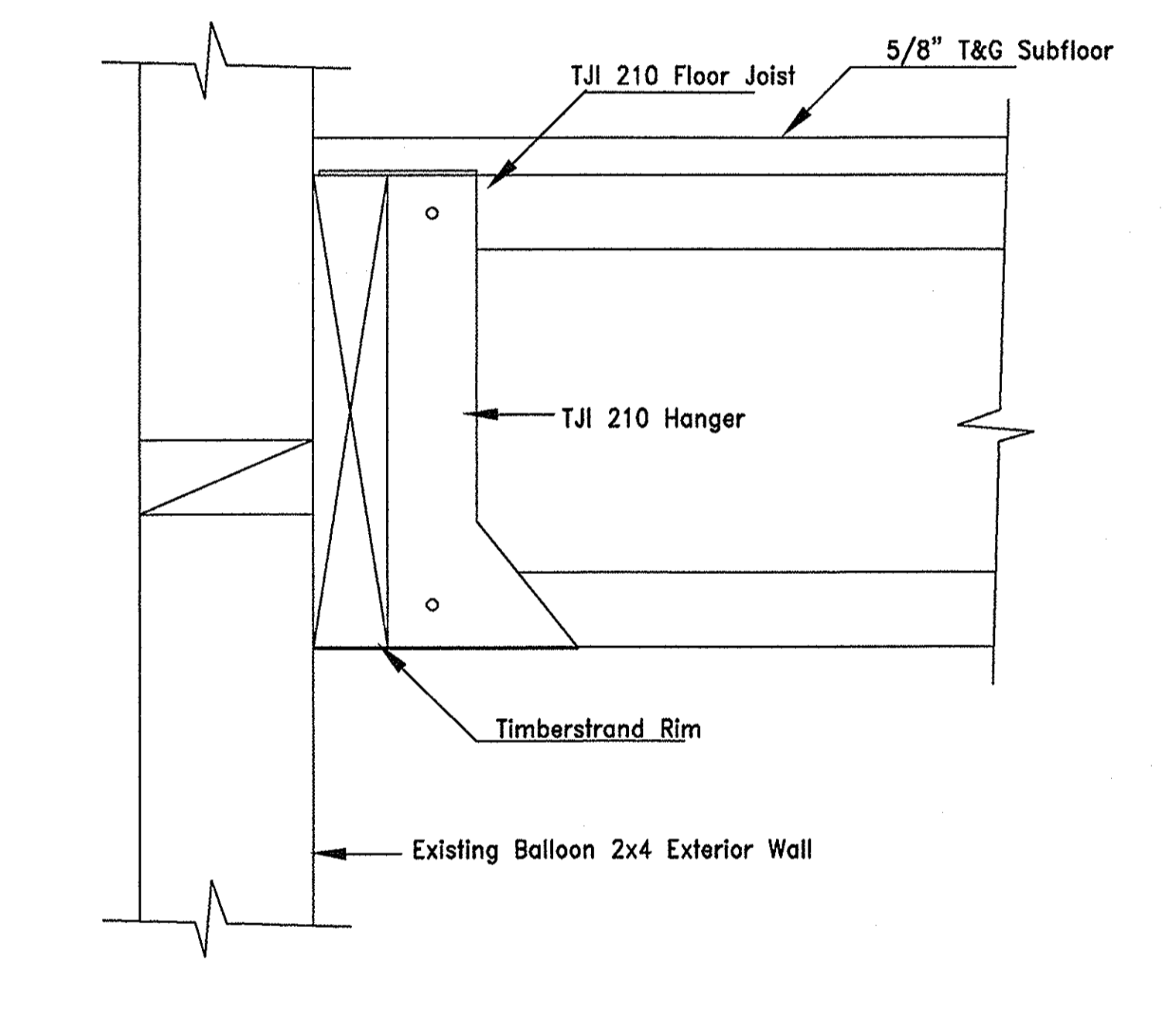
OWNER: DAVID JOHNSON
PROJECT ADDRESS: 1555 KINGS CANYON RD CARSON CITY, NV. 89703

1 INTERIOR STAIRS

2 HANDRAIL DETAIL

3 GAS WATER HEATER ELEVATION

4 JOIST RIM TO WALL CONNECTION

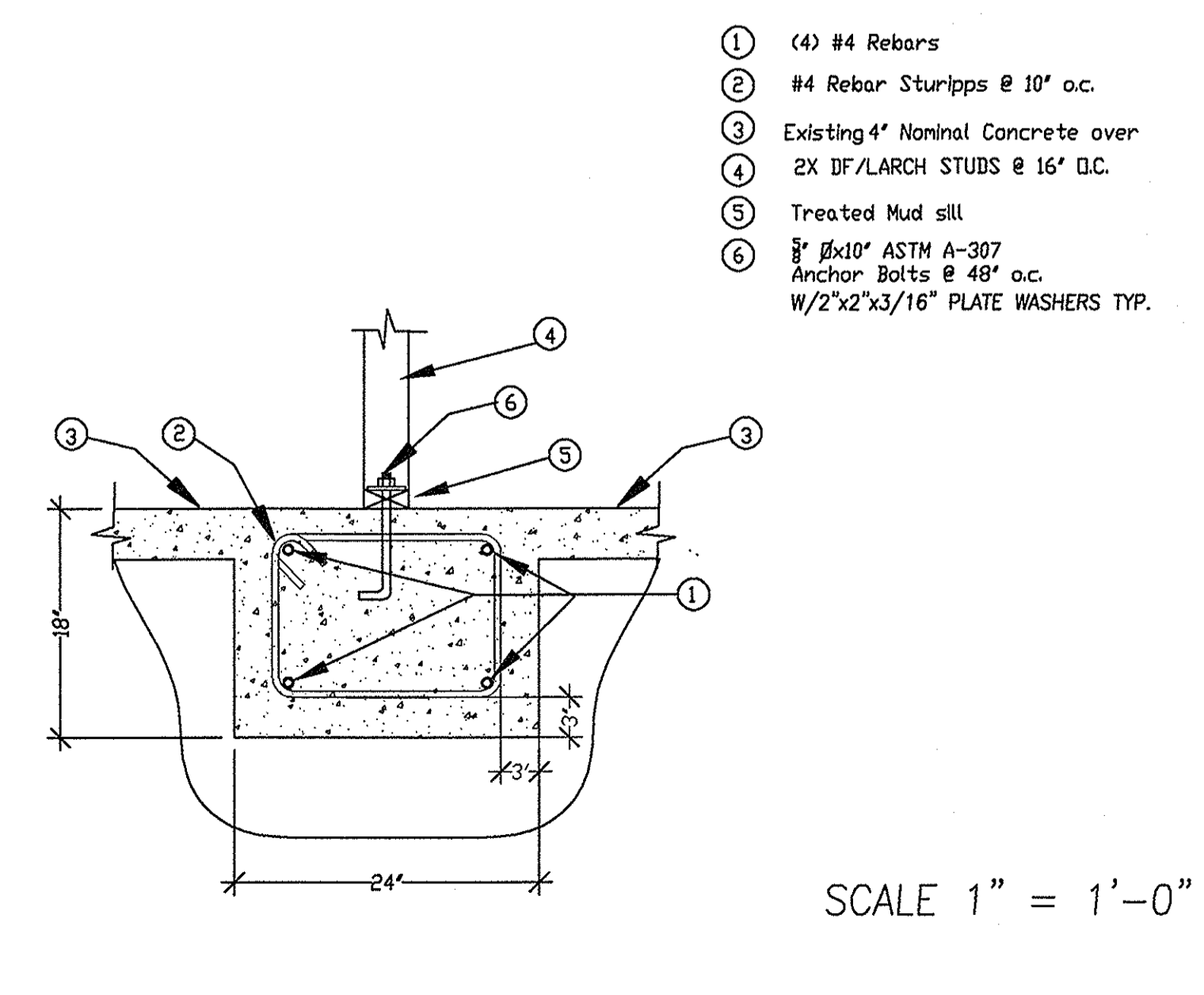


5 JOIST RIM TO TJI CONNECTION

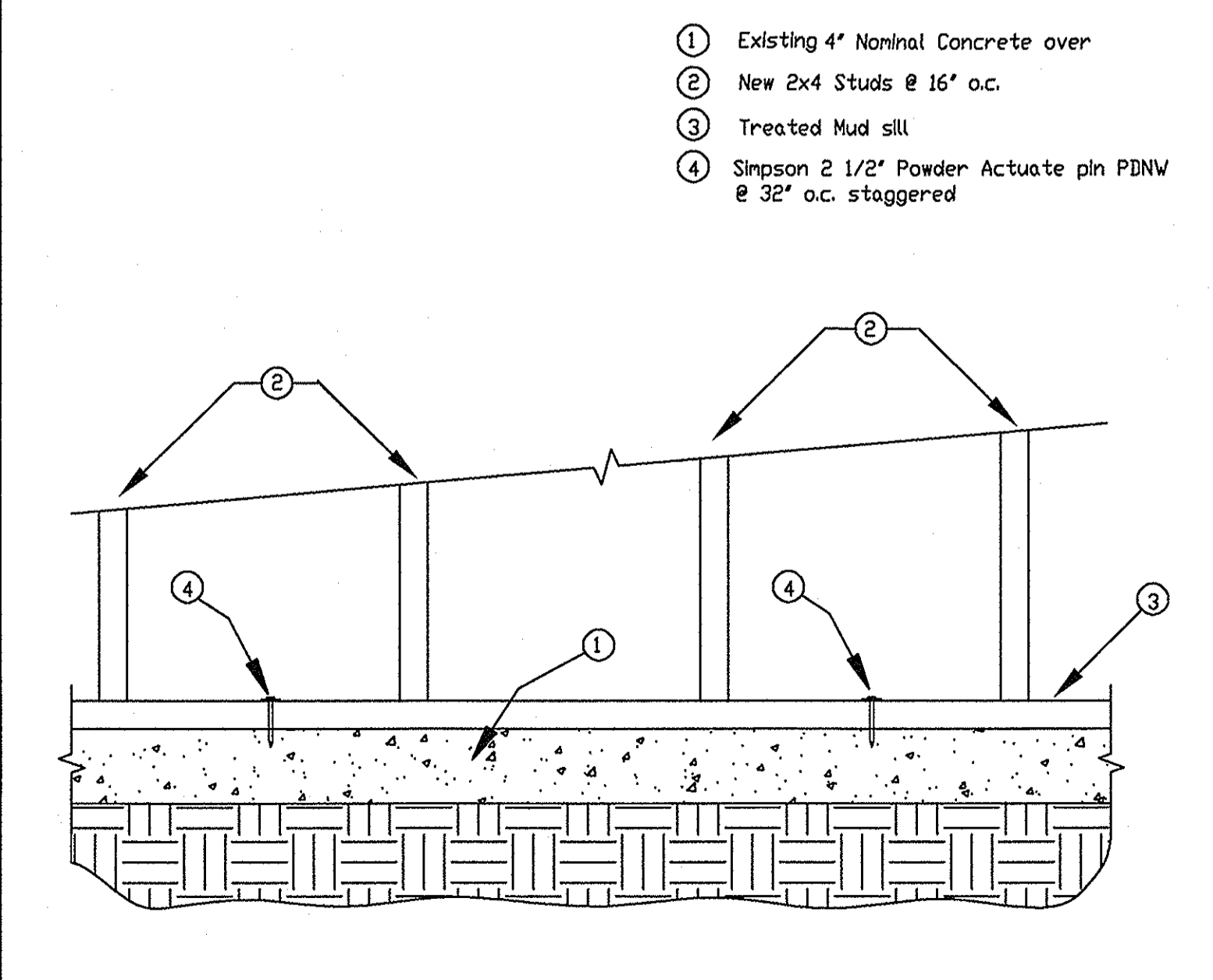
6 JOIST RIM TO WALL CONNECTION

7 WALL TO WALL CONNECTION AT DORMER CONDITION

8 RAFTER TO 6x8 CONNECTION

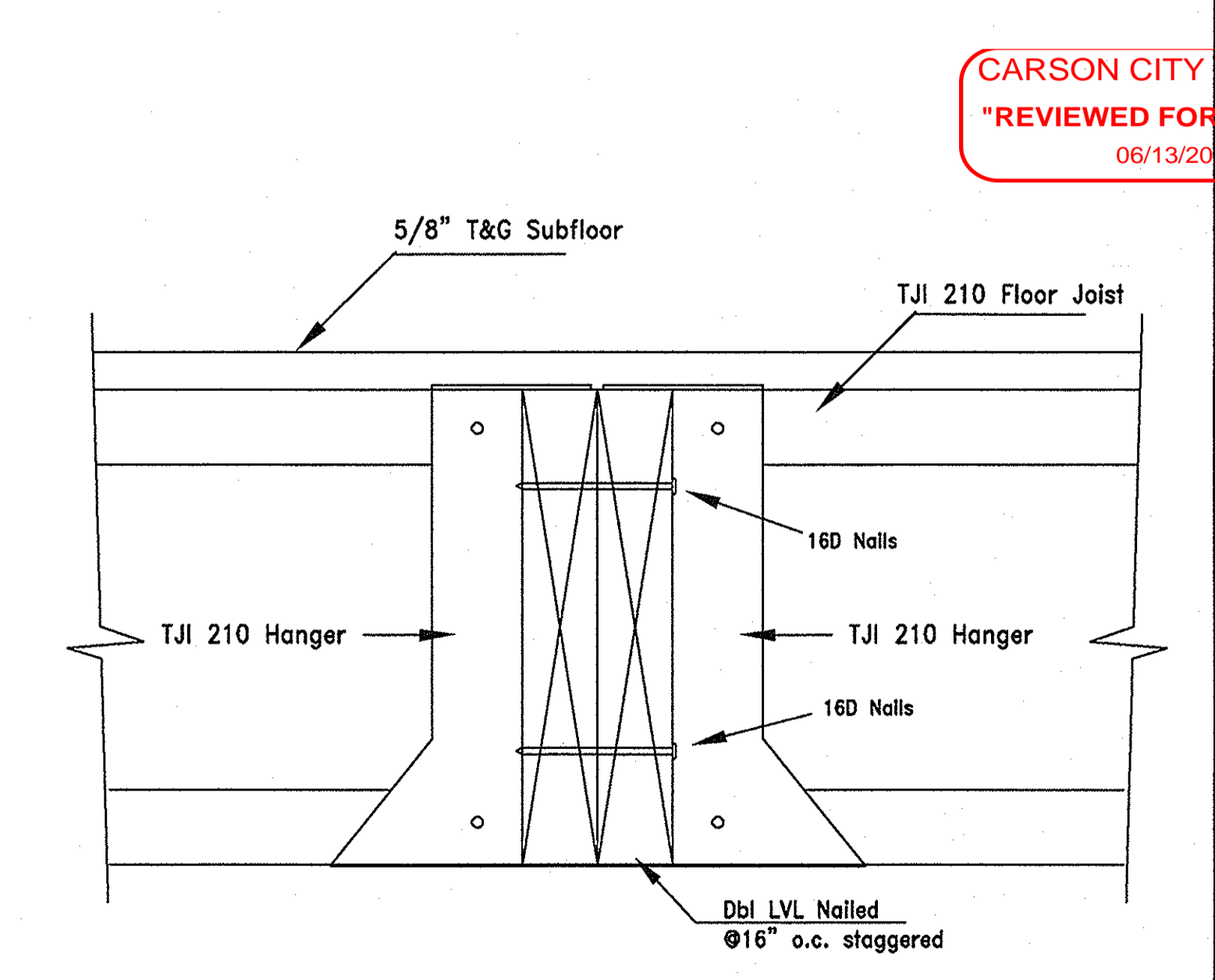


SCALE 1" = 1'-0"

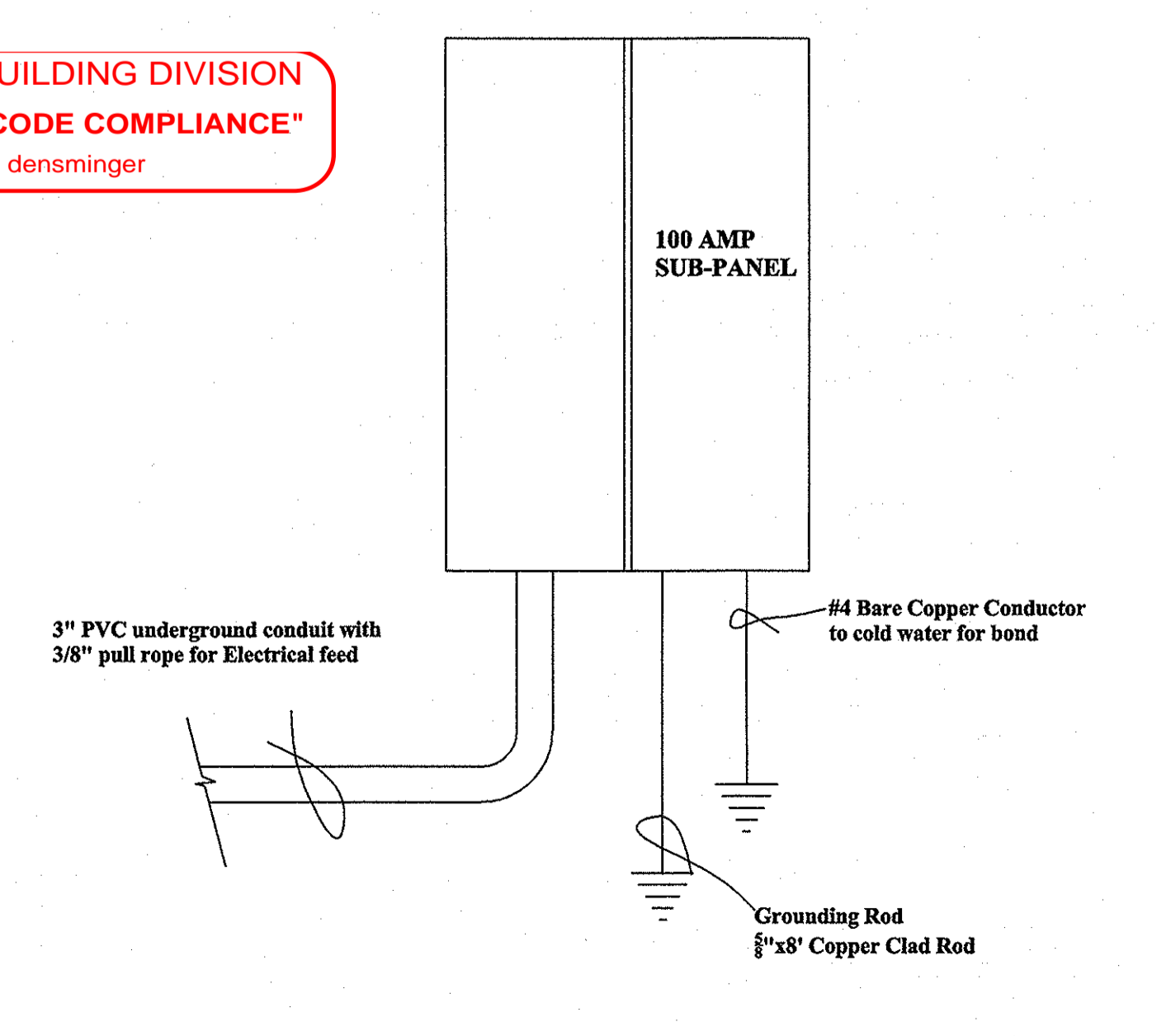


9 NEW INTERIOR BEARING FOOTING

10 NEW NON-BEARING WALLS ON EXISTING CONCRETE



11 TJI CONNECTION @ DBL LVL HEADER



12 100 AMP ELECTRICAL PANEL

CARSON CITY BUILDING DIVISION
"REVIEWED FOR CODE COMPLIANCE"
06/13/2019 densminger

FILE CONTENTS

FILE #

MPR-14-032

APPLICATION TYPE

Major Project Renew

DOCUMENT

Complete Title

APN #

009-014-18

ADDRESS

1555 Kings Canyon Rd

NAME OF APPLICANT

divide into 2 or 3 parcels

NAME OF OWNER

Christina Potter

Carson City Planning Division 108 E. Proctor Street • Carson City NV 89701 Phone: (775) 887-2180 • E-mail: planning@carson.org		FOR OFFICE USE ONLY: MAJOR PROJECT REVIEW RECEIVED MAY 06 2014 CARSON CITY PLANNING DIVISION											
FILE # MPR - 14 - MPR - 14 - 032		FEE: None Classification of Project: <input type="checkbox"/> Single Family Residential <input type="checkbox"/> Multifamily/Apartment <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Utility <input type="checkbox"/> Governmental <input type="checkbox"/> Other <input type="checkbox"/> 10 Applications and Site Plans (1 Original + 9 Copies) <input type="checkbox"/> CD containing application digital data (preferably in pdf format) <input type="checkbox"/> Written Project Description											
APPLICANT Mark Lopiccolo - Lopiccolo Construction	PHONE # 775 690-2906	Application Reviewed and Received By: _____ Meeting Date/Time: _____ See note below or see attached meeting deadline and schedule.											
MAILING ADDRESS, CITY, STATE, ZIP 3655 Arrowhead Dr., Ste 140, Carson City, NV 89706													
EMAIL ADDRESS markl@lopiccoloconstruction.com													
PROPERTY OWNER Christina Potter													
PHONE # 206 601-6256		Application Reviewed and Received By: _____ Meeting Date/Time: _____ See note below or see attached meeting deadline and schedule.											
MAILING ADDRESS, CITY, STATE, ZIP 2830 NW 64th St., Seattle, WA 98107													
EMAIL ADDRESS cpotter@microsoft.com													
APPLICANT AGENT/REPRESENTATIVE Mark Lopiccolo - Lopiccolo Construction													
PHONE # 775 690-2906		Application Reviewed and Received By: _____ Meeting Date/Time: _____ See note below or see attached meeting deadline and schedule.											
MAILING ADDRESS, CITY, STATE ZIP 3655 Arrowhead Dr., Ste 140, Carson City, NV 89706													
EMAIL ADDRESS													
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 30%; padding: 2px;">Project's Assessor Parcel Number(s):</td> <td style="width: 40%; padding: 2px;">Street Address</td> <td style="width: 30%; padding: 2px;">ZIP Code</td> </tr> <tr> <td style="padding: 2px;">009-014-18</td> <td style="padding: 2px;">1555 Kings Canyon Rd., Carson City, NV</td> <td style="padding: 2px;">89703</td> </tr> <tr> <td style="padding: 2px;">Project's Current Master Plan Designation</td> <td style="padding: 2px;">Project's Current Zoning</td> <td style="padding: 2px;">Nearest Major Cross Street(s)</td> </tr> <tr> <td style="padding: 2px;">Medium</td> <td style="padding: 2px;">Single Family 6000 (sf6)</td> <td style="padding: 2px;">So. Ormsby</td> </tr> </table>			Project's Assessor Parcel Number(s):	Street Address	ZIP Code	009-014-18	1555 Kings Canyon Rd., Carson City, NV	89703	Project's Current Master Plan Designation	Project's Current Zoning	Nearest Major Cross Street(s)	Medium	Single Family 6000 (sf6)
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009-014-18	1555 Kings Canyon Rd., Carson City, NV	89703											
Project's Current Master Plan Designation	Project's Current Zoning	Nearest Major Cross Street(s)											
Medium	Single Family 6000 (sf6)	So. Ormsby											

Briefly describe your project. In addition to the brief description of your project and proposed use, provide additional page(s) to show a more detailed summary of your project and proposal.

This preliminary package is a request for information regarding the City of Carson requirements for parceling this property.

Option A: 2 Lots Option B: 3 Lots

GOAL

The review process including MPR speeds up the permit approval system. With Major Project Review, the builder and developer are able to learn about the needs of meeting City requirements long before final plans are submitted. In many cases, revisions and/or resolution between the builder, developer, and City staff can be clarified and resolved during this meeting. In this way, the final plans that are submitted for permit plan review plan are already in compliance with City standards. This means fewer or no delays during plan checking.

NOTE: Major Project Review meetings are usually held twice a month. The application must be submitted 14 working days prior to the meeting date or the application will be scheduled on the following meeting date. See attached schedule for dates.



Carson City Planning Division

108 E. Proctor Street
Carson City, Nevada 89701

(775) 887-2180-Hearing Impaired:711

www.carson.org

www.carson.org/planning

June 9, 2014

Mr. Mark Lopiccolo
Lopiccolo Construction
3655 Arrowhead Drive, Suite 140
Carson City, NV 89706

markl@lopiccoloconstruction.com

Ms. Christina Potter
2830 NW 64th Street
Seattle, WA 98107

cpotter@microsoft.com

Major Project Review: MPR-14-032

Project Description: 1555 Kings Canyon Road Parcel Map – Two Parcels

Review Date: May 20, 2014

Major Project Review Comments

The Major Project Review Committee has reviewed the proposed plans for the Parcel Map to create two parcels at 1555 Kings Canyon Road. The following requirements and comments are provided for your use in preparing final plans and submittals for the project. Please be advised that the comments presented in this letter are based on the plans submitted with the Major Project Review application and may not include all the requirements or conditions which may be placed on the project at the time of submittal of planning applications for approval (if applicable) or final plans for building permits. It is hoped, however, that this review will expedite the completion of your project.

Some of the requirements noted below may have already been shown or otherwise indicated in the plans and need only be submitted in the final improvement plan form. Final on- and off-site improvement plans shall be submitted to the Building Division, (108 E. Proctor Street). These plans must contain all appropriate requirements of Development Engineering, Health, Utilities, Fire, and Planning Divisions/Departments.

Planning applications (if applicable), such as Master Plan Amendments, Zoning Changes, Special Use Permits, Variances, Lot Line Adjustments, Parcel Maps, etc. shall be submitted to the Planning Division (108 E. Proctor Street) for review and approval.

SITE INFORMATION:

Address: 1555 Kings Canyon Road

APN: 009-014-18

Parcel Size: 1.01 acres

Master Plan Designation: Medium Density Residential (MDR)

Zoning: Single Family 12,000 (SF12)

PLANNING DIVISION

Contact Susan Dorr Pansky, Planning Manager

1. Based on the applicant's proposal, a Parcel Map will be required (see Parcel Map section below for additional information).
2. The proposed parcel map to create two parcels is permitted in the SF12 zoning district provided that a minimum lot size of 12,000 square feet is maintained. Parcel 1 in its current configuration does not meet the minimum lot size and would either need to be reconfigured or granted an Administrative Variance.
3. A minimum lot width of 70 feet and a maximum lot depth of 210 feet shall also be maintained for each parcel.

Variance – CCMC 18.02.085

1. The Parcel Map will require an Administrative Variance for Parcel 1 if the parcel is to remain at 11,674 square feet in size.
2. A Variance will be required for the side yard setback of Parcel 1 if it remains at seven feet.
3. A Variance will be required for the side yard and street side yard setbacks of Parcel 2 if they remain at five feet.

Setbacks - CCMC 18.04.190 (Residential) or CCMC 18.04.195 (Non-residential)

	<u>Front</u>	<u>Rear</u>	<u>Side</u>	<u>Street Side</u>
Required:	20 feet	10 feet	15 feet	20 feet
Proposed – Parcel 1:	20 feet	5 feet*	7 feet	N/A
Proposed – Parcel 2:	20 feet	10 feet	5 feet	5 feet

**The existing shed does not meet the minimum rear setback, however, because it is an accessory structure not exceeding 400 square feet, it is allowed to be five feet from the property line per CCMC 18.05.055(3).*

Proposed setbacks are not in compliance with zoning district requirements and Variances will be required as outlined above unless the setbacks are modified.

Parcel Map – CCMC 17.03.010

To create a second parcel, a Parcel Map will be required. A completed Parcel Map application with a fee in the amount of \$2,750.00, preliminary paper copies of the map and supporting documents shall be submitted to the Planning Division. Staff will review the Parcel Map application and hold a Parcel Map Committee meeting to approve the Tentative Parcel Map. The applicant shall then meet all conditions of approval before staff will accept the mylar map for recordation. A blank Parcel Map application has been attached to this letter for reference.

With the creation of Parcel 2, the two accessory structures (existing root cellar and existing

barn) would become the only structures on Parcel 2. Accessory structures on a parcel that does not have a primary structure are not permitted as outlined below:

18.05.055 Accessory Structures

1. *It shall be unlawful to construct, erect or locate in any residential district, private garages or other accessory buildings without a permissive main building, except: a temporary building may be constructed and occupied as a legal use pending the construction of a permanent use provided that no permit shall be issued for such temporary structure unless a permit also be issued at the same time for the permanent building. If it be proposed to convert said temporary structure to a permissive accessory use upon completion of the main structure, said conversion shall occur upon completion of the final structure or be removed at that time or within a period of one year from the date of issuance of original permit.*

As discussed at the Major Project Review meeting, the applicant has two options with regard to the two accessory structures and Parcel 2.

1. Remove the accessory structures from Parcel 2 prior to recordation of the Parcel Map.
2. Obtain a valid Building Permit for a main structure on Parcel 2 in conjunction with the recordation of the Parcel Map. This will be included as a condition of approval for recordation of the Final Parcel Map with a stipulation that if a primary structure is not constructed within a specified period of time, the accessory structures will need to be removed.

Growth Management - CCMC 18.12

- Growth Management applies to all residential, commercial and industrial property that is required to be served by city water and/or sewer service within the consolidated municipality of Carson City.

Due to changing conditions of business and requirements for zoning, master plan and development codes of Carson City, this MPR information will expire and will need to be updated with a new MPR if the developer has not applied for a building permit within one year of the date of the MPR meeting.

As discussed at the MPR meeting, the applicant shall provide the following with any planning or building permit submittal in relation to the proposed project in addition to the required plans:

- Copy of this MPR letter

BUILDING DIVISION
Contact Kevin Gattis, Chief Building Official

No comments.

ENGINEERING AND UTILITIES

Contact Rory Hogen, Assistant Engineer

1. Any engineering work done on this project must be wet stamped and signed by an engineer licensed in Nevada. This will include site, grading, utility and erosion control plans as well as standard details.
2. All construction work must be to Carson City Development Standards (CCDS) and meet the requirements of the Carson City Standard Details.
3. Fresh water must be used for dust control.
4. The water main in the private driveway must be extended and connected to the main in Ormsby Blvd. The improvements must be an eight inch water main.
5. The sewer main in the private roadway must be extended to 10 feet south of the north property line of the last parcel.
6. If any construction occurs on the steeper areas in the back, the Hillside Development requirements may apply.
7. The width of the paved portion of the private roadway must meet Fire Department requirements.
8. Please show all existing water and sewer utilities, including mains in the street.
9. If three parcels are chosen, the full frontage easement improvements must be done. If only two parcels are chosen, the access road only needs to meet Fire Department requirements.

FIRE DEPARTMENT

Contact Dave Ruben, Fire Prevention Captain

1. The roadway from Ormsby to the parcel(s) must be a minimum of 20 feet wide (paved or all weather surface).
2. The parcel(s) must be addressed off of S. Ormsby.

HEALTH DEPARTMENT

Contact Dustin Boothe, Environmental Health Specialist

1. All parcels in the split would need to be serviced by municipal sewer and water connections.

PARKS AND RECREATION DEPARTMENT

Contact Roger Moellendorf, Parks Director

No comments.

PUBLIC WORKS-TRANSPORTATION

Contact Daniel Doenges, Senior Transportation Planner

No comments.

PUBLIC WORKS-ENVIRONMENTAL
Contact Mark Irwin, Environmental Control Officer

No comments.

The aforementioned comments are based on the Major Project Review Committee's review. If you have any questions, please feel free to contact the following members of staff, Monday through Friday 8:00 AM to 4:00 PM.

Planning Division –

Susan Dorr Pansky, Planning Manager
(775) 283-7076

Email: spansky@carson.org

Engineering Division –

Rory Hogen, Assistant Engineer
(775) 887-2300

Email: rhogen@carson.org

Building Division –

Kevin Gattis, Chief Building Official
(775) 887-2310

Email: kgattis@carson.org

Fire Prevention –

Dave Ruben, Fire Prevention Captain
(775) 283-7153

Email: druben@carson.org

Health Department –

Dustin Boothe, Environmental Health Specialist
(775) 887-2190

Email: dboothe@carson.org

Parks and Recreation Department –

Roger Moellendorf, Parks Director
(775) 887-2262

Email: rmoellendorf@carson.org

Transportation –

Daniel Doenges, Senior Transportation Planner
(775) 887-2355

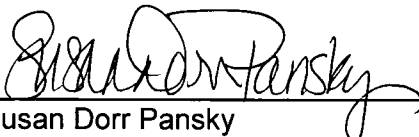
Email: ddoenges@carson.org

Environmental Control –

Mark Irwin, Environmental Control Officer
(775) 283-7380

Email: mirwin@carson.org

Sincerely,
Community Development Department, Planning Division



Susan Dorr Pansky
Planning Manager

cc: Major Project Review Committee
MPR-14-032

Attachment: Parcel Map Application

J



MEMORANDUM

RECEIVED

JUN 04 2014

CARSON CITY
PLANNING DIVISION

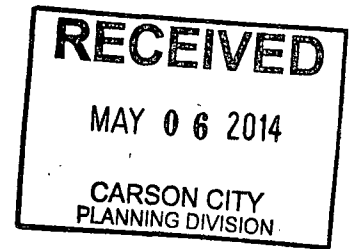
DATE: June 4, 2014
TO: Planning Division
FROM: Rory Hogen and Danny Rotter, P.E. – Engineering, and Utilities
RE: MPR 14-032 1550 Kings Cyn. Rd. Parcel Map Improvements
Engineering Comments

This Division has completed a review of the above referenced project.

Based on our review, the following comments are offered:

1. Any engineering work done on this project must be wet stamped and signed by an engineer licensed in Nevada. This will include site, grading, utility and erosion control plans as well as standard details.
2. All construction work must be to Carson City Development Standards (CCDS) and meet the requirements of the Carson City Standard Details.
3. Fresh water must be used for dust control.
4. The water main in the private driveway must be extended and connected to the main in Ormsby Blvd. The improvements must be an 8" water main.
5. The sewer main in the private roadway must be extended to 10 feet south of the north property line of the last parcel.
6. If any construction occurs on the steeper areas in back, the Hillside Ordinance requirements may apply.
7. The width of the paved portion of the private roadway must meet Fire Department requirements.
8. Please show all existing water and sewer utilities, including mains in the street.
9. If 3 parcels are chosen, the full frontage easement improvements must be done. If only 2 parcels are chosen, the access road only needs to meet Fire Dept. requirements.

These comments are based on a very general site plan and do not indicate a complete review. All pertinent requirements of Nevada State Law, Carson City Code, and Carson City Development Standards will still apply whether mentioned in this letter or not.



May 7, 2014

Major Project Review Committee

Re: # MPR – 14-032

Dear Kathe,

After initial plan review the Carson City Environmental Control Authority (ECA), a Division of Carson City Public Works Department (CCPW), has the following requirements per the Carson City Municipal Code (CCMC) and the Uniform Plumbing Code (UPC) for the MPR 14-032 Kings Canyon Rd. project:

1. ECA has no requirements or comments for this project.

Please notify Mark Irwin if you have any questions regarding these comments, I can be reached at 775-283-7380.

Sincerely;

Mark Irwin
Environmental Control Officer 3

c: Kelly Hale, Environmental Control Supervisor

Susan Dorr Pansky

From: Stacey Giomi
Sent: Tuesday, May 20, 2014 2:47 PM
To: Susan Dorr Pansky
Cc: Dave Ruben
Subject: MPR-14-032

Follow Up Flag: Flag for follow up
Flag Status: Flagged

Fire Department Comments.

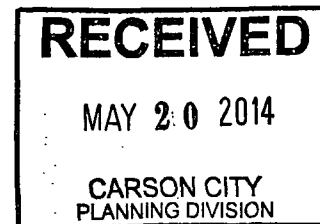
1. The roadway from Ormsby to the parcel(s) must be a minimum of 20' wide (paved or all weather surface).
2. The parcel(s) must be addressed off of S. Ormsby.

Stacey Giomi - Fire Chief/Emergency Management Director
Carson City Fire Department
777 S. Stewart St.
Carson City, NV 89701

Office: (775) 283-7150
Fax: (775) 887-2209

File # (Ex: MPR #07-111)	<i>MPR-14-032</i>
Brief Description	<i>Re-parceling</i>
Project Address or APN	<i>APN 009-014-18</i>
Bldg Div Plans Examiner	<i>Kevin Gattis</i>
Review Date	
Total Spent on Review	

BUILDING DIVISION COMMENTS: No comments



Susan Dorr Pansky

From: Dustin Boothe
Sent: Monday, May 19, 2014 8:44 AM
To: Susan Dorr Pansky
Subject: MPR 14-032

Susan:

For MPR-14-032 Carson City Health and Human Services has the following comments.

All parcels in the split would need to be serviced by municipal sewer and water connections.

Dustin Boothe, MPH, REHS
Carson City Health and Human Services
900 E. Long St.
Carson City, NV 89706
(775) 887-2190 ext. 7220

dboothe@carson.org

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MPR-14-032
 1555 Kings Canyon Rd. Parcel Map
 May 20, 2014

NAME	ADDRESS	PHONE NUMBER	EMAIL ADDRESS
David Parsky	Planning	283-7074	sparsky@canon.org
KEVIN GATTIS	51012	887-1310	
Rory Hogen	108 E Procter cc 94701	283-7082	r.hogen@carson.org
Stacey Giomi	FIRE	283-7150	SGiomi@CARSON.ORG
Mark Lopiccolo	3655 ARROWHEAD DR. Contractor	882-9447	MARKLELOPICCOLLO@CONSTRUCTION.COM
Lora Ellingwood	Lopiccolo Construction 3655 Arrowhead #140 c.c.	882-9447	lorae@lopiccollobconstruction.com

ORIGINAL

Carson City Planning Division
108 E. Proctor Street • Carson City NV 89701
Phone: (775) 887-2180 • E-mail: planning@carson.org

FILE # MPR - 14 - ~~MPR - 14 - 032~~

APPLICANT PHONE #
Mark Lopiccolo - Lopiccolo Construction 775 690-2906

MAILING ADDRESS, CITY, STATE, ZIP
3655 Arrowhead Dr., Ste 140, Carson City, NV 89706

EMAIL ADDRESS
markl@lopiccoloconstruction.com

PROPERTY OWNER PHONE #
Christina Potter 206 601-6256

MAILING ADDRESS, CITY, STATE, ZIP
2830 NW 64th St., Seattle, WA 98107

EMAIL ADDRESS
cpotter@microsoft.com

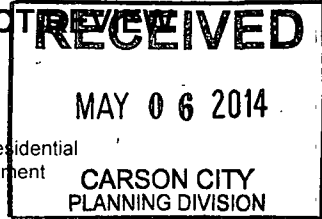
APPLICANT AGENT/REPRESENTATIVE PHONE #
Mark Lopiccolo - Lopiccolo Construction 775 690-2906

MAILING ADDRESS, CITY, STATE ZIP
3655 Arrowhead Dr., Ste 140, Carson City, NV 89706

EMAIL ADDRESS

FOR OFFICE USE ONLY:

MAJOR PROJECT



FEE: None

- Classification of Project:
- Single Family Residential
 - Multifamily/Apartment
 - Commercial
 - Industrial
 - Utility
 - Governmental
 - Other
 - 10 Applications and Site Plans (1 Original + 9 Copies)
 - CD containing application digital data (preferably in pdf format)
 - Written Project Description

Application Reviewed and Received By:

Meeting Date/Time:

See note below or see attached meeting deadline and schedule.

Project's Assessor Parcel Number(s): 009-014-18	Street Address 1555 Kings Canyon Rd., Carson City, NV	ZIP Code 89703
Project's Current Master Plan Designation Medium	Project's Current Zoning Single Family 6000 (sf6)	Nearest Major Cross Street(s) So. Ormsby

Briefly describe your project. In addition to the brief description of your project and proposed use, provide additional page(s) to show a more detailed summary of your project and proposal.

This preliminary package is a request for information regarding the City of Carson requirements for parceling this property.

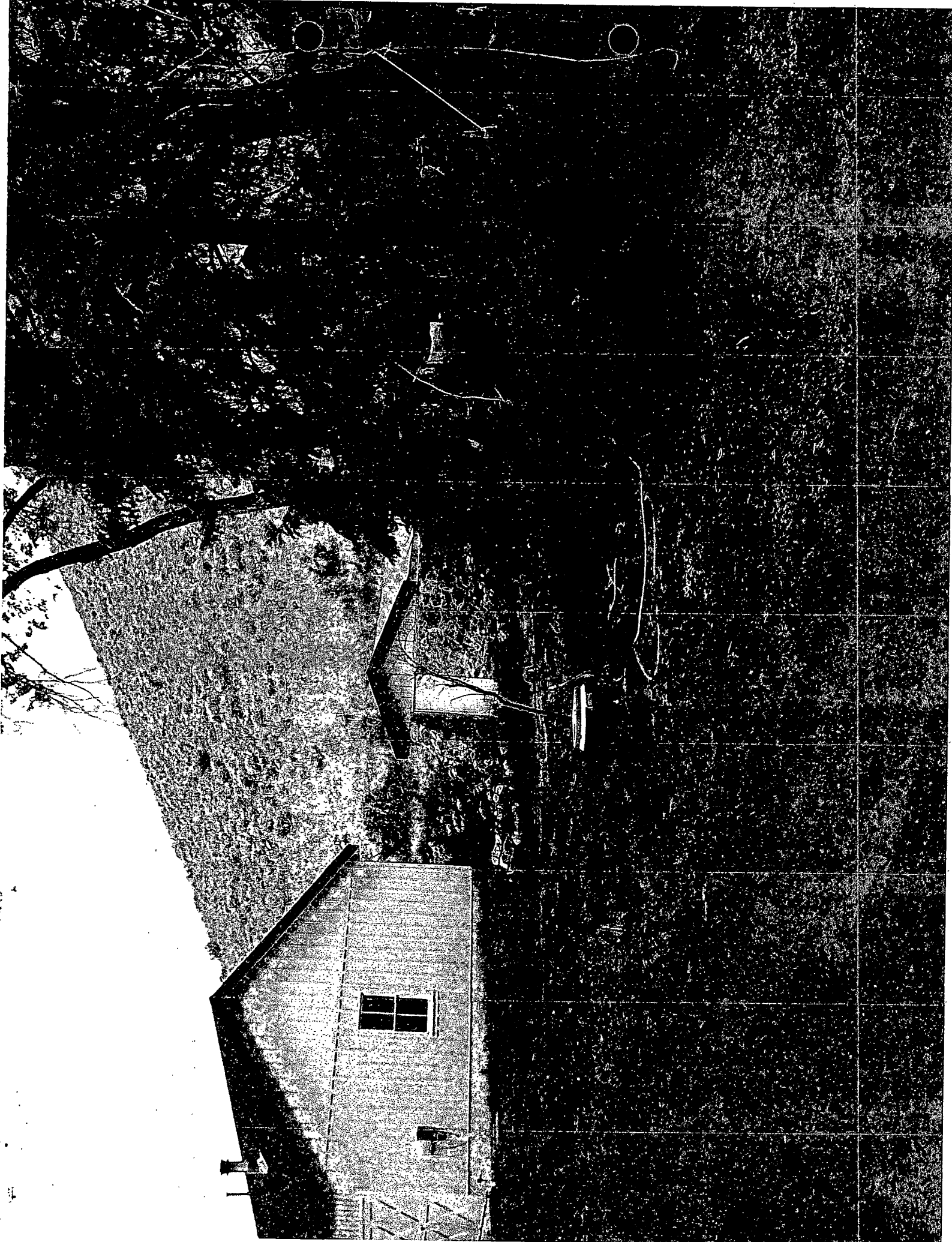
Option A: 2 Lots Option B: 3 Lots

GOAL

The review process including MPR speeds up the permit approval system. With Major Project Review, the builder and developer are able to learn about the needs of meeting City requirements long before final plans are submitted. In many cases, revisions and/or resolution between the builder, developer, and City staff can be clarified and resolved during this meeting. In this way, the final plans that are submitted for permit plan review plan are already in compliance with City standards. This means fewer or no delays during plan checking.

NOTE: Major Project Review meetings are usually held twice a month. The application must be submitted 14 working days prior to the meeting date or the application will be scheduled on the following meeting date. See attached schedule for dates.







PROJECT REVIEW FORM
Planning Division

Applicant: Mark Copiccolo for Christina Potter

File Number: M.P.R. - 14-032

Project Description: Parceling

APN/Address: 009-D14-18/1855 Kings Canyon Rd

Meeting Date: 5/20/14

Airport Conflict: YES:
NO: X

Downtown Redevelopment District: YES:
NO: X

Historic District: YES:
NO: X

Master Plan Designation: MDR

Zoning Designation: SF6

Site Size (acres/sf): 43,996 SF

Other Reviews Conducted: None

Signature: [Handwritten Signature]

Date: 5/6/14

PROJECT REVIEW FORM
Engineering Division

Applicant: Lopiccolo Const. / Christina Potter

File Number: MPR 14-032

Project Description: parcel map split @ 1555 Kings Cyn Rd

APN/Address: ~~09-014-19~~ 09-014-19 / 1555 Kings Cyn Rd

Meeting Date: May 20, 2014

Flood Zone: Zone A 0 X (100-year flood plain)
Zone B _____ (Between 100-year and 500-year flood plain)
Zone X _____ (Areas of Minimal Flooding)
Zone AO _____ (100-year flood plain, 1-3 foot depth-avg. shown)
Zone AH _____ (100-year flood plain, 1-3 foot depth-ele. shown)
Unknown _____
FEMA Firm Number: 320001 0092 F

Earthquake Potential: Severe _____
Moderate X
Low _____
Zone: II

Fault Zone: On-site _____
Within 200 ft. _____
Within 500 ft. _____
Beyond 500 ft. X

Hillside Development: Yes _____
No X

Signature: Roy Hoger Date: 5/13/14

Parcel Number 009-014-18
Last Updated 5/05/14 By RPRICE

Ownership
Legal Owner..... POTTER, CHRISTINA B
Assessed Owner..... POTTER, CHRISTINA B
Mail Address..... 2830 NW 64TH ST

(F6=All Owners F7=Documents)
Force Assmt Notice....
Force Ag Message...
Force Label.....
Force Card/Aff (C/A)..
Zip... 98107-0000

City, State..... SEATTLE, WA
Vesting Doc #, Date. 441318 12/31/2013 Yr,Bk,Pg 13 000 000 Corr Rq'd

Map Document #s.....
Description (F11=Additional Locations)

	#	Dir	Street or Other Description	Unit #(s)
Property Location...	1555		KINGS CANYON RD	
Subdivision.....	PARCEL D	MAP #645	Block...	Lot...
Town.....			Parcel Map ID..	
Property Name.....				Confidential..
Remarks.....				

Parcel # Containing Descriptive/Document Data.... Land Use: 310
Size

Total Acres...	1.010	Square Feet....	43,996
Ag Acres.....	.000	W/R Acres.....	.000

F9=Scan >/< > F5=Addr Hist F10=Othr Func F12=Cancel F14=Imprv/Apprsl Data
F15=Legal Description F16=Misc Notes F17=Factoring History F20=Tax Years
F21=Personal Property F22=Ag Land F23=Exemptions F24=Livestock Counts


Parcel Number 009-014-18 Owner POTTER, CHRISTINA B ASU100D
Location 1555 KINGS CANYON RD Town

Improvements
Sngl-Fam Detached. 2 Non-Dwell Units.. 4 Sq Ft Garage. 400 Att/Det D
Sngl-Fam Attached. 0 MH Hookups.... 0 # Bdrms.. 4 #Baths.. 1.75
Mult-Fam Units.... 0 Wells..... 0 # of Stories..... 1.5
Mobile Homes..... 0 Septic Tanks..... 0 Sq Ft Basement..... 0
Tot Dwell Units: 2 SqFt Bldgs 2,088 Sq Ft Fin Basement..... 0

Use/Appraisal Data
Current Land Use Code.: 310 (To change, go to Tax Year Data screen)
Zoning Code(s)..... SF6
Special Ownership..... Special Prop..... Class..... 3.00
Re-appraisal Group..... 05 Factoring Group... 05 Developer Discount.
Re-appraisal Year..... 2012 Orig Constr Year.. 1950 Weighted Year..... 0

User-defined Fields: 1st Set (F11=Show 2nd set of fields)
Deferred Taxes Fireplaces 1
Pools Free-standing Fireplaces
Detached Garage SF Spas
Redevelopment Base Value
F9=Scan >/< > F10=Other Functions F12=Cancel F13=Ownership/Description
F15=Legal Description F16=Misc Notes F17=Factoring History F20=Tax Years
F21=Personal Property F22=Ag Land F23=Exemptions F24=Livestock Counts

REVISIONS:

IMPORTANT NOTICE
 DO NOT USE PLANS FOR LINE LOCATIONS

 AVOID CUTTING UNDERGROUND UTILITY LINES. IT'S COSTLY.

SCALE: 1" = 20'

NEVADA
 CARSON CITY
**TOPOGRAPHIC SURVEY AND PRELIMINARY
 PARCELING LAYOUT OF
 APN 009-014-18 (1555 KINGS CANYON ROAD)
 FOR
 LOPICCOLO CONSTRUCTION**

HADDAN ENGINEERING
 DAYTON, NEVADA 89403
 775-883-6585 775-345-3296 (FAX)
 Job No: 14010
 Project Engineer: J.HADDAN
 Drawn By: JPH
 Date: 4-29-14
 Drawing File: 14010BS1

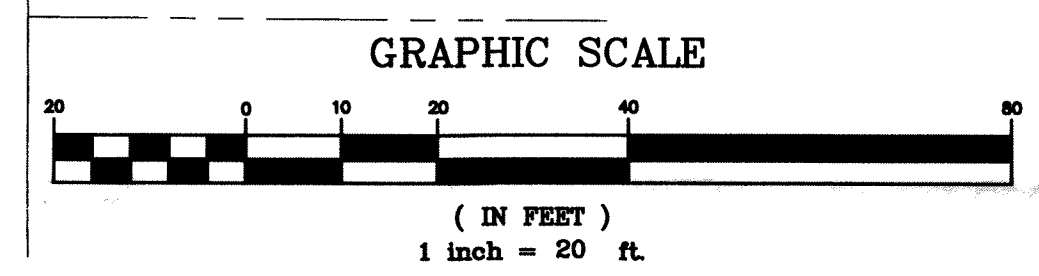
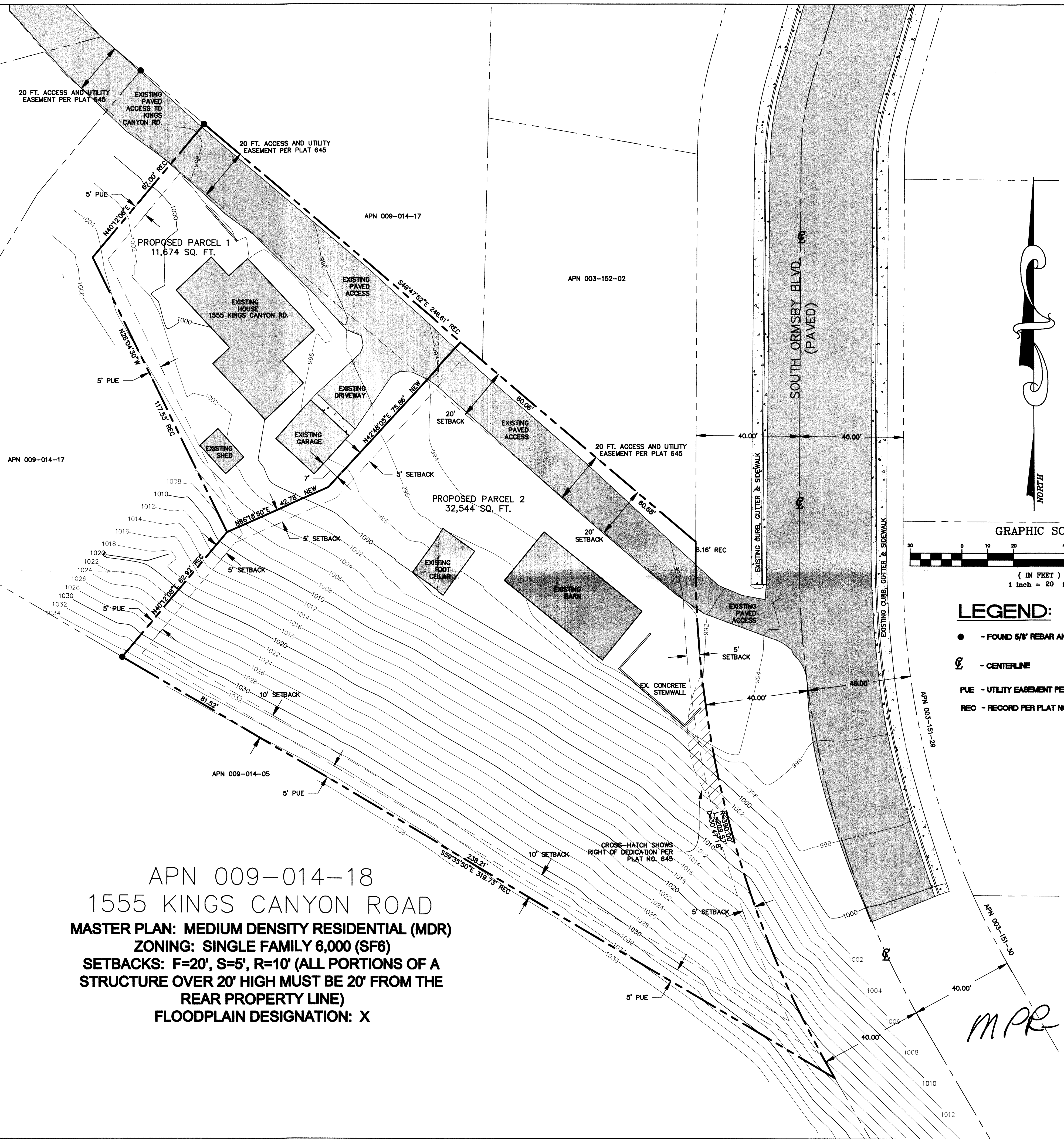
SHEET
 1
 OF
 1
 SHEETS

BOUNDARY NOTE:
 THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY. THE BOUNDARY SHOWN IS RECORD PER PARCEL MAP RECORDED AS PLAT NO. 645 CARSON CITY RECORDS.

REFERENCE DOCUMENT:
 PARCEL MAP RECORDED AS PLAT NO. 645 CARSON CITY RECORDS.

BASIS OF ELEVATIONS:
 FINISH FLOOR OF EXISTING RESIDENCE AT 1555 KINGS CANYON ROAD. ASSUMED ELEVATION = 1000 FT.

BASIS OF BEARINGS:
 PARCEL MAP RECORDED AS PLAT NO. 645 CARSON CITY RECORDS.



LEGEND:
 ● - FOUND 6/8" REBAR AND TAG NO. 1050 PER PLAT 645
 CL - CENTERLINE
 PUE - UTILITY EASEMENT PER PLAT NO. 645
 REC - RECORD PER PLAT NO. 645

APN 009-014-18
 1555 KINGS CANYON ROAD
MASTER PLAN: MEDIUM DENSITY RESIDENTIAL (MDR)
ZONING: SINGLE FAMILY 6,000 (SF6)
SETBACKS: F=20', S=5', R=10' (ALL PORTIONS OF A STRUCTURE OVER 20' HIGH MUST BE 20' FROM THE REAR PROPERTY LINE)
FLOODPLAIN DESIGNATION: X

MPR 14-032

RECEIVED
 MAY 06 2014
 CARSON CITY PLANNING DIVISION

NO.	DESCRIPTION	DATE

IMPORTANT NOTICE

DO NOT USE PLANS FOR LINE LOCATIONS



AVOID CUTTING UNDERGROUND UTILITY LINES. IT'S COSTLY.

SCALE: 1" = 20'

TOPOGRAPHIC SURVEY AND PRELIMINARY PARCELING LAYOUT OF APN 009-014-18 (1555 KINGS CANYON ROAD) FOR LOPICCOLO CONSTRUCTION
 NEVADA
 CARSON CITY

HADDAN ENGINEERING CIVIL ENGINEERING SURVEYING PLANNING P.O. BOX DAYTON, NEVADA 89403 775-883-8595 775-345-3296 (FAX)	Job No: 14010
	Project Engineer: J.HADDAN
	Drawn By: JPH
	Date: 4-20-14
	Drawing File: 14010BS1
	SHEET 1 OF 1 SHEETS

RECEIVED
 MAY 06 2014
 CARSON CITY
 PLANNING DIVISION

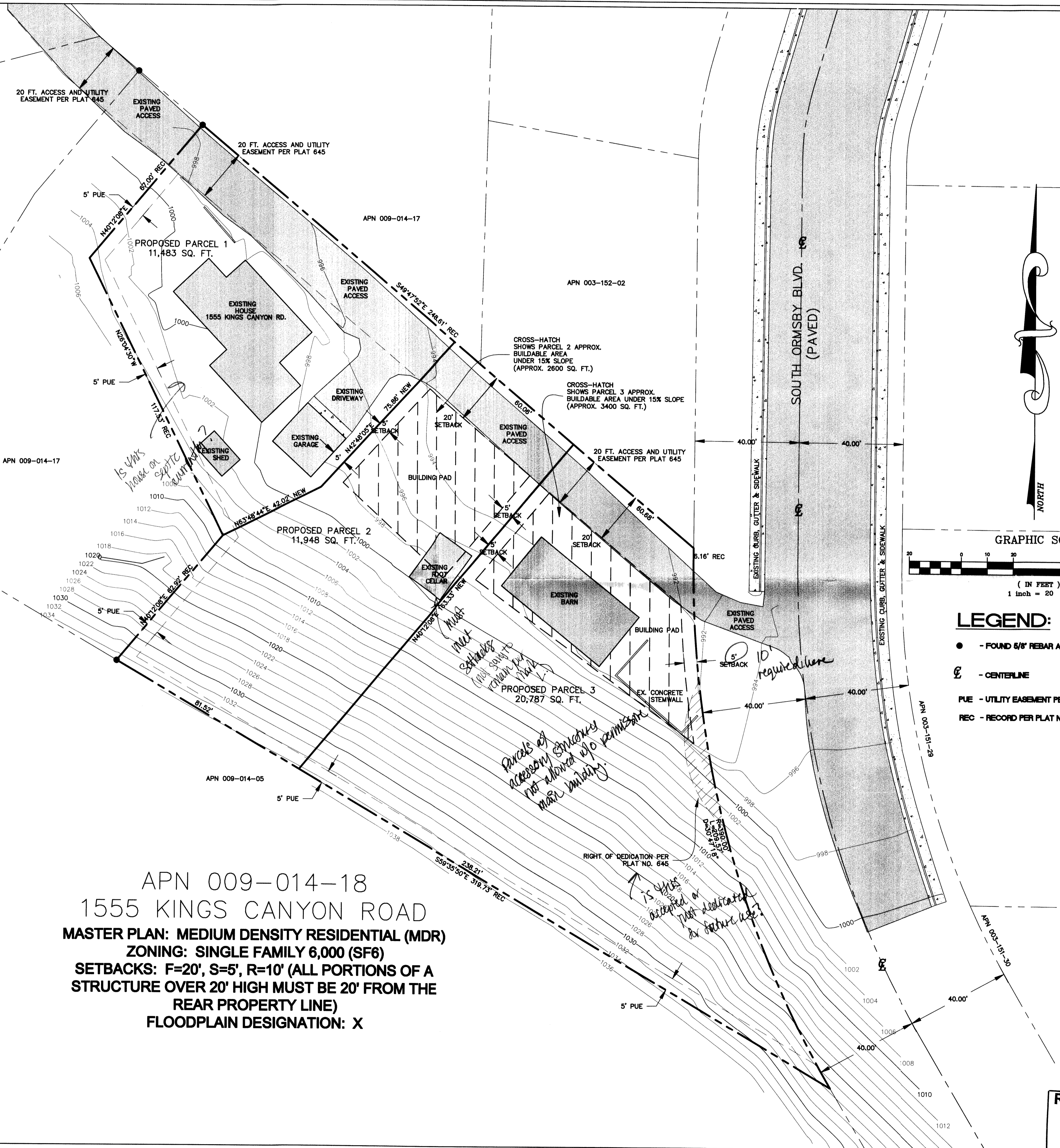
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APN 009-014-18
 1555 KINGS CANYON ROAD
 MASTER PLAN: MEDIUM DENSITY RESIDENTIAL (MDR)
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 SETBACKS: F=20', S=5', R=10' (ALL PORTIONS OF A STRUCTURE OVER 20' HIGH MUST BE 20' FROM THE REAR PROPERTY LINE)
 FLOODPLAIN DESIGNATION: X



000165 T

PERMIT
CARSON CITY, NEVADA

Address of Work 1555 1/2 W King Subdivision _____ Zone _____
Lot(s) _____ Block _____ Assessors Parcel No. _____

Or see attached legal description
Occupancy _____ No. Stories _____ Height _____ feet
Floor Area _____ Sprinklers _____ Telephone No. _____

Owner Name Potter
Owners Address 1555 1/2 W. King

Type of Bldg. SFD Duplex Apt. Commercial Other warehouse

BUILDING PERMIT

Type of Construction: New Add Alteration Repair Other warehouse
Work to be done Wash Relocate Appliance

Contractor Self Address _____
Valuation _____ Plan Check Fee _____ Fee 10.00

ELECTRICAL PERMIT

Type of Construction: New Add Rewire Other _____
Work to be done _____ Address _____

Contractor _____ Fee _____

MECHANICAL PERMIT

Type of Construction: New Add Alteration Other warehouse
Work to be done Wash Relocate appliance

Contractor Self Address _____ Fee 6.00

PLUMBING PERMIT

Type of Construction: New Add Replumb Other warehouse
Work to be done Wash Relocate Appliance

Contractor Self Address _____ Fee 5.00

SEWER HOOK-UP FEES

QUANTITY	ITEM	UNIT PRICE	AMOUNT
	Single family residence	Each unit of a duplex building	
	Each unit of an apartment building	Each trailer site or pad	
	Each unit of hotels and motels		
	OTHER:		
		TOTAL	\$

MISC. CHARGES: _____
RESIDENTIAL CONST. TAX: \$ _____
REMARKS: _____

TOTAL \$

I will save, indemnify and keep harmless Carson City, its officers, employees and agents against all liabilities, judgments, costs and expenses which may accrue against them in consequence of the granting of permit, inspections or use of any on or off site improvements placed by virtue hereof, and will in all things strictly comply with all applicable rules, ordinances and laws.

Signature of Applicant John Fear
(Applicant or Agent)

Date 6-8-81

TOTAL FEES THIS PERMIT \$ 21.00

ISSUED BY [Signature]
(Signature of Authorized City Agent)

LESS DEPOSIT RECEIPT NO. \$ _____

BALANCE \$ 21.00



OWNER OCCUPANCY VERIFICATION CARD

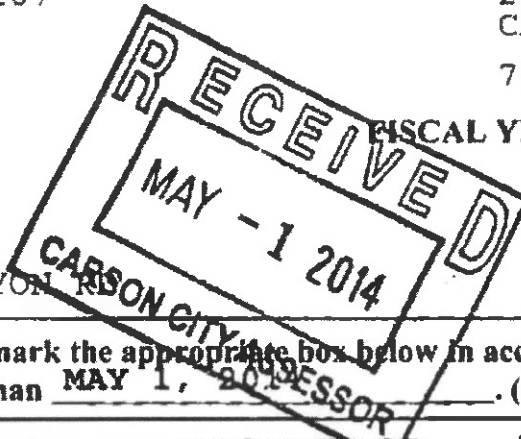
TO: POTTER, CHRISTINA B
2830 NW 64TH ST
SEATTLE, WA 98107

FROM: DAVID A DAWLEY
CARSON CITY ASSESSOR
201 N CARSON ST STE 6
CARSON CITY, NV 89701
775-887-2130

PARCEL #: 009-014-18
ACCOUNT #:

PROPERTY LOCATION:
1555 KINGS CANYON

FISCAL YEAR: 2014-15



INSTRUCTIONS: Please mark the appropriate box below in accordance with Nevada Law and return this card to our office no later than MAY 1, 2015. (See back for further information).

OWNER'S PRIMARY RESIDENCE

RENTAL PROPERTY

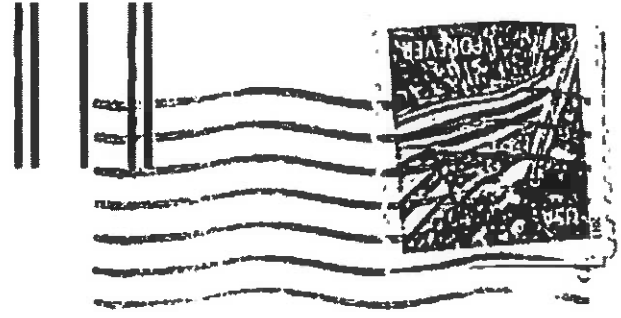
OTHER (PLEASE EXPLAIN) _____

I affirm and certify under the penalties pursuant to law that I am the owner of this property and that I will notify the Assessor if this property is no longer being used as stated above.

SIGNATURE: Christina Potter

DATE: 4/24/14

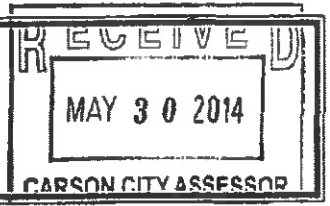
FROM: Patt
2830 NW 64th
Seattle WA 98107



CARSON CITY
DAVID A DAWLEY ASSESSOR
201 N CARSON ST STE 6
CARSON CITY NV 89701-4289



DAVID A. DAWLEY, CARSON CITY ASSESSOR
 201 N. CARSON ST. STE 6 CARSON CITY, NV 89701
 PHONE: (775) 887-2130 FAX: (775) 887-2139



Affidavit for Residential Rental Property Tax Abatement for Fiscal Year 2014-15

POTTER, CHRISTINA B
 2830 NW 64TH ST
 SEATTLE, WA 98107

Date: 05/16/14
 Parcel #: 009-014-18 Land Use: 310
Property Location
 1555 KINGS CANYON RD



Dear Property Owner:

Nevada Revised Statutes 361.4722 through 361.4724 provide for a partial abatement (implemented as a "cap") of property taxes. It states that property taxes for existing property may not exceed the previous year's taxes on that property by more than 3% for some residential properties and a calculated higher percentage for other property.

The 3% cap applies to properties with owner-occupied residences and low-income residential rentals. The rental guidelines are: if (1) a property is used only for residential purposes, and (2) the rents, **excluding utilities**, for all units on the property from **March 31, 2013 through March 31, 2014** did not exceed the HUD 2014 Fair Market Rents for your County, your property qualifies for the 3% cap.

# of Bedrooms	Number of Rental Units of this Type on the Parcel	Maximum Monthly Rent Charged for this Type of Unit March 31, 2013 through March 31, 2014	Utilities included in Rents Charged
Studio			<input type="checkbox"/> Sewer
1	DOES NOT QUALIFY		<input type="checkbox"/> Water
2			<input type="checkbox"/> Gas
3	*	1500.00	<input type="checkbox"/> Electric
4 or More			<input type="checkbox"/> Trash
Mobile Home Space			<input type="checkbox"/> Cable

- This property is no longer a rental. This property is now owner-occupied.
 This property is family-member-occupied. Other: Please explain: Vacant - For Sale

Please fill in the two columns in the table above, sign and print name, phone number, and date below, and return this letter to our office no later than June 15, 2014 or your tax bill may not reflect the 3% cap if you qualify under the guidelines of NRS. 361.4722 through 361.4724.

I affirm and certify under penalties pursuant to law that I am the owner of the property, the above information is true and accurate, and I will notify the Assessor if this property is no longer used as described above.

Owner Signature Christina Potter

Phone No. 206-783-3241

Print Name Christina Potter

Date 5/20/14

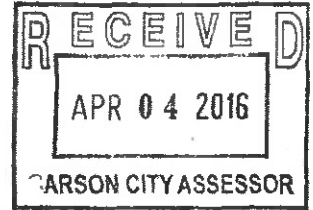
2010-601-6256

W mess
6/10

DAVID A DAWLEY, CARSON CITY ASSESSOR
201 N. CARSON ST., STE 6
CARSON CITY, NV 89701
(775) 887-2130 FAX: (775) 887-2139

March 15, 2016

JOHNSON, DAVID A
 1555 KINGS CANYON RD
 CARSON CITY, NV 89703-0000



RE: CARSON CITY ASSESSOR'S PERCENTAGE OF OCCUPANCY VERIFICATION

Parcel #: 009-014-18 Primary Property Location: 1555 KINGS CANYON RD

This form is being sent to you instead of the "Rental Affidavit" that is normally mailed later in April. According to our records a **portion of your property is "owner occupied" or a portion of your commercial property has a "single family dwelling" that is occupied or rented out.** The following information must be verified annually in order for us to update the correct rental percentage on your property for the next fiscal year and determine the appropriate tax cap. We are asking that you complete and return this form to our office **within 10 days.** Failure to return this form could result in your property being taxed at a higher cap which cannot exceed 8% per year.

Any changes received after July 1st will be reflected on the next fiscal year. Feel free to contact our office should you have any questions. Thank you.

1555 KINGS CANYON RD is my primary Nevada residence YES (or) NO _____ this is no longer my primary residence.

The remaining portion of the property is used as a RENTAL:

The building that could be a rental is not fixed up at this time

# of Rental Units		Utilities included
# of Bedrooms _____	Rent Charged _____	___ Trash ___ Cable
# of Bedrooms _____	Rent Charged _____	___ Sewer ___ Water
# of Bedrooms _____	Rent Charged _____	___ Gas ___ Electric

**Maximum "monthly" Rent charged per Unit from March 31, 2015 through March 31, 2016

(AND/OR) Storage _____ Business _____ Vacant

(AND) There have been no changes from last year in the percentage of occupancy *vacant*

Other properties owned in Nevada (please list address and county):

1027 MICA Dr. CARSON CITY 89703 Douglas
9 50% of 260 Crowley (Carson) + 50% 625 W. Carson 5th

Owner's Signature: Date: *3-18-16*

Print Name: *DAVID A. JOHNSON* Phone Number: *775-351-4852*

NO CH.

FOR ASSESSORS

85- 306

GI 1 Parcel Number 9-014-18/B
 GI 2 Property Owner [REDACTED] 03/04
 GI 3 Address 31
 GI 4 City, State, ZIP 1555 W. KING ST
 GI 5 Surveyed by SL/ [REDACTED] SW
 GI 6 Date of Survey [REDACTED] 12/01
1950

CO 1 1 Type 1 Single Family 3 Town House, End Unit 5 Duplex
 CO 2 89701 Zip Code 2 Low-rise Multiple 4 Town House, Inside Unit
 CO 3 1.0 Quality 1 Low 3 Average 5 Very Good
 CO 4 912 Finished Floor Area 2 Fair 4 Good 6 Excellent
 CO 5 50 Effective Age
 CO 6 3 Condition 1 Worn Out 3 Average 5 Very Good
 CO 7 1 Style 2 Badly Worn 4 Good 6 Excellent
 1 One-Story 5 1-1/2 Story Finished 9 3-1/2 Story Finished
 2 Two-Story 6 1-1/2 Story Unfinished 10 3-1/2 Story Unfinished
 3 Three-Story 7 2-1/2 Story Finished 11 Bi-Level
 4 Split-Level 8 2-1/2 Story Unfinished

CO 8 1 Heating and Cooling
 Heating: 1 Forced Air 6 Ceiling, Radiant, Electric 11 Warmed and Cooled Air
 2 Gravity Furnace 7 Baseboard, Electric 12 Heat Pump System
 3 Floor Furnace 8 Baseboard, Hot Water
 4 Wall Furnace 9 Radiators, Hot Water Cooling only: 13 Evaporative with Ducts
 5 Floor, Radiant, Hot Water 10 Radiators, Steam 14 Refrigerated with Ducts

CO 9 4 Exterior Wall
 Wood Frame: 1 Plywood 4 Siding 7 Common Brick 10 Concrete Block
 2 Hardboard Sheets 5 Shingle 8 Face Brick
 3 Stucco 6 Masonry Veneer 9 Stone

CO 10 3 Roofing
 1 Composition Shingle 4 Wood Shake 7 Galvanized Metal 10 Plastic Tile
 2 Built-up Rock 5 Concrete Tile 8 Slate
 3 Wood Shingle 6 Clay Tile 9 Composition Roll

CO 11 _____ Number of Units (Low-rise Multiples only)

MISCELLANEOUS ITEMS BUILDING

GARAGE & BASEMENT		MISCELLANEOUS ITEMS BUILDING		GENERAL	
GAT	<u>240</u> SF Attached Garage	OSP	_____ SF Open Slab Porch	LAN	_____ Land
GDT	_____ SF Detached Garage	SLA	<u>100%</u> SF or % Slab on Ground	SIT	_____ Site Improvements
GBU	_____ SF Built-in Garage	PLA	_____ SF or % Plaster Interior	PHY	<u>0</u> Physical Deprec.
CPT	_____ SF Carport (flat roof)	SFP	_____ Number of Single Fireplaces	FUN	_____ Functional Deprec.
TBA	_____ SF Total Bsmt. Area	DFP	_____ Number of Double Fireplaces	LOC	_____ Locational Deprec.
BMF	_____ SF Bsmt. Min. Finish				
BPF	_____ SF Bsmt. Ptn. Finish				

See back for additional miscellaneous items

ADDITIONS AND REMARKS

Description	Cost	Options
AD1 _____	\$ _____	_____
AD2 _____	\$ _____	_____
AD3 _____	\$ _____	_____
AD4 _____	\$ _____	_____
RE1 _____		
RE2 _____		
SAVE _____		

Parcel Number : 00901418B
 Tax roll Year : 95/96
 Land Use Code : 31
 Situs/Address : 1555 W KING ST
 Surveyed by : SL
 Date of Survey : 1/94
 Year Built : 1950

Single Family Residence
 Effective Age: 45 years
 Cost as of 9/93

Floor Area: 912 square feet
 Quality: Low
 Condition: Average

Style: One Story
 Heating & Cooling: Forced Air
 Exterior Wall: Siding
 Roofing: Wood Shingle
 Floor Structure: Slab on Ground
 Floor Cover: Standard Allowance
 Plumbing: 5 Fixtures
 Appliances: Standard Allowance

	Units	Cost	Total
Basic Structure Cost.....	912	41.76	38,089
Garage:			
Attached Garage.....	240	15.90	3,816
Replacement Cost New.....	912	45.95	41,905
Less Depreciation:			
Physical Depreciation.....	<67.5%>		<28,286>
Depreciated Cost.....	912	14.93	13,619
Assessed Value - Building.....	35%		4,766

Cost data by MARSHALL and SWIFT

Parcel Number : 00901418B
 Tax Roll Year : 99/00
 Land Use Code : 31
 Situs Address : 1555 W KING ST
 Surveyed by : SL/NAP
 Date of Survey : 1/98
 Year Built : 1950

Single Family Residence
 Effective Age: 49 years
 Cost as of 9/97

Floor Area: 912 square feet
 Quality: Low
 Condition: Average

Style: One Story
 Heating & Cooling: Forced Air
 Exterior Wall: Siding
 Roofing: Wood Shingle
 Floor Structure: Slab on Ground
 Floor Cover: Standard Allowance
 Plumbing: 5 Fixtures
 Appliances: Standard Allowance

	Units	Cost	Total
----- Basic Structure Cost..... -----	912	48.80	44,504
Garage: Attached Garage..... -----	240	17.66	4,238
----- Replacement Cost New..... -----	912	53.45	48,742

Cost data by MARSHALL and SWIFT

Standard Report

Parcel Number 00901418B
 Tax Roll Year 03/04
 Land Use Code 31
 Address: 1555 W KING ST
 Surveyed By: SL/SW
 Survey Date: 12/1/2001
 Year Built 1950
 Local Multiplier 1.11

Single-family Residence
 Effective Age: 50
 Cost as of: September, 2001
 Style: One Story
 Exterior Wall: Frame, Siding 100%
 Plumbing Fixtures: 5

Floor Area: 912 Square Feet
 Quality: 1 Low
 Condition: 3 Average

	Units	Cost	Total
Base Cost	912	37.93	34,592
Plumbing Fixtures	5	628.82	3,144
Wood Shingle	912	2.57	2,344
Slab on Grade	912	3.08	2,809
Floor Cover Allowance	912	1.50	1,368
Forced Air Furnace	912	3.40	3,101
Appliance Allowance	1	1,486.29	1,486
Basic Structure Total Cost	912	53.56	48,844
Attached Garage	240	16.21	3,890
Subtotal Garage			3,890
Replacement Cost New	912	57.82	52,734
Total Depreciated Cost			52,734
Total			\$52,734

Cost data by Marshall & Swift, L.P.

Remarks

Estimate Number: 8504
 Parcel Number: 009-014-18 "B"
 Property Location: 1555 W KING ST
 Surveyed By: SL/SW
 Survey Date: 01/01/07
 Year Built: 1950
 Tax Roll Year: 08/09
 Local Multiplier: 1.1300

Property Appraisal System
 Group: 2 Improvement #: 001

Land Use Code: 310

Residence Type: Single-family Residence
 Cost As Of: 09/2006
 Cost Database Date: 09/2006
 Style: One Story
 Exterior Wall: Frame, Plywood
 Plumbing Fixtures: 5

Floor Area: 912 Square Feet
 Quality: 1.00 Low

	Units	Cost	Total
Base Cost	912	48.57	44,296
Plumbing Fixtures	5	749.64	3,748
Wood Shingle	912	3.26	2,973
Slab on Grade	912	4.06	3,703
Floor Cover Allowance	912	1.83	1,669
Forced Air Furnace	912	4.14	3,776
Appliance Allowance	1	1,632.29	1,632
<u>Basic Structure Total Cost</u>	<u>912</u>	<u>67.76</u>	<u>61,797</u>
<u>Replacement Cost New</u>	<u>912</u>	<u>67.76</u>	<u>61,797</u>
<u>Total Depreciated Cost</u>			<u>61,797</u>
<u>Total</u>			<u>61,797</u>

Remarks: ATTACHED GARAGE 240 SQ FT

Estimate Number: 8504
 Parcel Number: 009-014-18
 Property Location: 1555 W KING ST
 Surveyed By: DC
 Survey Date: 03/08/12
 Year Built: 1950
 Tax Roll Year: 13/14
 Local Multiplier: 1.0700

Property Appraisal System
 Improvement #: 2 001
 Land Use Code: 310

Residence Type: Single-family Residence
 Cost As Of: 12/2011
 Cost Database Date: 12/2011
 Style: One Story
 Exterior Wall: Frame, Plywood
 Plumbing Fixtures: 5

Floor Area: 912 Square Feet
 Quality: 1.00 Low

	Units	Cost	Total
Base Cost	912	52.95	48,290
Plumbing Fixtures	5	840.38	4,202
Wood Shingle	912	3.58	3,265
Slab on Grade	912	4.44	4,049
Floor Cover Allowance	912	1.95	1,778
Forced Air Furnace	912	4.97	4,533
Appliance Allowance	1	1,718.96	1,719
Basic Structure Total Cost	912	74.38	67,836
Replacement Cost New	912	74.38	67,836
Total Depreciated Cost			67,836
Total			67,836

Remarks: ATTACHED GARAGE 240 SQ FT

Estimate Number: 8504
 Parcel Number: 009-014-18
 Property Location: 1555 W KING ST
 Surveyed By: DD
 Survey Date: 07/12/17
 Year Built: 1950
 Tax Roll Year: 18/19
 Local Multiplier: 1.0600

Property Appraisal System
 Improvement #: 2 001

Land Use Code: 310

Residence Type: Single-family Residence
 Cost As Of: 12/2016
 Cost Database Date: 12/2016
 Style: One Story
 Exterior Wall: Frame, Plywood
 Plumbing Fixtures: 5

Floor Area: 912 Square Feet
 Quality: 1.00 Low

	Units	Cost	Total
Base Cost	912	61.77	56,334
Plumbing Fixtures	5	938.95	4,695
Wood Shingle	912	4.11	3,748
Slab on Grade	912	4.84	4,414
Floor Cover Allowance	912	2.22	2,025
Forced Air Furnace	912	3.48	3,174
Appliance Allowance	1	1,561.27	1,561
Basic Structure Total Cost	912	83.28	75,951
Replacement Cost New	912	83.28	75,951
Total Depreciated Cost			75,951
Total			75,951

Remarks: 002 ATT GARAGE PLY OR HARDBOARD QUAL 1-4

1950

240 GRAHP1